

RESOLUTION NUMBER R- 291990

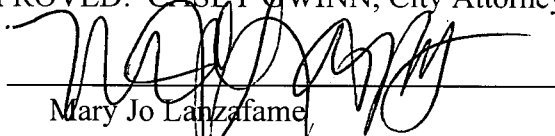
ADOPTED ON JUL 26 1999

BE IT RESOLVED, by the Council of The City of San Diego, that it is certified that the information contained in the Addendum No. 99-0279 to EIR No. 96-7158, on file in the office of the City Clerk, has been completed in compliance with the California Environmental Quality Act of 1970, as amended, and the State guidelines thereto (California Code of Regulations section 15000 et seq.), that the report reflects the independent judgment of The City of San Diego as Lead Agency and that the information contained in said report, together with any comments received during the public review process, has been reviewed and considered by this Council in connection with the approval of the street vacation of Del Mar Hills Drive.

BE IT FURTHER RESOLVED, that pursuant to California Public Resources Code section 21081.6, the City Council adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the project as required by this body in order to mitigate or avoid significant effects on the environment, a copy of which is attached hereto and incorporated herein by reference.

APPROVED: CASEY GWINN, City Attorney

By


Mary Jo Lanzafame
Deputy City Attorney

MJL:cdk
06/28/99
Or.Dept:PDR
R-99-1581
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EXHIBIT A

MITIGATION, MONITORING AND REPORTING PROGRAM

DEL MAR CENTRAL OFFICE EXPANSION

STREET VACATION

LDR 99-0279

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. All mitigation measures contained in the Mitigated Negative Declaration (LDR No. 99-0279) shall be made conditions of the STREET VACATION; as described below.

No new mitigation is required for the proposed street vacation. The mitigation measures identified in EIR No. 96-7158 shall be required of the approved Conditional Use Permit/Carmel Valley Planned District Development Permit for horizontal expansion of the Pacific Bell switching center.

As conditions of Conditional Use Permit and Carmel Valley Planned District Development Permit No. 96-7158, the following mitigation measures are required to reduce potential adverse project impacts to Neighborhood Character/Aesthetics and potential Noise impacts to below a level of significance:

Neighborhood Character/Aesthetics

1. Prior to issuance of the Certificate of Occupancy, landscaping will be provided to the satisfaction of the City Landscape Planner. To reduce maturation time, plant specimens which cannot be relocated from their existing location shall will be replaced with plants which are a minimum of 15 gallons in size.

Noise

2. At no time shall any combination of chiller, HVAC Room, fan, or generator noises cause the ambient noise to exceed City standards (50 dB) for the MF-L zone at/or beyond the property line.
3. The manufacturer's sound attenuation package shall be installed on each of the three chillers. This package includes inlet and outlet sound attenuators which reduce the noise level to 62 dB at 30 feet from the chiller.
4. The two existing outdoor chillers shall be relocated and noise mitigation shall be provided to meet City Noise Standards prior to issuance of the Certificate of Occupancy. At no time shall any combination of chiller, fan or generator noise cause the ambient noise to exceed City standards (50 dB) for the MF-1 zone at/ or beyond the property line.
5. The generator testing shall be limited to normal business hours (8:00 a.m. to 5:00 p.m. Monday-Friday). The generator shall not be otherwise operated unless a power outage occurs.

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6. A single generator shall be allowed on-site. This generator shall be operated in an enclosed room and surrounded by acoustical dampers. At no time shall generator noise cause the ambient noise to exceed City standards (50 dB) for the MF-1 zone at/ or beyond the property line.
7. Prior to the issuance of the Building Permit, generator and chiller operation on-site must be retested to show, to the satisfaction of the City Engineer, that City noise standards for the MF-1 zone are not exceeded at, or beyond the property line.

General

8. Prior to the issuance of building permits, the applicant must deposit \$575.00 with Development Services Intake Section to establish a mitigation account. The mitigation account will ensure the success of the Mitigation, Monitoring and Reporting Program.

City of San Diego
Development
Services
Department



Land Development
Review Division
(619) 236-6460

Addendum to an Environmental Impact Report

LDR No. 99-0279
Addendum to EIR No. 96-7158

SUBJECT: DEL MAR CENTRAL OFFICE EXPANSION. STREET VACATION No. 99-0279 for Del Mar Hills Drive immediately adjacent to, and east of, the existing two-story Pacific Bell facility and development of nine parking spaces. The project site is located on the north side of Del Mar Heights Road, between Interstate 5 and High Bluffs Drive, in Neighborhood 3 of the Carmel Valley Community (Map No. 6214, Parcel 3, Lot 1).
Applicant: Pacific Bell.

I. PROJECT DESCRIPTION:

The proposed street vacation, to be considered by the City Council (Process 5), would allow the vacation of Del Mar Hills Drive and the development of nine parking spaces and associated landscaping (See Figure 2). The proposed project would add a total of 4,587 square feet to the project site, due to the street vacation of Del Mar Hills Drive, and existing parking would be relocated to the eastern street vacation area.

Vehicular access to the project site would continue to be from Del Mar Heights Road via the vacated Del Mar Hills Drive. This street runs only on the north side of Del Mar Heights Road and currently dead-ends at the Eastbluffs Development to the north. Proposed landscaping includes a variety of trees, shrubs, and groundcover in accordance with the Landscape ordinance and Landscape Technical Manual.

- II. ENVIRONMENTAL SETTING: Del Mar Hills Drive, which is proposed to be vacated, is approximately 500 feet long and begins on the north side of Del Mar Heights Road. This street was originally intended to run through the Eastgate Bluffs development, however the extension was never constructed and the right-of-way was vacated and developed with residences.

The 0.1 acre project site is located in the Neighborhood 3 Precise Plan Area of the Carmel Valley Community on the north side of Del Mar Heights Road, between the Interstate (I-5) Freeway and High Bluffs Drive (See Figure 1). Currently, the project site is developed with the street, curb and gutter improvements for Del Mar Hills Drive. The project site is designated for utility

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use and is located in a multi-family residential zone (MF-L/5-9 dwelling units per acre).

The area immediately surrounding the project to the northwest, north and east is built out with the East Bluff condominium development consisting of two-story condominiums in a park-like setting with landscaped open space between buildings. North of the East Bluff development, the area is built out with single-family homes, an elementary school, and a community park. To the west of Del Mar Bluffs Drive is the existing Pacific Bell switching center, a parcel of open space and Interstate 5. Land uses to the south of the project site, across Del Mar Heights Road, include commercial development and office parks.

Please see the Del Mar Central Office Expansion EIR No. 96-7158 for a further description of the environmental setting.

III. PROJECT BACKGROUND/DISCUSSION:

The Del Mar Central Office Expansion EIR was certified and the Conditional Use Permit/Carmel Valley Planned District Development Permit (LDR 96-7158) was approved by the City of San Diego Hearing Officer on September 2, 1998. These approvals allowed a horizontal addition of 12,400 square feet to the existing 19,260-square-foot, two-story Pacific Bell switching center. As a result, on-site parking was reduced from 14 to 12 spaces. Subsequent revisions to the overall site design were approved through Substantial Conformance Review on January 4, 1999. These revisions included removal of the two existing 60-ton chillers from the roof of the existing building, placement of three 90-ton chillers at ground level on the south side of the existing building and construction of an 11-foot high solid noise attenuation wall between the new chiller yard and Del Mar Heights Road. Mature landscaping at the front of the building will be removed and replaced approximately 18 feet further to the south.

There are no new significant environmental issue areas associated with the implementation of the proposed Conditional Use Permit (CUP), Carmel Valley Planned District Development Permit (CVPDDP) permits and Street Vacation as follows:

IV. DETERMINATION:

The City of San Diego previously prepared an Environmental Impact Report for the project described in the subject block of the attached EIR conclusions.

Based upon a review of the current project, it has been determined that:

- a. There are no new significant environmental impacts not considered in the previous EIR;
- b. No substantial changes have occurred with respect to the circumstances under which the project is undertaken; and

- c. There is no new information of substantial importance to the project.

Therefore, in accordance with Section 15164 of the State CEQA Guidelines this addendum has been prepared. No public review of this addendum is required.

V. MITIGATION, MONITORING AND REPORTING PROGRAM INCORPORATED INTO THE PROJECT:

No new mitigation is required for the proposed street vacation. The mitigation measures identified in EIR No. 96-7158 shall be required of the approved Conditional Use Permit/Carmel Valley Planned District Development Permit for horizontal expansion of the Pacific Bell switching center.

As conditions of Conditional Use Permit and Carmel Valley Planned District Development Permit No. 96-7158, the following mitigation measures are required to reduce potential adverse project impacts to Neighborhood Character/Aesthetics and potential Noise impacts to below a level of significance:

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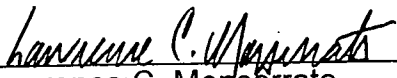
General

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VI. SIGNIFICANT UNMITIGATED IMPACTS:

The Horizontal Alternative eliminates impacts to Neighborhood Character/ Aesthetics identified in the final EIR for the originally proposed project. There are no new significant, unmitigated impacts identified for the Horizontal Alternative project and impacts associated with the originally proposed project have been eliminated.

Because there are no significant unmitigated impacts associated with the approved Horizontal Alternative project no new CEQA Findings are required with this project.



Lawrence C. Monserrate
Environmental Review Manager
Planning and Development Review

Date: March 26, 1999

Analyst: Smit

Attachments: Figure 1 - Location Map
Figure 2 - Site Plan

DISTRIBUTION:

This Addendum was distributed as a courtesy to the following groups and individuals:

State of California

CALTRANS District 11

City of San Diego

Councilmember Mathis - District 1
Engineering and Capital Projects
Planning and Development Review
Water

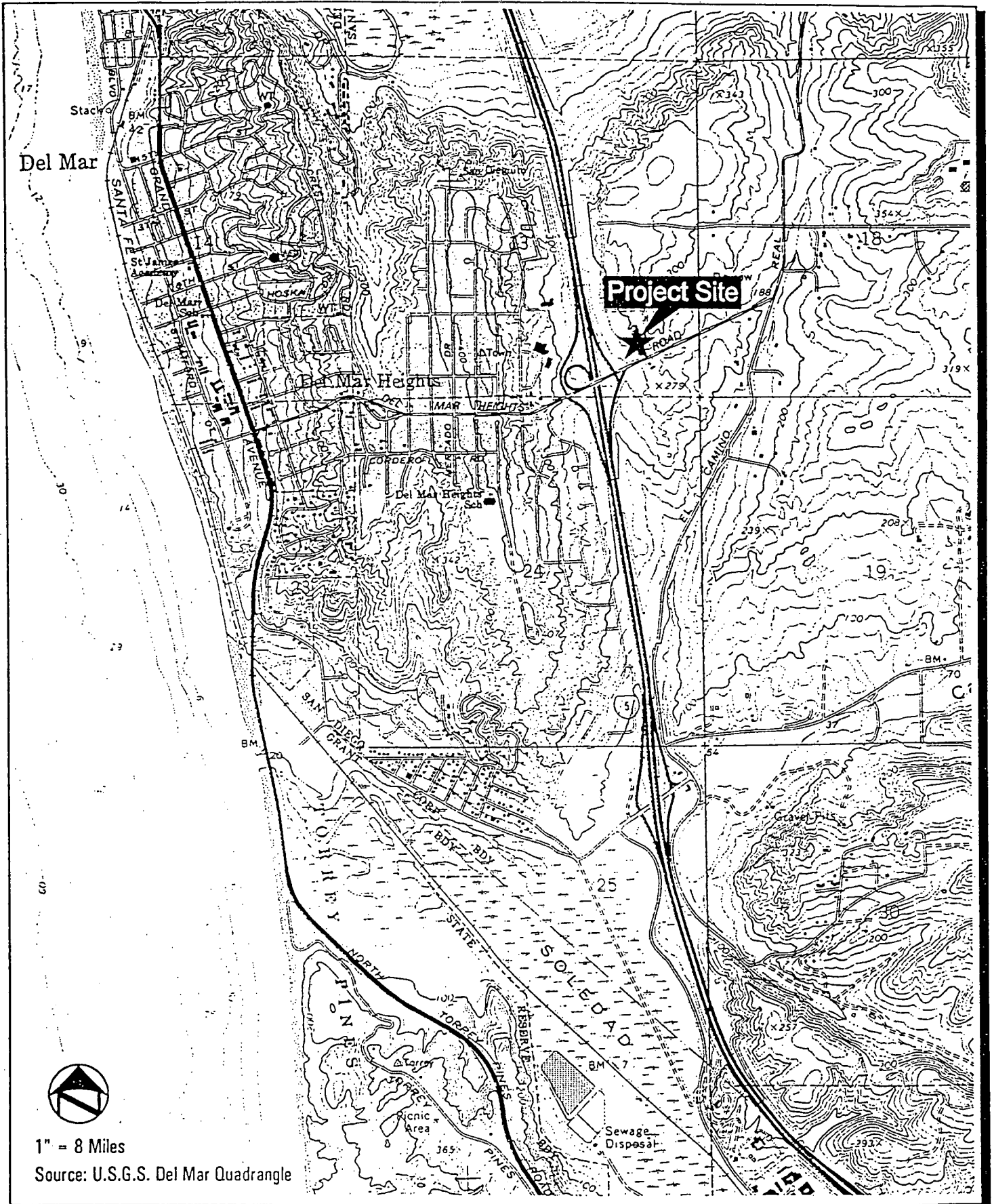
Other

San Diego Gas and Electric
Carmel Valley Community Planning Board
Basil and June Levitt
Betty Lane
Rona Dosick
Theodore and Luciana Rogers
Janette Bruzgo
Robert Kerfoot
Michael Eggleston
City of Solana Beach, Tere' Renteria
Eastbluff Homeowners Association
Karin Yoelin
Robert McAnlis
Robert Cervantes
Pacific Bell
James Harry, Dudek and Associates
Manuel Oncina, Architect

Copies of the addendum, the final EIR, the Mitigation Monitoring and Reporting Program, and any technical appendices may be reviewed in the office of the Land Development Review Division, or purchased for the cost of reproduction.

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Del Mar Central Office Expansion - EIR
Vicinity Map

FIGURE

1

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NOTES

- 1 EXISTING RETAINING WALL
- 2 NEW CONC. PAVEMENT
- 3 NEW 8" HIGH BLACK SCHED. WALL
- 4 EXISTING PLANTING AREA
- 5 EXISTING CONCRETE DRIVEWAY APPROX WITH CURB CUT
- 6 NEW 1/2" ASPHALT DRIVEWAY APPROX AS INDICATED BY SHADING
- 7 NEW CHILLER LOCATION
- 8 EXISTING STREET LIGHT
- 9 EXISTING TRANSFORMER
- 10 EXISTING PUBLIC TELEPHONE
- 11 EXISTING FIRE HYDRANT
- 12 TURNED WORKOUT
- 13 3/4" TURNED SLABS
- 14 EXISTING PROPERTY LINE
- 15 PROPOSED PROPERTY LINE WITH STREET WIDENING OF 50' W/ 1/2" ASPHALT DRIVEWAY FOR CITY OF SAN DIEGO ROAD CORNER # 131112.

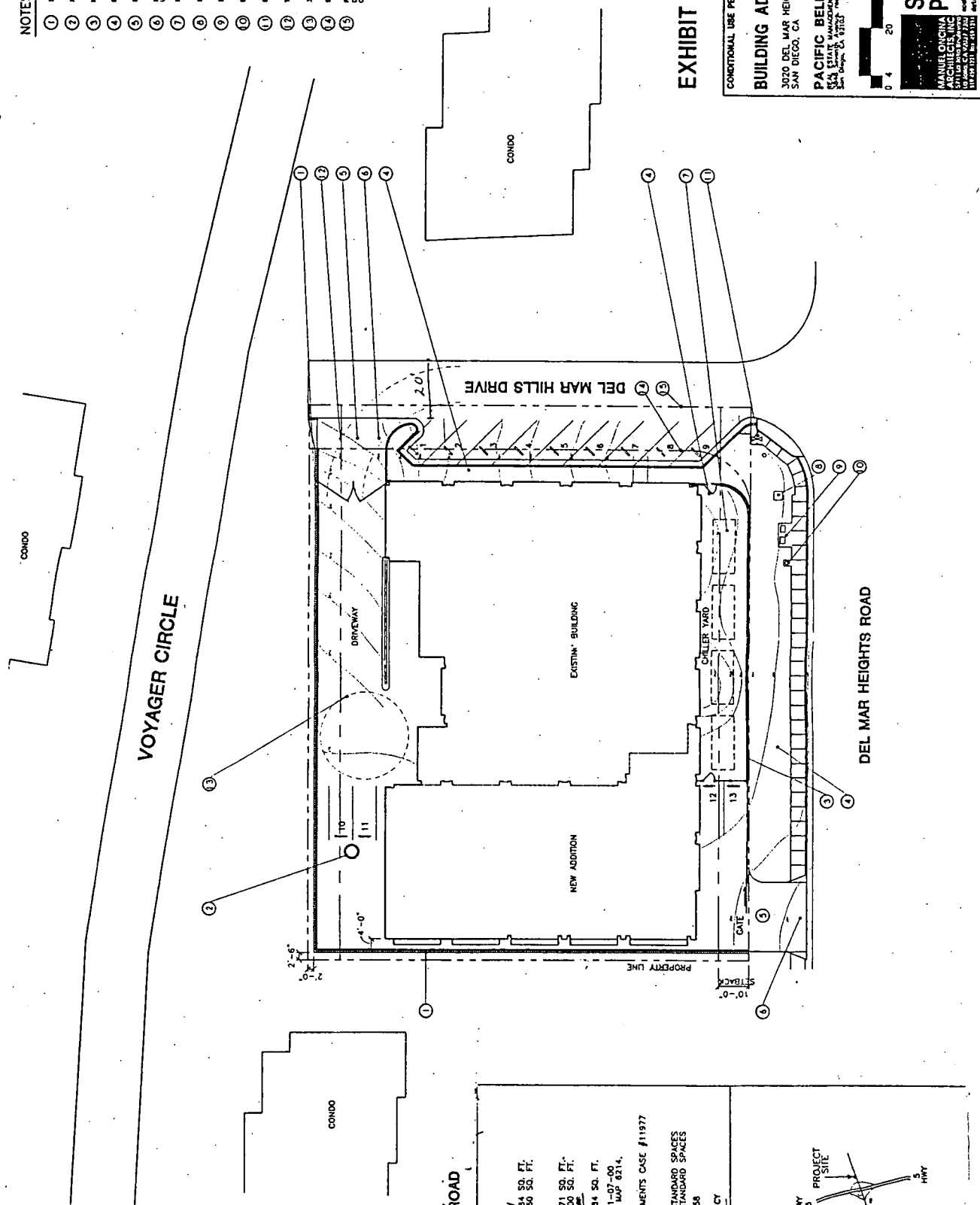


EXHIBIT 'A'

CONDITIONAL USE PERMIT APPLICATION FOR # 98-7158

BUILDING ADDITION
3020 DEL MAR HEIGHTS ROAD
SAN DIEGO, CA

PACIFIC BELL
5245 STATE MANAGEMENT
San Diego, CA 92108

MANUEL OLIVEIRA ARCHITECTS, INC.
11110 LA JOLLA VILLAGE CENTER
SAN DIEGO, CA 92120

Scale: 1" = 18'-0"
Date: 11-18-98

SITE PLAN

A0

DEL MAR HEIGHTS ROAD

BUILDING AREA CALCULATION

EXISTING SITE AREA	26,184 SQ. FT.
EXISTING BUILDING AREA	13,260 SQ. FT.
EXISTING DRIVEWAY AREA	784
EXISTING FLOOR AREA RATIO	50.7%
PROPOSED SITE AREA	30,770 SQ. FT.
PROPOSED BUILDING AREA	17,400 SQ. FT.
PROPOSED DRIVEWAY AREA	800 SQ. FT.
PROPOSED FLOOR AREA RATIO	56.56%
PROPOSED TOTAL BUILDING AREA	30,200 SQ. FT.

APR 1999
D IN COUNTY OF SAN DIEGO.

ENGINE: MF-L ZONING VARIANCE & AMENDMENTS CASE #11977

EXISTING EASEMENTS: NONE

EXISTING PARKING SPACES: 14 STANDARD SPACES
PROPOSED TOTAL PARKING ON SITE: 13 STANDARD SPACES

ADDITIONAL USE PERMIT/ CVD: 98-7158

ESTIMATED EXPORT OF EXCAVATED MATERIAL: 2,000 CY

VICINITY MAP

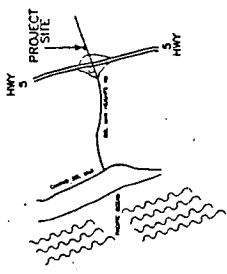


FIGURE 2

Del Mar Central Office Expansion - EIR Site Plan