

(R-85-1737)

RESOLUTION NUMBER R- 262830

ADOPTED ON APR 08 1985

WHEREAS, Section 8330 et seq. of the California Streets and Highways Code provide a procedure for the summary vacation of streets and public service easements by City Council resolution; and

WHEREAS, the City as owner of Eastgate Technology Park Unit No. 2 subdivision requests to vacation of Miramar Road, Towne Centre Drive and a portion of Eastgate Mall in Pueblo Lot 1318, all within or adjacent to the boundaries of said subdivision, to facilitate development of their property; and

WHEREAS, Miramar Road and Towne Centre Drive in Pueblo Lot 1318 are being superseded by relocation; and

WHEREAS, a portion of Eastgate Mall adjacent to Pueblo Lot 1318 is excess right-of-way; and

WHEREAS, those properties adjoining the street to be vacated will continue to have access; and

WHEREAS, the public will benefit from the vacation through improved utilization of land; and

WHEREAS, the vacation is not inconsistent with the General Plan or an approved Community Plan; NOW, THEREFORE,

BE IT RESOLVED, by the Council of The City of San Diego, as follows:

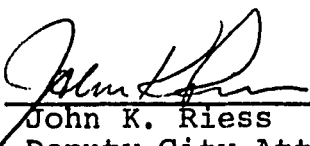
1. That Miramar Road, Towne Centre Drive and a portion of Eastgate Mall all within or adjacent to the Eastgate Technology

Park Unit No. 2 Subdivision (TM 82-0172) boundaries, as more particularly shown on Drawing No. 21874-D on file in the office of the City Clerk as Document No. RR- 262830 -1, which is by this reference incorporated herein and made a part hereof, be and the same is hereby ordered vacated.

2. That the resolution shall not become effective unless and until the final subdivision map for Eastgate Technology Park, Unit No. 2 Subdivision (TM 82-0172) has been approved by Council action. In the event that the final map is not approved by May 31, 1989, this resolution shall become void and be of no further force or effect.

3. That the City Engineer shall advise the City Clerk of the approval of the aforementioned subdivision map, and that the City Clerk shall then cause a certified copy of this resolution, attested by him under seal, to be recorded in the office of the County Recorder.

APPROVED: John W. Witt, City Attorney

By 
John K. Riess
Deputy City Attorney

JKR:mem
3/19/85
Or.Dept:E&D
R-85-1737
SA:85-500
WO:118150
DWG:21874-D
Form=r.sumv2

R-262830

BASIS OF BEARINGS

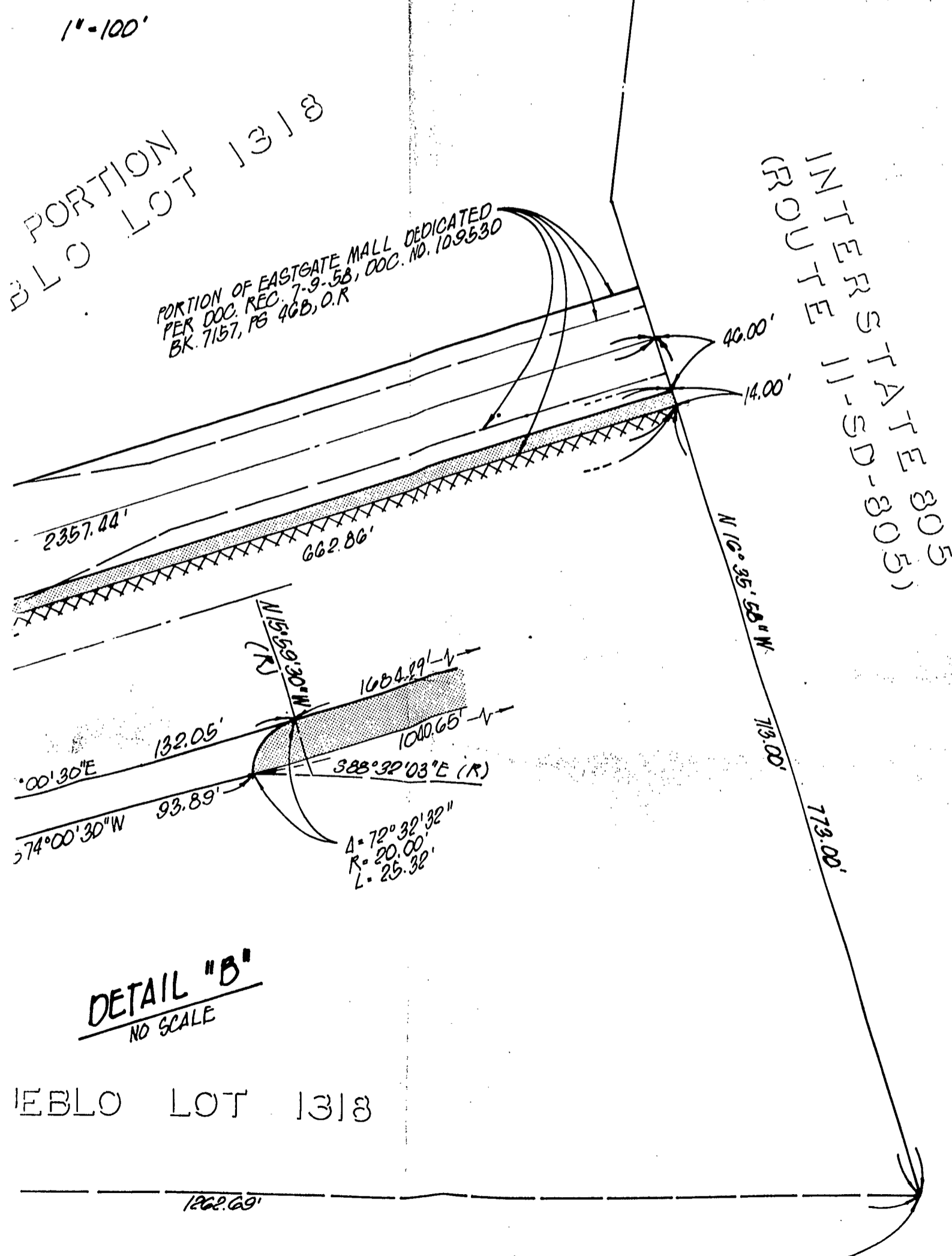
THE BASIS OF BEARINGS FOR THIS PLAT IS THE CENTERLINE OF EASTGATE MALL AS SHOWN ON EASTGATE TECHNOLOGY PARK, UNIT 1, MAP NO. 10830. I.E. N 74°00'30"E.

REFERENCE DRAWINGS

MISC. MAP 32, MAP 3803, MAP 10830, P.M. 1865, M.S. 718, 9976-B, 998-B, 15980-B, 16042-B, 21075-D, 21076-D, 16422-D, 564-L, 14045-L, 270-M, 21907-D

ASSESSORS PARCEL NO. 343-120-06

NOTE:
UNLESS OTHERWISE NOTED, BEARINGS & DISTANCES SHOWN IN PARENTHESES FOR VACATION OF MIRAMAR ROAD ARE PER DEED RECORDED MAY 23, 1932, BOOK 119, PAGE 293, O.R.



DETAIL "B"
NO SCALE

PORTION OF LOT 1318

RR- 262830-1
DOCUMENT NO. _____
FILED APR 08 1985
OFFICE OF THE CITY CLERK
SAN DIEGO, CALIFORNIA

STREET VACATION- PORTIONS OF MIRAMAR ROAD,

BASIS C

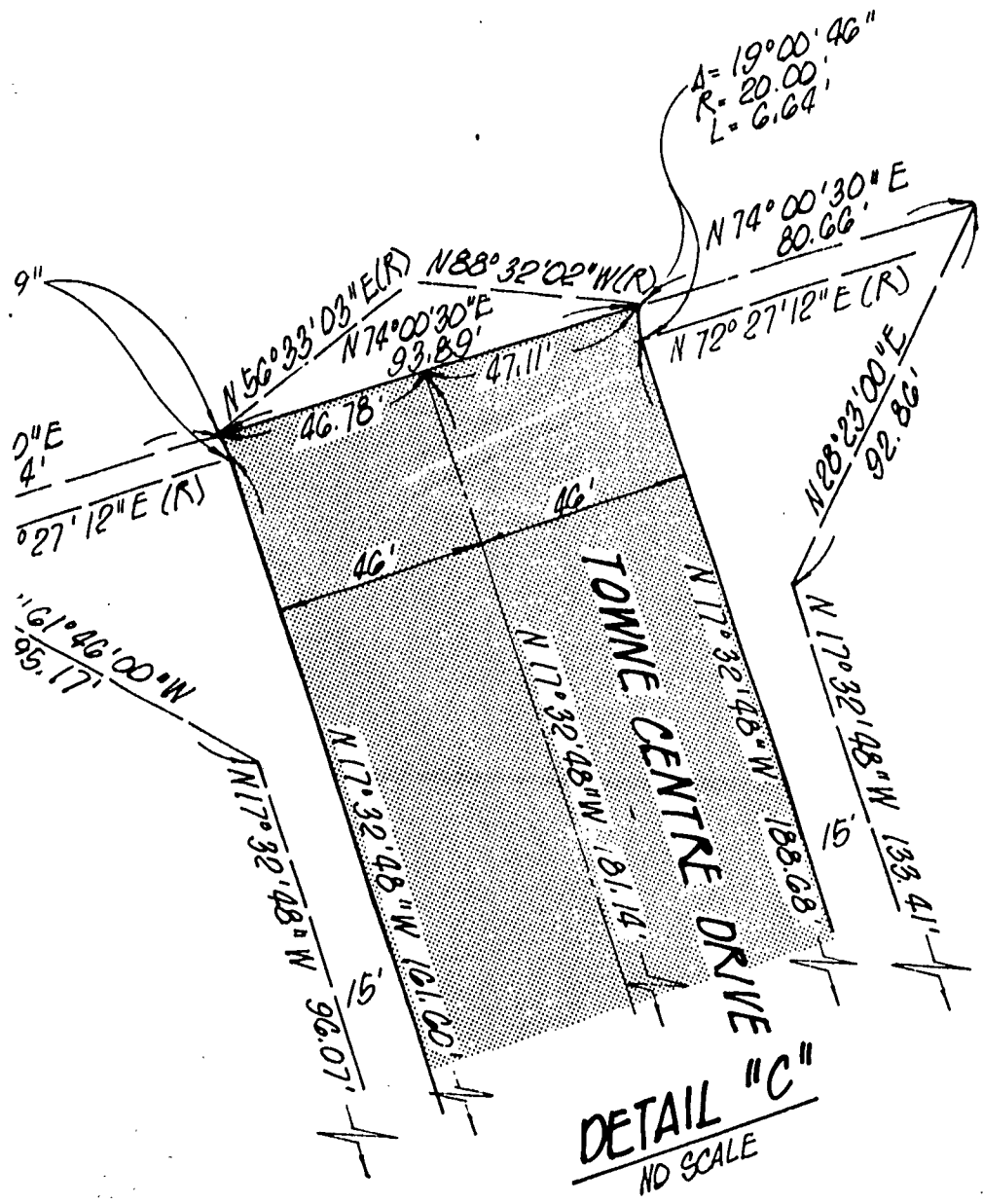
THE BASIS C
EASTGATE,
UNIT 1, MAP

REFER.

MISC. MAP 3
998-B, 15
14045-L, 2;

ASSESSORS

NOTE:
UNLESS OTHERWISE
IN PARENTAL
DEED RECORD



SCALE:  1"=100'

PORTION LOT 1318
PUEBLO LOT 1318

EASTGATE MALL (FORMERLY MIRAMAR ROAD)
DEDICATED PER CITY CLERK'S DOC. NO.
14641, FEBRUARY 16, 1943, ORD. NO. 2618
(NEW SERIES)

10' WIDE DRAINAGE EASEMENT
IN CITY OWNED PROPERTY PER
DOC. REC. 3-12-84, DOC. NO.
84-112472

PORTION OF EASTGATE MALL
PER DOC. REC. 7-9-58, DOC.
BK. 7157, PG 46B, O.R.

WIDE EASEMENT
20'

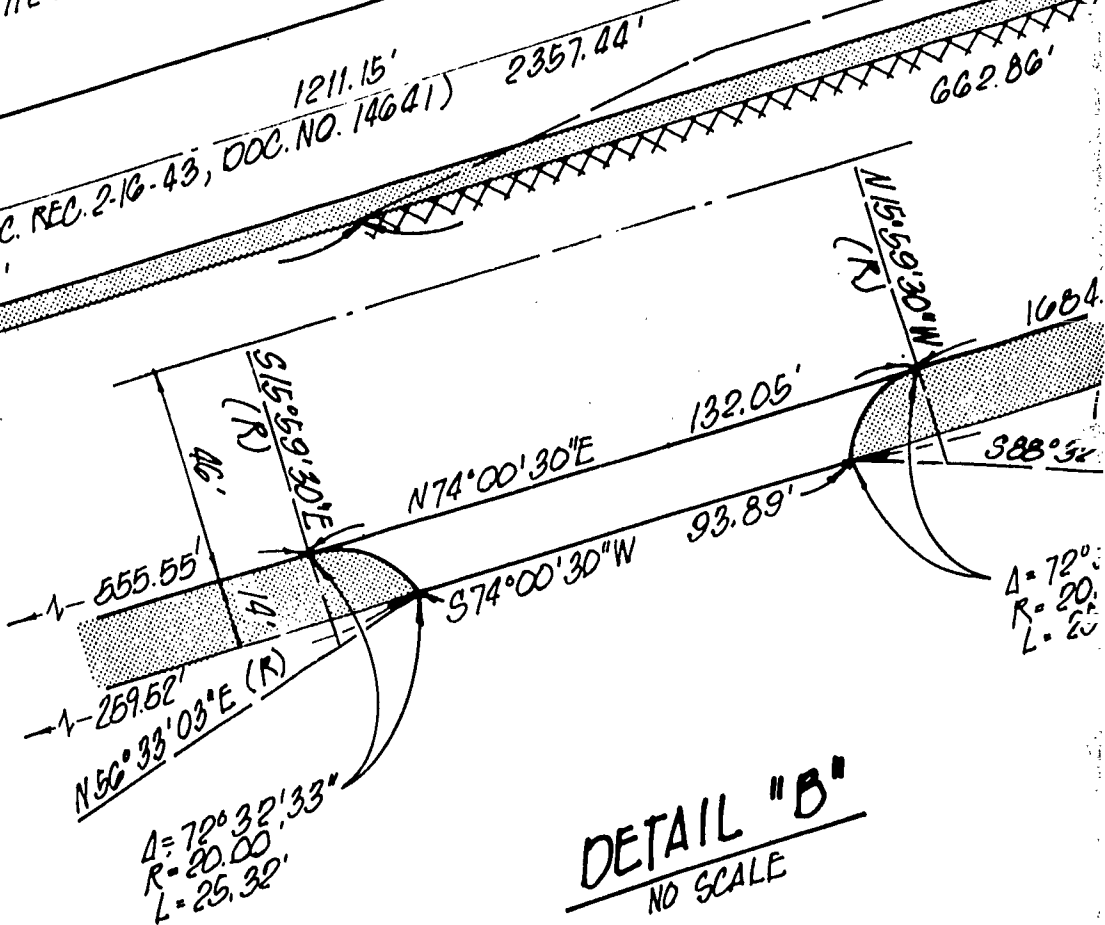
EASTGATE

MALL

SEE DETAIL "C"

TOWNE CENTRE DRIVE
DEDICATED PER DOC. REC.
1-24-84, DOC. NO. 84-027587,
O.R.
UNIT NO 2 T.M. 82-0172

PEDESTRIAN & NON-MOTOR
VEHICULAR EASEMENT REQUIRED
IN CITY OWNED PROPERTY
PER DOC. REC. 1-24-84, DOC.
NO. 84-027587, O.R.



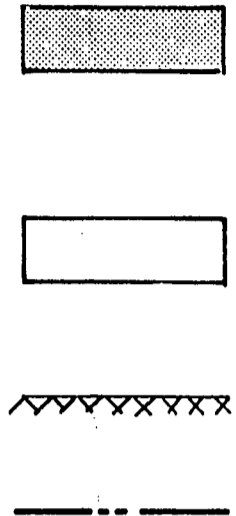
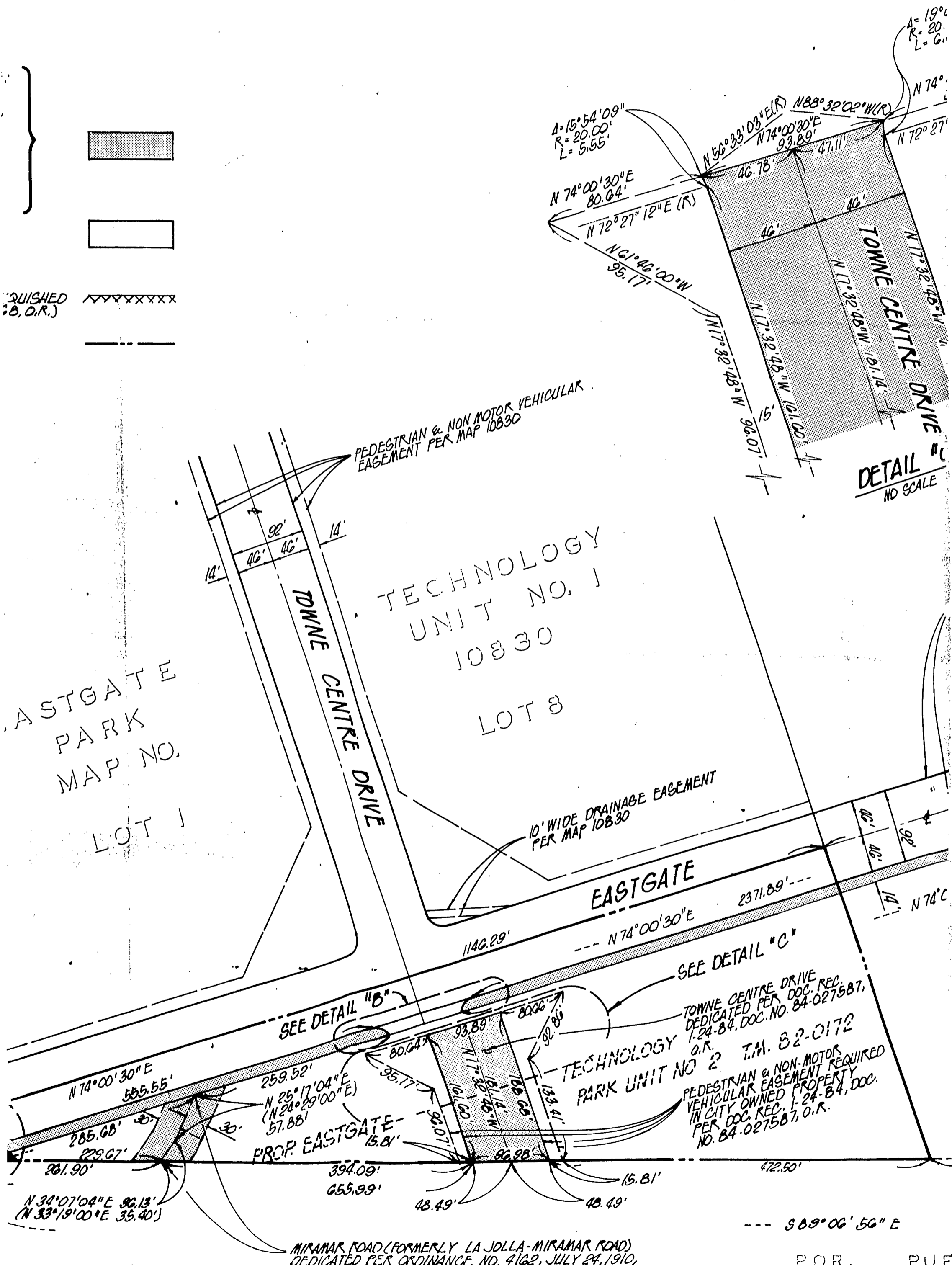
DETAIL "B"
NO SCALE

PORTION PUEBLO LOT 1318

15.81' 472.50' 1262.69'

--- 389° 06' 56" E 2488.16' ---

POR. PUEBLO LOT 1307



REQUITED (B.D.R.)

EASTGATE
PARK
MAP NO.
LOT 1

PEDESTRIAN & NON MOTOR VEHICULAR
EASEMENT PER MAP 10830

TECHNOLOGY
UNIT NO. 1
10830

LOT 3

10' WIDE DRAINAGE EASEMENT
PER MAP 10830

EASTGATE

SEE DETAIL "B"

SEE DETAIL "C"

TECHNOLOGY
PARK UNIT NO 2

TOWNE CENTRE DRIVE
DEDICATED PER DOC. REC.
1-24-84, DOC. NO. 84-027587,
O.R.

T.M. 82-0172

PEDESTRIAN & NON-MOTOR
VEHICULAR EASEMENT REQUIRED
IN CITY OWNED PROPERTY
PER DOC. REC. 1-24-84, DOC.
NO. 84-027587, O.R.

N 31°07'04" E 96.13'
(N 33°19'00" E 35.40')

MIRAMAR ROAD (FORMERLY LA JOLLA-MIRAMAR ROAD)
DEDICATED PER ORDINANCE NO. 4162, JULY 24, 1910,

--- S 89°06'56" E

A=19°
R=20'
L=6"

TOWNE CENTRE DRIVE "C"

DETAIL "C"
NO SCALE

LEGEND

PORTION OF EASTGATE MALL VACATED SHOWN THUS:
AREA: 0.726 AC.

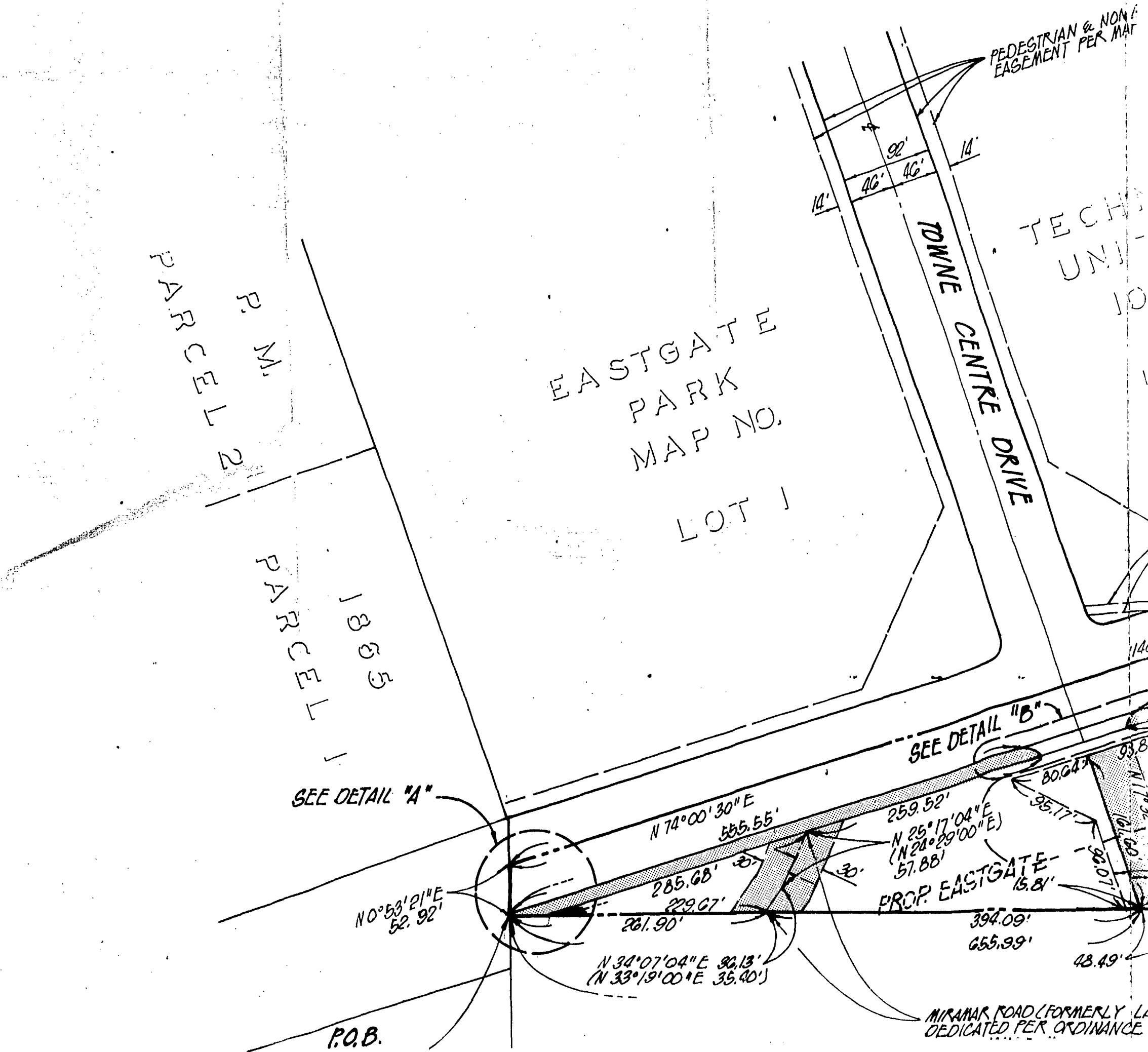
MIRAMAR ROAD (DEDICATED PER CITY ORD. NO. 4102,
JULY 24, 1910 & RE DEDICATED PER ORD. NO. 5084,
JUNE 5, 1913) VACATED SHOWN THUS:
AREA: 0.129 AC.

TOWNE CENTRE DRIVE (DEDICATED PER DOC. REC.
1-24-84, DOC. NO. 84-027587, O.R.) VACATED
SHOWN THUS:
AREA: 0.383 AC.

PEDESTRIAN & NON-MOTOR VEHICULAR EASEMENT
(REQUIRED IN CITY OWNED PROPERTY PER DOC.
REC. 1-24-84, DOC. NO. 84-027587, O.R.)
VACATED SHOWN THUS:
AREA: 0.226 AC.

INDICATES ADJUTTER'S RIGHTS OF ACCESS (RELINQUISHED
PER DOC. NO. 109530, REC. 7-9-58, BOOK 7157, PG. 468, O.R.)
REVESTED PER DWG. NO. 21907-0

PROPOSED SUBDIVISION BOUNDARY



TECHNICAL UNIT 10

PER DEC. NO. 109530, REC. 7-9-65, LOOK 1161, 16, 160, U.I.N.)
 REVESTED PER DWG. NO. 21907-0
 PROPOSED SUBDIVISION BOUNDARY

PARCEL 2

P.M.

PARCEL 1

1805

EASTGATE
 PARK
 MAP NO.

LOT 1

PEDESTRIAN & NON-MV
 EASEMENT PER MAP

TECH
 UN
 10

TOWNE
 CENTRE
 DRIVE

SEE DETAIL "A"

SEE DETAIL "B"

$N 0^{\circ} 53' 21'' E$
 $52.92'$

$N 74^{\circ} 00' 30'' E$
 $555.55'$

$259.52'$
 $N 25^{\circ} 17' 04'' E$
 $(N 24^{\circ} 29' 00'' E)$
 $57.88'$

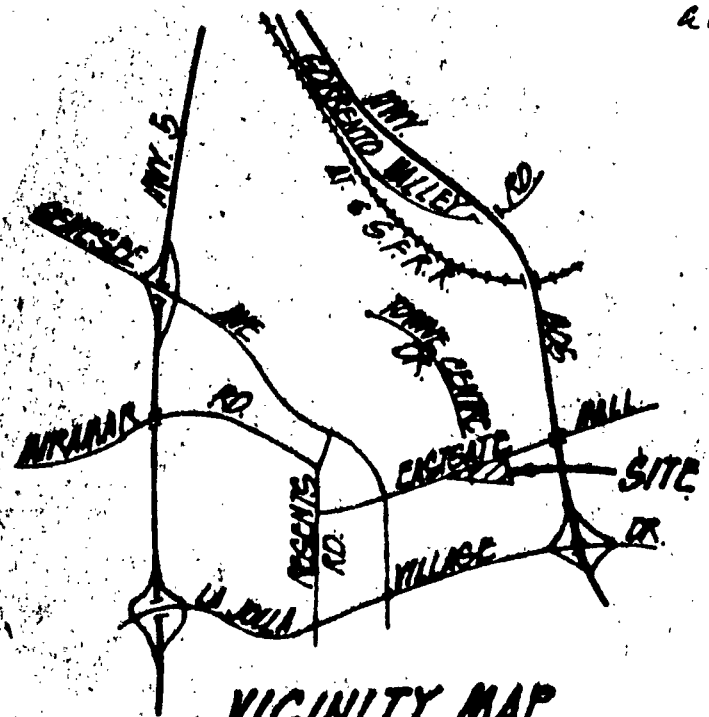
PROP. EASTGATE
 15.8'

$N 34^{\circ} 07' 04'' E$ 96.13'
 $(N 33^{\circ} 19' 00'' E$ 35.40')

MIRAMAR ROAD (FORMERLY LA
 DEDICATED PER ORDINANCE
 & ORDINANCE NO. 5084, JUL

P.O.B.
 N.E. CORNER OF
 PROSPECT ACRES
 MAP NO. 3803; N.W.
 CORNER OF P.L. 1307

LOT 3
 PROSPECT
 ACRES
 MAP
 3803



SCALE: 1"=100'



PORTION PUEBLO LOT 1318

PORTION OF EASTGATE MALL
PER DOC. REC. 7-9-58, DOC.
BK. 7157, PG 46B, O.R.

DETAIL "C"
NO SCALE

EASTGATE MALL (FORMERLY MIRAMAR ROAD)
DEDICATED PER CITY CLERK'S DOC. NO.
14641, FEBRUARY 16, 1943, ORD. NO. 2618
(NEW SERIES)

10' WIDE DRAINAGE EASEMENT
IN CITY OWNED PROPERTY PER
DOC. REC. 3-12-84, DOC. NO.
84-112472

EASEMENT

EASTGATE

MALL

(REC. N73°31'05"E PER DOC. REC. 2-18-43, DOC. NO. 14641)
(R.S. 304) 1684.29'

SEE DETAIL "C"

TOWNE CENTRE DRIVE
DEDICATED PER DOC. REC.
1-24-84, DOC. NO. 84-027587,
O.R.

PEDESTRIAN & NON-MOTOR
VEHICULAR EASEMENT REQUIRED
IN CITY OWNED PROPERTY
PER DOC. REC. 1-24-84, DOC.
NO. 84-027587, O.R.

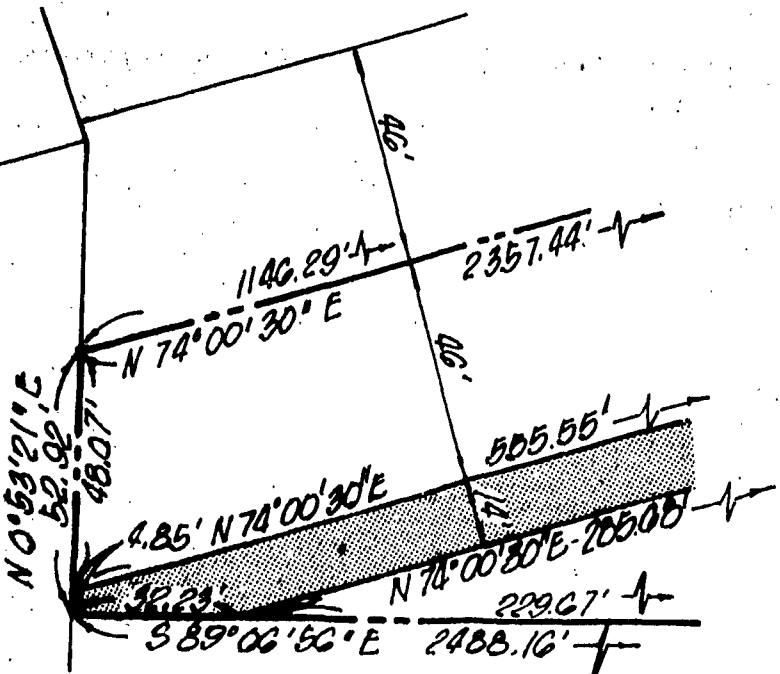
DETAIL "B"
NO SCALE

PORTION PUEBLO LOT 1318

15.81' 472.50' 1262.69'

389°06'56"E 2488.16'

POR. PUEBLO LOT 1307



DETAIL "A"
NO SCALE

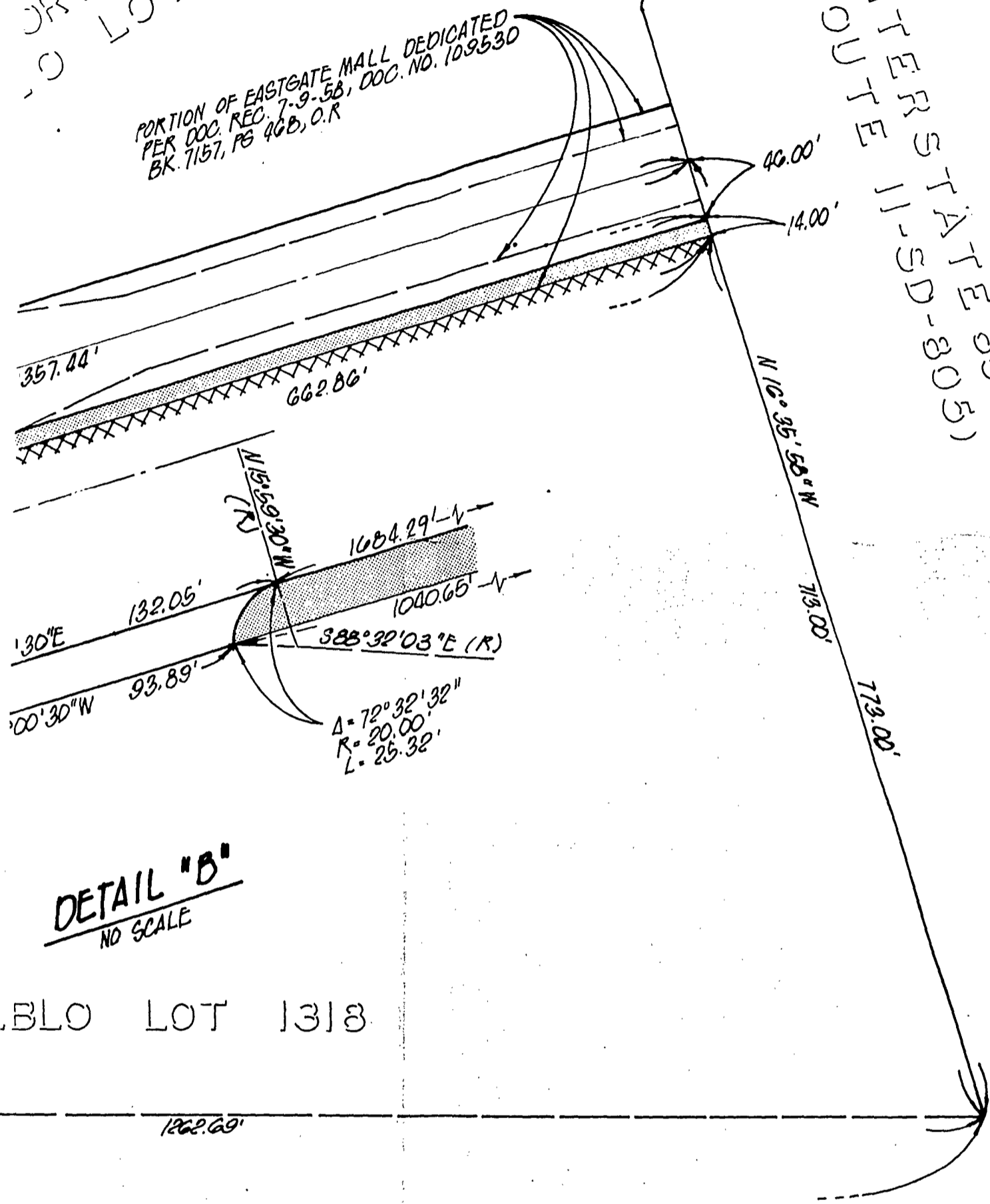
GEORGE S. NOLTE AND
 san jose sacramento san diego
 9455 RIDGEHAVEN CT., SAN DIEGO
 ENGINEER OF WORK: PHONE:
James R. Hettinger
 JAMES R. HETTINGER R.C.E. 31.

1"=100'

PORTION
LOT 1318

PORTION OF EASTGATE MALL DEDICATED
PER DOC. REC. 7-9-58, DOC. NO. 109530
BK. 7157, PG 46B, O.K.

INTERSTATE 805
(ROUTE 11-SD-805)



DETAIL "B"
NO SCALE

PUEBLO LOT 1318

1262.69'

RR- 262830-1
 DOCUMENT NO. _____
 FILED APR 08 1985
 OFFICE OF THE CITY CLERK
 SAN DIEGO, CALIFORNIA

STREET VACATION- PORTIONS OF MIRAMAR ROAD,
 TOWNE CENTRE DRIVE, AND EASTGATE MALL;
 AND ABANDONMENT OF THE EASEMENT REQUIRED
 FOR PEDESTRIAN AND NON-MOTOR VEHICULAR
 USES, ALL IN PUEBLO LOT 1318, FOR PROPOSED
 EASTGATE TECHNOLOGY PARK UNIT NO. 2
 (T.M. 82-0172)

CITY OF SAN DIEGO, CALIFORNIA
 ENGINEERING DEPARTMENT
 SHEET 1 OF 1 SHEET

T.M. 82-0172-2
 W.O. 118150
 NO. SA 85-500

J. F. M. Laughlin Mar. 6, 1985
 FOR CITY ENGINEER DATE

DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL				

Robert A. ...
 CONTROL CERTIFICATION
 260-1705
 LAMBERT COORDINATES

GEORGE S. NOLTE AND ASSOCIATES
 san jose sacramento san diego walnut creek
 9455 RIDGEHAVEN CT., SAN DIEGO, CA 92123
 ENGINEER OF WORK: PHONE: 619-278-9392
James R. Hettinger 12-6-84
 JAMES R. HETTINGER R.C.E. 31756 DATE

DESIGNED: DJF
 DRAWN: DJF
 DATE: 12-6-84
 JOB NO.: 8498-80-03

CONTRACTOR _____ DATE STARTED _____
 INSPECTOR _____ DATE COMPLETED _____

21874-D

APR 08 1985

Passed and adopted by the Council of The City of San Diego on
by the following vote:

Councilmen	Yeas	Nays	Not Present	Ineligible
Bill Mitchell	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Bill Cleator	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Gloria McColl	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
William Jones	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Ed Struiksma	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mike Gotch	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Dick Murphy	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Uvaldo Martinez	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mayor Roger Hedgecock	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

AUTHENTICATED BY:

ROGER HEDGECOCK

Mayor of The City of San Diego, California.

(Seal)

CHARLES G. ABDELNOUR

City Clerk of The City of San Diego, California.

By *Maxwell L. Belmonte*, Deputy.

Office of the City Clerk, San Diego, California

Resolution *R-262830* APR 08 1985
 Number Adopted

RECEIVED
CITY CLERK'S OFFICE

1985 MAR 27 PM 3: 22

SAN DIEGO, CALIF.

MAR 27 1985

MAR 27 1985

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