

291486

RESOLUTION NUMBER R-_____

ADOPTED ON APR 13 1999

A RESOLUTION OF THE COUNCIL OF THE CITY OF SAN DIEGO APPROVING CONDITIONAL USE PERMIT NO. 98-1109 (STREET RETAIL WEST 8, L.P.) WITHIN THE CENTRE CITY REDEVELOPMENT PROJECT AREA.

WHEREAS, Street Retail West 8, L.P. [the Developer] has submitted to the Centre City Development Corporation an application for Conditional Use Permit 98-1109 to permit the use of 1014 Fifth Avenue (the Holzwasser/Walker Scott Building), 402 Broadway (the Owl Drug Building) and 1026 Fifth Avenue for commercial, retail, restaurant, residential and parking use, within the Centre City Redevelopment Project area; and

WHEREAS, the application, including Basic Concept/Schematic Drawings, has been reviewed by the Centre City Redevelopment Project Area Committee; and

WHEREAS, the Centre City Development Corporation, Inc., and the Council of The City of San Diego have held public hearings to consider the proposed project, having duly published and mailed notice of such public hearings and permitted interested citizens and area residents to review and comment on the proposed development; NOW, THEREFORE,

BE IT RESOLVED, by the Council of The City of San Diego, as follows:

1. That the proposed use will not adversely affect the neighborhood, the General Plan, or the Community Plan, and, if conducted in conformity with the conditions provided by the Permit, will not be detrimental to the health, safety, and general welfare of persons residing or working in the area.

2. That the proposed use will comply with all the relevant regulations in the Municipal Code.

3. That Conditional Use Permit 98-1109, including the Basic Concept/Schematic Drawings, is hereby granted, subject to the conditions stated and attached hereto and incorporated herein by this reference.

APPROVED: CASEY GWINN, City Attorney

By



Douglas K. Humphreys
Deputy City Attorney

DKH:lc

03/30/99

Or.Dept:CCDC

R-99-1073

Form=r&t.frm

CONDITIONAL USE PERMIT NO. 98-1109
CENTRE CITY CONDITIONAL USE PERMIT

WHEREAS, pursuant to the regulations of the Centre City Planned District Ordinance No. 0-17533 and the San Diego Municipal Code, an application to construct a 90,000 square foot building and convert the 90,000 Walker Scott Historic Building into an approximately 270-space public parking structure, with approximately 25-35,000 square feet of retail/commercial space, at 1014 and 1026 Fifth Avenue was considered by the City Council. The site, described as Lots G, H, I, and J of Block 36 of Horton's Addition in the City of San Diego, County of San Diego, State of California, according to the map thereof on file in the Office of the County Recorder of San Diego County, is located in the Commercial/Office District of the Centre City Community Plan Area.

A Conditional Use Permit is granted by the City of San Diego to Street Retail West 8, L.P., Permittee, subject to the following conditions:

1. The exterior of the Walker Scott historic structure shall conform with the Secretary of the Interior's Standards for Rehabilitation and shall maintain glazing in the windows.
2. The new building at 1026 Fifth Avenue shall contain a pattern of facade openings exhibiting a pattern representing office windows and shall contain architectural enhancements around the openings to further create this appearance.
3. Each garage level shall provide a solid building wall at least three and one half feet high above the parking surface to screen the view of vehicles.
4. The roof-top parking level shall contain lighting which is wall-mounted rather than pole mounted.
5. All lighting, unfinished surfaces, and mechanical equipment shall be screened from views from the sidewalk grades on both sides of Fifth Avenue and Broadway.
6. A final materials/color board shall be provided for approval with the 100% construction drawings.
7. This Permit may be revoked by CCDC if there is a material breach or default in any of the conditions of this permit.
8. This Permit shall not become effective until:
 - a. The Permittee signs and returns the Permit to CCDC; and
 - b. The Permit is recorded in the Office of the County Recorder.

9. This Permit must be used within 36 months after the date of approval or the Permit shall be void.
10. After establishment of the mixed use project and parking garage, the Property shall not be used for other uses unless:
 - a. Authorized by CCDC; or
 - b. The uses are consistent with all zoning and development regulations of the Centre City Planned District Ordinance; or
 - c. This permit has been revoked by CCDC.
11. This Permit is a Covenant running with the lands and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this permit and all referenced documents.

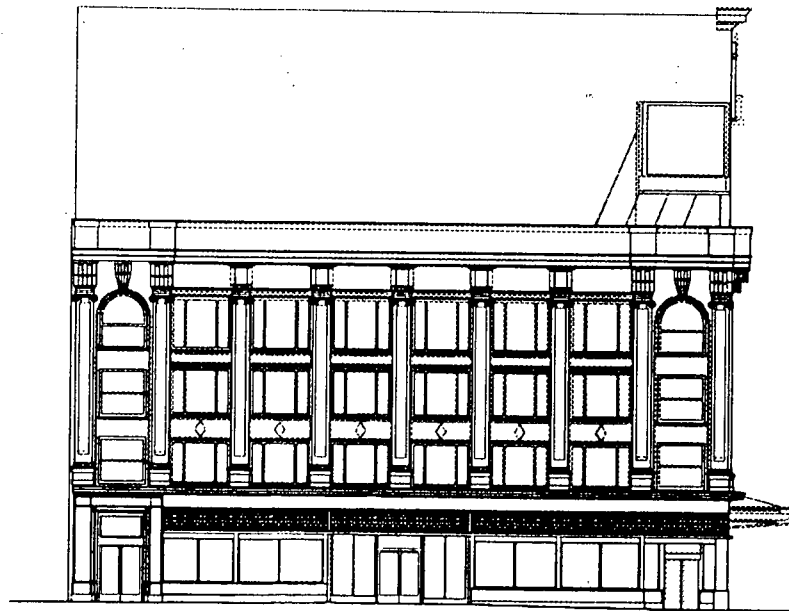
Passed and adopted by the City Council of San Diego _____, 1999.

CENTRE CITY DEVELOPMENT
CORPORATION

PERMITTEE(S) SIGNATURE

ATTACHMENT #2

Basic Concept & Schematic Drawings



FOURTH AVENUE ELEVATION

ARCHITECTS

RICHARD BUNDY
& DAVID THOMPSON

371-A BICENTH AVENUE
SAN DIEGO, CALIFORNIA 92101-7148
619 231-8209

ON BROADWAY

402 BROADWAY
1019 FIFTH AVENUE
1026 FIFTH AVENUE

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SCALE: 1/8" = 1'-0"

PRELIMINARY
PLAN

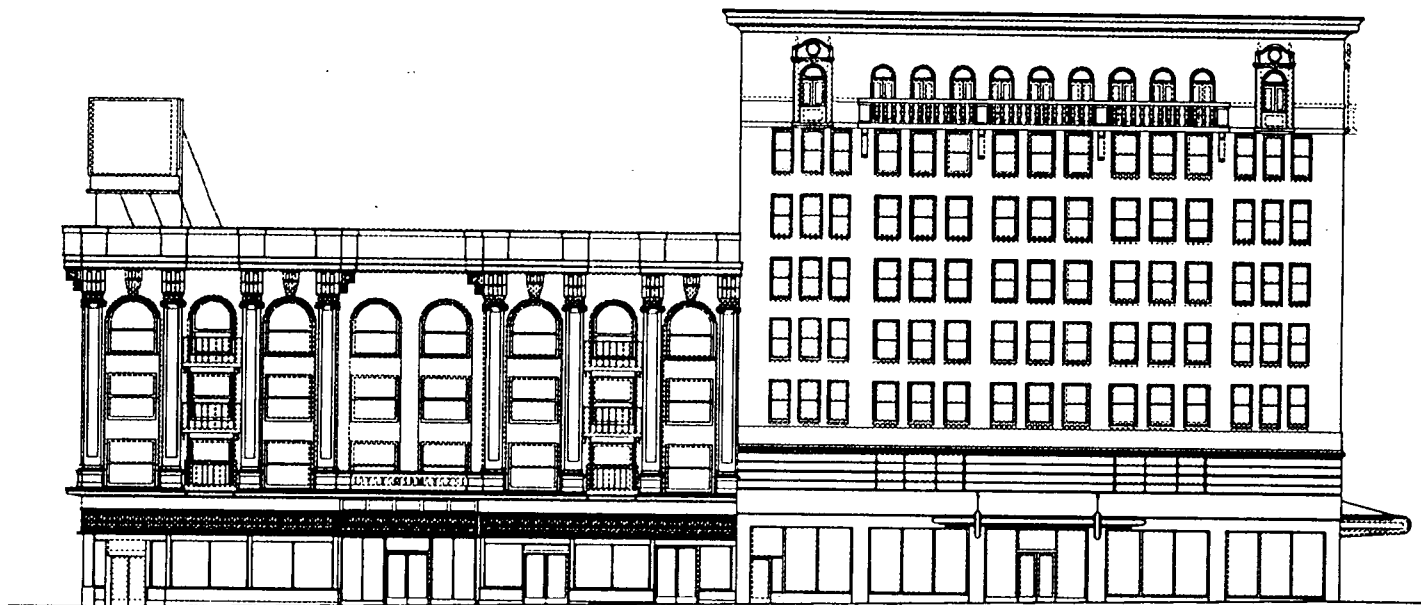
FOURTH AVENUE
ELEVATION

DATE: 1.14.99

BY: [Signature]



R-291486



BROADWAY ELEVATION

ARCHITECTS

RICHARD BUNDY
& DAVID THOMPSON

371-A BORTH AVENUE
SAN DIEGO, CALIFORNIA 92101-7740
619 231-4000

ON BROADWAY

402 BROADWAY
1019 FIFTH AVENUE
1036 FIFTH AVENUE

NOT TO SCALE
GENERAL REFERENCE DRAWING

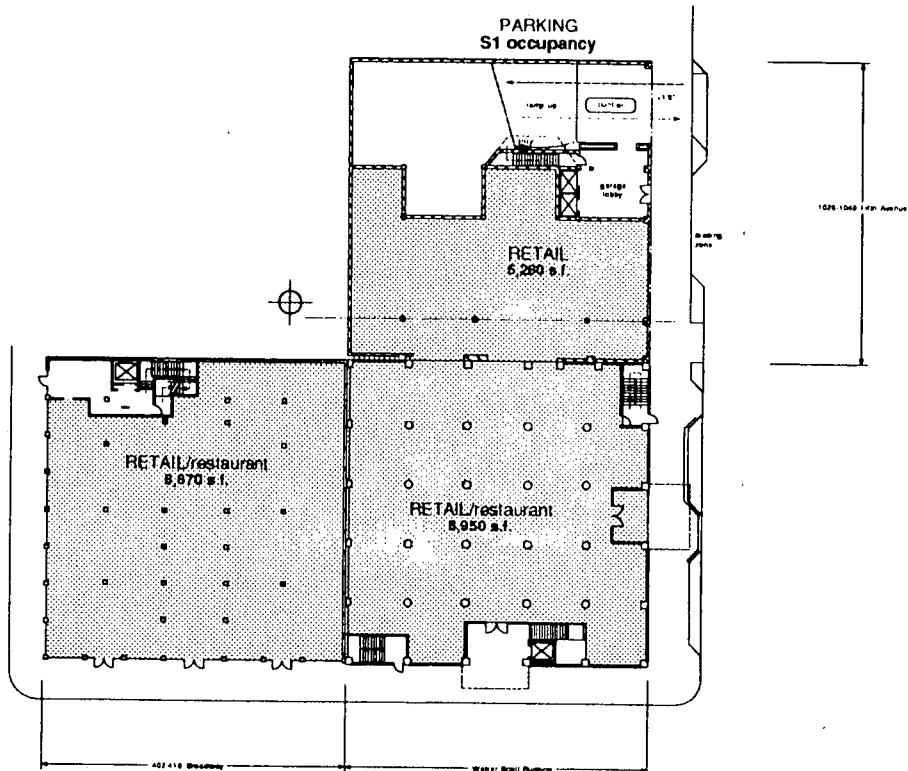
PRELIMINARY
PLAN

— FIFTH AVENUE
ELEVATION

DATE: 1.14.99



R-291486



FIRST FLOOR PLAN
proposed occupancies

1/16" = 1' 0"

ARCHITECTS

RICHARD BUNDY
& DAVID THOMPSON

271-A EIGHTH AVENUE
SAN DIEGO, CALIFORNIA 92101-7140
619 231-4229

ON BROADWAY

402 BROADWAY
1019 FIFTH AVENUE
1026 FIFTH AVENUE

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PERMANENT SCALE'S SUPERINTENDENT FILE

PRELIMINARY
PLAN

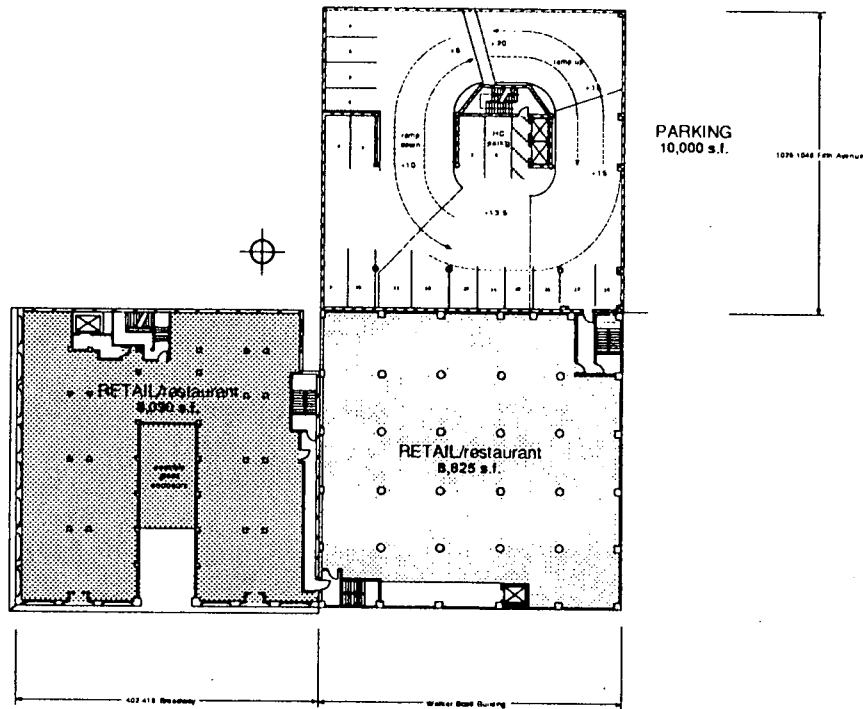
PROJECT TITLE PROPOSED
FLOOR PLANS

DATE 1.11.99

ISSUE 1.14.99

1

R - 291486



SECOND FLOOR PLAN
 proposed occupancies

1/16" = 1'0"

ARCHITECTS
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 & DAVID THOMPSON

371-A EIGHTH AVENUE
 SAN DIEGO, CALIFORNIA 92101-3740
 619 231-4929

ON BROADWAY

402 BROADWAY
 1019 FIFTH AVENUE
 1026 FIFTH AVENUE

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 FEDERAL BUREAU OF INVESTIGATION

**PRELIMINARY
 PLAN**

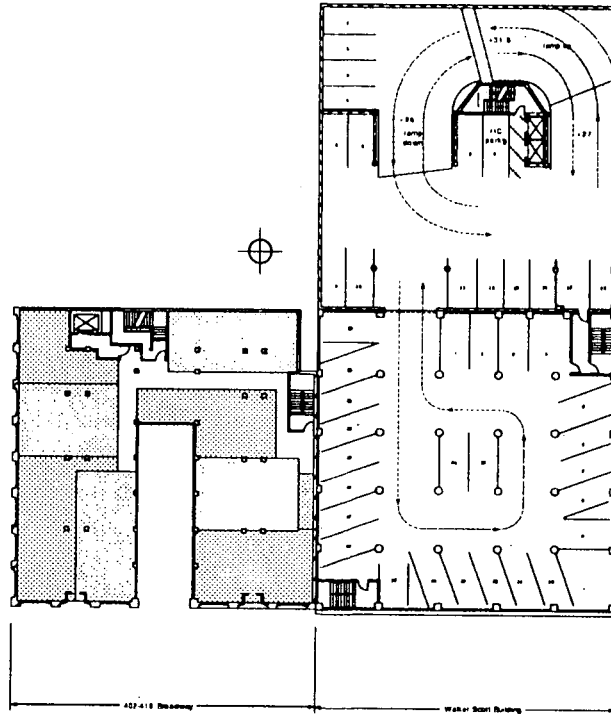
SHEET TITLE PROPOSED
 FLOOR PLANS
DATE 1.11.99
BY/DATE 1.14.99

R-291486

RESIDENTIAL
7,600 s.f.

PARKING
10,000 s.f.

PARKING
10,000 s.f.



THIRD FLOOR PLAN
 floor 4 similar
 proposed occupancies
 1/16" = 1'0"

ARCHITECTS

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& DAVID THOMPSON**

371-A EIGHTH AVENUE
SAN DIEGO, CALIFORNIA 92101-2140
818 231-4100

ON BROADWAY

402 BROADWAY
1019 FIFTH AVENUE
1026 FIFTH AVENUE

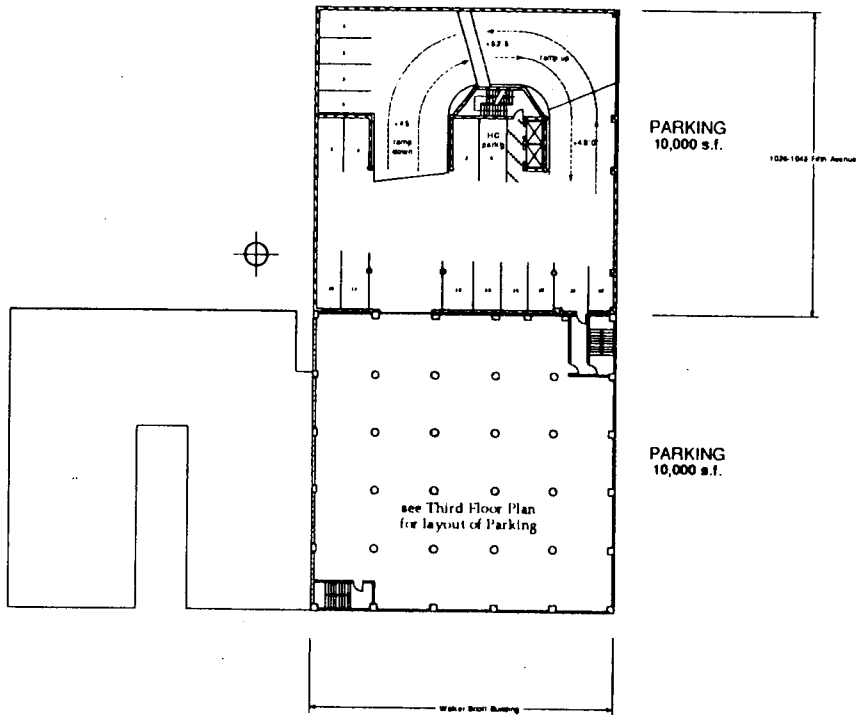
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**PRELIMINARY
PLAN**

**PROPOSED
FLOOR PLANS**
DATE: 1.11.99
REVISED: 1.14.99

R-291486



FIFTH FLOOR PLAN
 floors 6,7 & 8 similar
 proposed occupancies
 1/16" = 1'-0"

ARCHITECTS

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 SAN DIEGO, CALIFORNIA 92101-7140
 619 231-4929

ON BROADWAY

402 BROADWAY
 1019 FIFTH AVENUE
 1026 FIFTH AVENUE

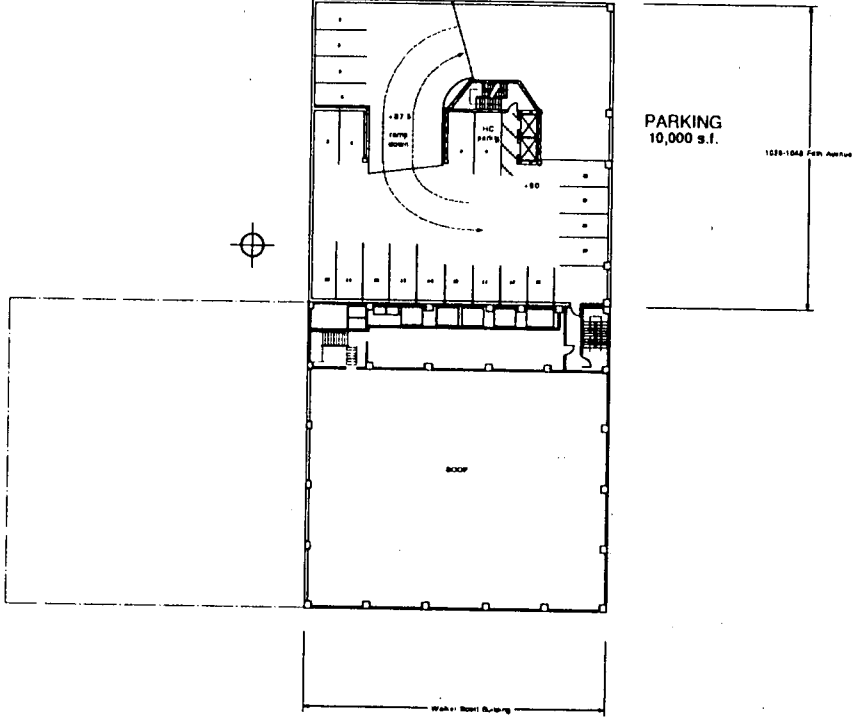
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ON BROADWAY LLC
 FEDERAL RESERVE'S DEPARTMENT OF TREASURY

**PRELIMINARY
 PLAN**

**PROPOSED
 FLOOR PLANS**
 DATE: 1.11.99
 APPROVED: 1.14.99

R-291486



ROOF PLAN
proposed occupancies
 1/16" = 1' 0"

PARKING
 10,000 s.f.

ARCHITECTS
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 619 231-4129

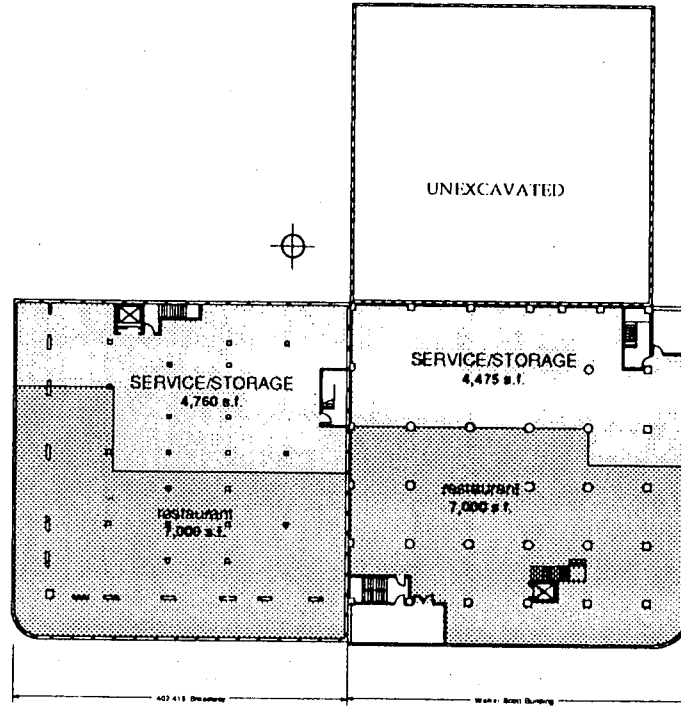
ON BROADWAY

402 BROADWAY
 1019 FIFTH AVENUE
 1026 FIFTH AVENUE

PRELIMINARY
 PLAN

PROPOSED
 FLOOR PLANS
 DATE 1.11.99
 DATE 1.14.99

R-291486



BASEMENT FLOOR PLAN
 proposed occupancies
 1/16" = 1' 0"

ARCHITECTS
 RICHARD BUNDY
 & DAVID THOMPSON

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 SAN DIEGO, CALIFORNIA 92101-3740
 619 231-4829

ON BROADWAY

402 BROADWAY
 1019 FIFTH AVENUE
 1026 FIFTH AVENUE

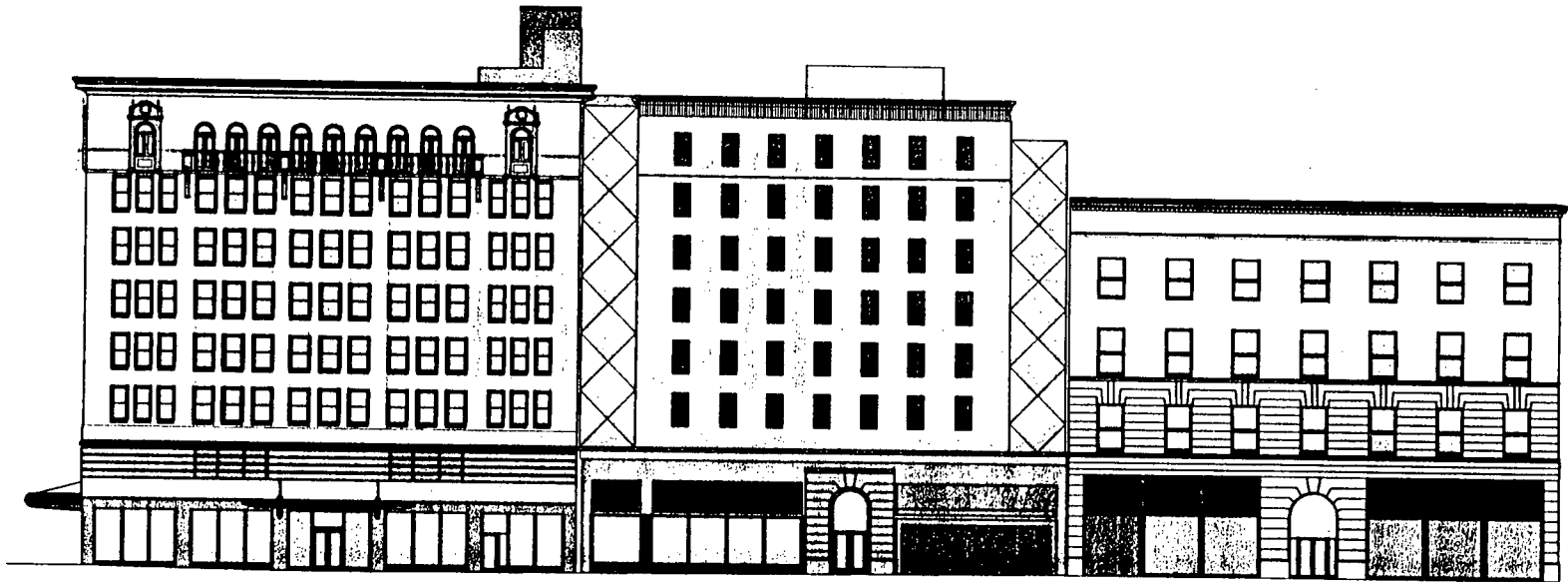
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THE GROUP LLC
 100 MARKET STREET, SUITE 1000, SAN DIEGO, CA 92101

**PRELIMINARY
 PLAN**

**PROPOSED
 FLOOR PLANS**
 DATE: 1.11.99
 REVISION: 1.14.99

R- 291486



ARCHITECTS
 HERRICK BONDY
 4 EAST 100TH ST
 NEW YORK 17, N.Y.

PLANNING ENGINEER
 SAMUEL L. GARDNER, INC.
 110 W. 42ND ST.
 NEW YORK 36, N.Y.

ON BROADWAY

ECONOMY
 EFFICIENCY
 BEAUTY

PRELIMINARY
 PLAN

REHAUSE
 DEVELOPMENT

DATE: 11.15.58

SCALE: 1/8" = 1'-0"

BY: H2

2

R-291486