

(O-85-166)

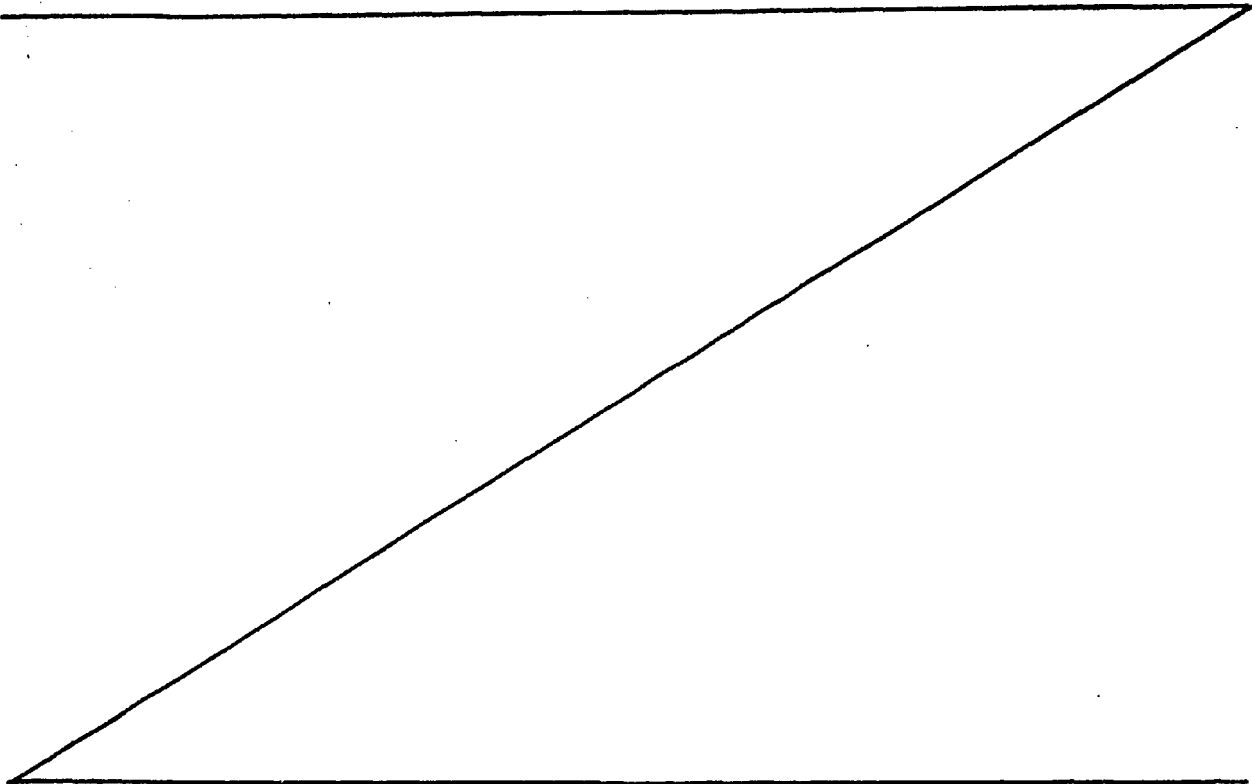
ORDINANCE NUMBER O- 16438 (NEW SERIES)

ADOPTED ON JUN 3 1985

AN ORDINANCE AMENDING CHAPTER X, ARTICLE 1,
DIVISION 4, OF THE SAN DIEGO MUNICIPAL CODE,
BY AMENDING SECTIONS 101.0455, 101.0455.1,
101.0455.2, 101.0455.3 AND 101.0455.4,
RELATING TO THE SMALL LOT OVERLAY ZONE.

BE IT ORDAINED, by the Council of The City of San Diego, as follows:

Section 1. That Chapter X, Article 1, Division 4, of the San Diego Municipal Code be, and the same is hereby amended by amending Sections 101.0455, 101.0455.1, 101.0455.2, 101.0455.3 and 101.0455.4, to read as follows:



SEC. 101.0455 SL (SMALL LOT) OVERLAY ZONE

There is hereby established the Small Lot Overlay Zone.

SEC. 101.0455.1 PURPOSE AND INTENT

The purpose of the Small Lot (SL) Overlay Zone is to provide for the development of attached and detached dwelling units on R-1-5 zoned lots under modified, optional land use regulations which are consistent with General Plan objectives while protecting the public health, safety and general welfare, and creating development of single-family character. The SL Zone is an overlay zone intended to expand the choice, range, and type of single-family housing and to implement community plan objectives wherever densities in the 5-10 dwelling units per acre range are therein prescribed.

It is the intent that the application of the SL Overlay Zone be made in such a manner that would assure that there would be no overconcentration of the type of single-family housing allowed by the Zone anywhere within The City of San Diego.

The SL Overlay is intended to create development that achieves density of community plans while maintaining the goals of single-family development design. Its use is intended in areas where the standard lot pattern of the SL Overlay would not

O-16438

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adversely affect direction in the community plan, other adopted plans, or any environmental documents, to create development sensitive to existing topography or natural features of the project site.

It is also the intent of this overlay that development which occurs on small lots is not repetitious in nature, that the design of the units are diverse and varied, and that the unit size is in scale to adjacent structures. Design guideline review by the Planning Director is required to insure attractive building elevations, unique site planning, and singularity in design.

The SL Overlay Zone will be considered for application in areas having a natural grade of 20 percent or less.

0-16438

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SEC. 101.0455.2 INITIATION

The establishment or repeal of part or of all of the SL Overlay Zone may be initiated by the Planning Commission or by the City Council. The establishment of the SL Zone may also be initiated by a property owner in accordance with the procedures contained in Division 2 of the Planning and Zoning Regulations.

SEC. 101.0455.3 PERMITTED USES

Those uses permitted in the R-1 Zones except for companion units.

SEC. 101.0455.4 PROPERTY DEVELOPMENT REGULATIONS

No buildings or portion thereof shall be erected, constructed, converted, established, altered, enlarged, or used; nor shall any lot or premises be used unless the lot or premises and buildings or portions thereof shall comply with the following requirements and special regulations:

A. Minimum Lot Size and Dimensions

1. The minimum lot size and dimensions (expressed in linear feet) shown in Table I, shall apply in the SL Zone.

0-16438

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TABLE I

MINIMUM AREA IN <u>SQ. FT.</u>	MINIMUM STREET <u>FRONTAGE</u>	WIDTH <u>(INTERIOR)</u>	WIDTH <u>(CORNER)</u>	<u>DEPTH</u>
3750 Attached	37.5	37.5	42.5	85
3750 Detached	39.0	39.0	42.5	85

2. Detached dwellings may be constructed on small lots having only 37.5 feet of frontage provided those lots were created prior to December 31, 1984 and provided further that those lots contain a minimum lot area of 3750 square feet.

3. Special Regulation - Street Frontage.

The minimum street frontage required for any parcel or lot which fronts principally on a turnaround or curving street having a radius of curvature of less than 100 feet, shall be 28.5 feet.

B. Minimum Yard Dimensions

1. Front Yards for Attached or Detached Units

0-16438

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For four or less adjacent dwelling units in the SL Overlay, the minimum front yard shall be 15 feet.

Where there are more than four adjacent dwelling units constructed under one map, variable front yard setbacks shall be required, with at least 25 percent of the units set back a minimum of 15 linear feet, and at least 25 percent set back a minimum of 17 linear feet, and at least 25 percent set back a minimum of 20 linear feet.

2. Attached Units Side and Rear Yards

Attached units shall observe one zero-foot side yard. Any zero-foot side yard shall abut other property in the SL Overlay. See Figure 1.

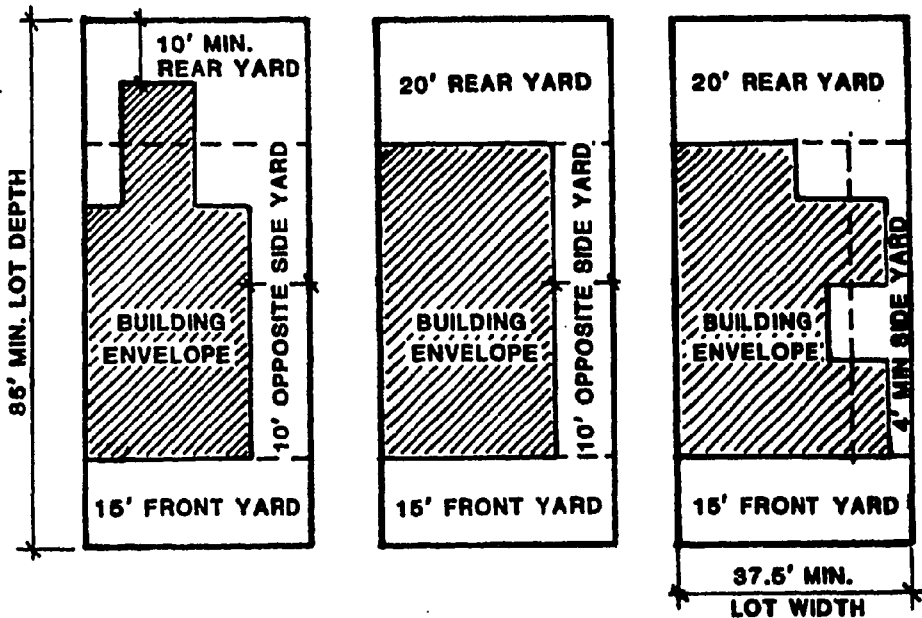


FIGURE 1

O-16438

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The standard opposite side yard for attached units shall be ten feet. However, a minimum side yard of four feet may be used if a vertical offset in the structure's side wall is provided. This option is permitted if, for all standard yard encroachments, an equal yard area is provided within the building envelope, and if the length of any continuous exterior dwelling unit wall does not exceed 35 feet.

The standard rear yard for attached units shall be 20 feet. However, a minimum rear yard of ten feet may be used if a vertical offset in the structure's rear wall is provided. This option is permitted if, for all standard yard encroachments, an equal yard area is provided within the building envelope.

3. Detached Units Side and Rear Yards

Detached units shall observe a minimum rear yard of ten feet. See Figure 2. Detached units shall not observe a standard or minimum interior side yard, however there shall be maintained a ten-foot spacing between structures on adjacent properties.

Any zero-foot side yard shall abut other property in the SL Overlay.

O-16438

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Any street side yard setback shall be a minimum of ten feet.

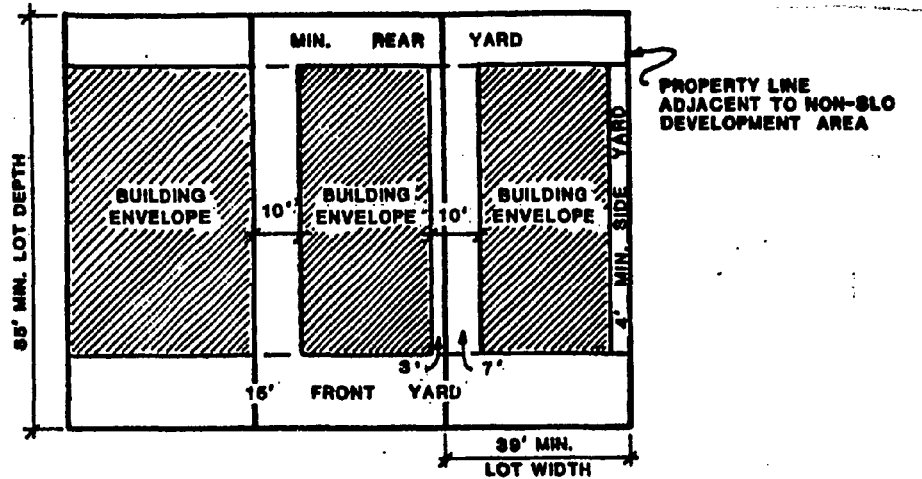


FIGURE 2

4. The slope of opposite side and rear yards for attached or detached units shall not exceed ten percent.

C. Floor Area Ratio. The Floor Area Ratio shall be .60.

D. Design Standards

1. Prior to the issuance of any permits, the applicant shall prepare and submit to the Planning Director for approval either preliminary design guidelines or a detailed site plan and building elevations demonstrating conformance with the intent as discussed in Section 101.0455.1. If preliminary design guidelines are submitted, they shall be used by the Planning

0-16438

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Director for final plan checking of the detailed site plan.

2. A deposit, as indicated on the current fee schedule maintained in the Planning Department, shall be paid when application for a Small Lot Overlay Permit is made.
3. Decisions of the Planning Director can be appealed to the Planning Commission within 10 days after the decision is made. Appeals shall be in writing and shall be filed with the Planning Department.
4. The Planning Commission shall conduct a public hearing in accordance with the procedures set forth in Sec. 101.0230.
5. The design guidelines submitted by the applicant shall be quantified and be represented conceptually with illustrations to address the following criteria:
 - a. Roof forms and types. Indicate the percentage of types, such as gable, hip, flat, mansard, or shed, and corresponding material to be used such as shake, tile, or asphalt.

0-16438

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- b. Facade articulation. Quantify the massing offsets for each building type.
- c. Building material palettes for each building prototype. Quantify each prototype by the percentage provided in the project.
- d. Walls and fences. Show maximum height and maximum area without horizontal articulation. Indicate fence and wall materials and quantify relative amount of surface area of each different type.
- e. Street design. Indicate the type(s) of trees and the ratio of specimens to square footage of landscaped public right-of-way and the caliper of trees per type and type of trees per street. Also indicate the pedestrian circulation system, including walkway standards and a street lighting concept specifying light types, minimum foot candles, average spacing, and mounting height.
- f. Driveways and private streets. Include width, types and locational options relative to property lines, and the target percentage of each type in the project.

0-16438

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- g. The approximate percentage of attached and detached units.
- h. Signage. Include project identification, residence identification, directional information and temporary real estate signs; address both the quantities and the design of each.
- i. Building placement concept. Indicate how different building types or facades will be placed to avoid repetition. i.e. ABACABC vs. AAA BBB CCC.

E. Parking Regulations.

- 1. Every premises shall be provided with a minimum of permanently maintained off-street parking spaces in a parking area or private garage on the same premises as follows:
 - a. For each dwelling unit - 2.0 spaces, at least one of which shall be completely enclosed.
 - b. For each two lodgers - 1.0 space.
- 2. Rear parking shall be mandatory for more than two contiguous units on premises abutting a dedicated alley,

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unless the rear of the premises is inaccessible. Accessibility shall be determined by the Traffic Engineer.

3. Off-street parking facilities shall be constructed, maintained, and operated in compliance with Division 8 of this Article.
4. A common driveway shall be permitted for those units utilizing rear parking without a contiguous rear alley.
5. For attached units, no driveway shall be located within two feet of the zero side yard property line.
6. Driveways for detached units shall be located in such a manner that an on-street parking space is provided for each lot.
7. The required off-street parking space which may be unenclosed shall be a minimum size of 7.5 feet by 15 feet.

F. Landscaping.

1. Prior to the issuance of any building permits, a landscaping plan shall be submitted to the Zoning Administrator for approval.

2. Prior to approval of final inspection of any premises, the entire required front and street side yards shall be suitably landscaped, except for those areas approved to be occupied by driveways and walkways. Each premises shall be provided three trees of five-gallon size or equivalent, and whenever the driveway of the adjacent premises is closer than six feet, appropriate balanced planting in the intervening space shall be provided for visual relief from the adjacent expanses of concrete. No fencing shall be permitted between such driveways.

3. Substantial conformance shall be determined by the Zoning Administrator, with said determination subject to appeal in the manner set forth in Chapter X, Article 1, Division 5, of the San Diego Municipal Code.

4. Each premises shall be provided with an attached sprinkler system manifold with three anti-siphon valves.

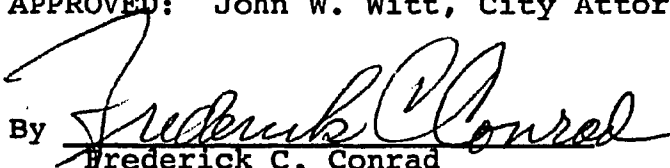
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4. Each premises shall be provided with an attached sprinkler system manifold with three anti-siphon valves.

Section 2. This ordinance shall take effect and be in force on the thirtieth day from and after its passage.

APPROVED: John W. Witt, City Attorney

By 
Frederick C. Conrad
Chief Deputy City Attorney

FCC:ib:JF:(Plan.)630
03/29/85
Or.Dept:Plan.
O-85-166
Form=o.none

JUN 3 1985

Passed and adopted by the Council of The City of San Diego on _____, by the following vote:

Councilmen	Yeas	Nays	Not Present	Ineligible
Bill Mitchell	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Bill Cleator	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Gloria McColl	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
William Jones	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Ed Struiksma	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mike Gotch	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Dick Murphy	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Uvaldo Martinez	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mayor Roger Hedgecock	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

AUTHENTICATED BY:

ROGER HEDGECOCK
Mayor of The City of San Diego, California.

CHARLES G. ABDELNOUR
City Clerk of The City of San Diego, California.

(Seal)

By Ellen Board, Deputy.

I HEREBY CERTIFY that the foregoing ordinance was not finally passed until twelve calendar days had elapsed between the day of its introduction and the day of its final passage, to wit, on

MAY 21 1985, and on JUN 3 1985

~~I FURTHER CERTIFY that said ordinance was read in full prior to its final passage.~~

I FURTHER CERTIFY that the reading of said ordinance in full was dispensed with by a vote of not less than a majority of the members elected to the Council, and that there was available for the consideration of each member of the Council and the public prior to the day of its passage a written or printed copy of said ordinance.

CHARLES G. ABDELNOUR
City Clerk of The City of San Diego, California.

(Seal)

By Ellen Board, Deputy.

Office of the City Clerk, San Diego, California

Ordinance Number 0-16438 Adopted JUN 3 1985

10:11:34

1965 APR 31

RECEIVED
CITY CLERK'S OFFICE
1965 APR 31 PM 3:11
SAN DIEGO, CALIF.

APR 31 1965

APR 31 1965

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CERTIFICATE OF PUBLICATION
CITY CLERK'S OFFICE
RECEIVED
1985 JUN 20 PM 2:20
SAN DIEGO, CALIF.

OFFICE OF THE CITY CLERK
202 C STREET - 12TH FLOOR
SAN DIEGO, CA 92101

IN THE MATTER OF

NO.

ORDINANCE NUMBER 0-16438 (NEW SERIES)

ADOPTED ON JUNE 3, 1985
AN ORDINANCE AMENDING CHAPTER 2, ARTICLE 4, SECTION 4 OF THE SAN DIEGO MUNICIPAL CODE AMENDING SECTIONS 101.0455, 101.0456, 101.0457, 101.0458, 101.0459 AND 101.0460 RELATING TO THE SMALL LOT TRAIL ZONE.
The small lot overlay zone is amended to provide for the development of detached dwelling units on lots with a width of 39 feet and certain circumstances, on lots of 37.5 feet in width.
Development regulations are added which apply to detached dwelling units.
Development regulations provide for variable front, side and rear yard areas for all dwellings. A procedure is added for review by the Planning Director of applications for development under the zone.
A complete copy of the ordinance is available for inspection at the office of the City Clerk of the City of San Diego, 12th floor, City Administration Building, 202 "C" Street, San Diego, CA 92101.
Adopted on May 21, 1985.
Read and adopted by the Council of the City of San Diego on May 21, 1985.
CERTIFIED BY:
GER HEDGECOCK, Mayor of The City of San Diego, California
CHARLES G. ABDELNOUR, City Clerk of The City of San Diego, California
ELLEN BOVARD, Deputy City Clerk
ALL RIGHTS RESERVED
JUN 17 1985

I, Michael L. Ungashick, am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above-entitled matter. I am the principal clerk of the San Diego Daily Transcript, a newspaper of general circulation, printed and published daily, except Saturdays and Sundays, in the City of San Diego, County of San Diego, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the County of San Diego, State of California, under the date of January 23, 1909, Decree No. 14894; and the

ORDINANCE NUMBER 0-16438 (NEW SERIES)

is a true and correct copy of which the annexed is a printed copy and was published in said newspaper on the following date(s), to wit:

June 17, 1985

I certify under penalty of perjury that the foregoing is true and correct.

Dated at San Diego, California this 17th day of June, 19 85.

Michael L. Ungashick
(Signature)

1.25 x 2 x 9.76 = 43.92

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