

ORDINANCE NUMBER O- 21015 (NEW SERIES)

DATE OF FINAL PASSAGE NOV 20 2018

AN ORDINANCE AMENDING CHAPTER 15, ARTICLE 16, DIVISION 1 BY AMENDING SECTIONS 1516.0101, 1516.0102, 1516.0103, 1516.0104, AND 1516.0105, AND BY ADDING NEW SECTIONS 1516.0106, 1516.0107, 1516.0108, 1516.0109, 1516.0110, 1516.0111, 1516.0112, 1516.0113, 1516.0114, 1516.0115, 1516.0116, 1516.0117, 1516.0118, 1516.0119, 1516.0120, 1516.0121, 1516.0122, 1516.0123, 1516.0124, 1516.0125, 1516.0126, 1516.0127, 1516.0128, 1516.0129, 1516.0130, 1516.0131, 1516.0132, 1516.0133, 1516.0134, 1516.0135, 1516.0136, 1516.0137, 1516.0138, 1516.0139, 1516.0140 AND APPENDICES A, B, C, D, E, AND F; AMENDING CHAPTER 15, ARTICLE 16, DIVISION 2 BY AMENDING AND RENUMBERING SECTION 1516.0201 TO SECTION 1516.0106, REPEALING CHAPTER 15, ARTICLE 16, DIVISION 2 AND DELETING SECTIONS 1516.0202, 1516.0203, AND 1516.0204; REPEALING CHAPTER 15, ARTICLE 16, DIVISION 3 AND DELETING SECTIONS 1516.0301, 1516.0302, AND 1516.0303; AND REPEALING CHAPTER 15, ARTICLE 16, DIVISION 4 AND DELETING SECTIONS 1516.0401, 1516.0402, 1516.0403, 1516.0404, AND 1516.0405, ALL RELATING TO THE OLD TOWN SAN DIEGO COMMUNITY PLAN UPDATE AND OLD TOWN SAN DIEGO PLANNED DISTRICT.

WHEREAS, the City of San Diego desires to update the Old Town San Diego Community Plan, which was adopted in 1987; and

WHEREAS, implementation of the proposed update requires amendments to the San Diego Municipal Code to revise provisions of the Old Town San Diego Planned District Ordinance relating to the structure of the design review board, zoning and development regulations, architectural and urban design guidance, and sign regulations; NOW, THEREFORE,

BE IT ORDAINED, by the Council of the City of San Diego, as follows:

Section 1. That Chapter 15, Article 16, Division 1 of the San Diego Municipal Code is amended by amending sections 1516.0101, 1516.0102, 1516.0103, 1516.0104, and 1516.0105,

and by adding new sections 1516.0106, 1516.0107, 1516.0108, 1516.0109, 1516.0110, 1516.0111, 1516.0112, 1516.0113, 1516.0114, 1516.0115, 1516.0116, 1516.0117, 1516.0118, 1516.0119, 1516.0120, 1516.0121, 1516.0122, 1516.0123, 1516.0124, 1516.0125, 1516.0126, 1516.0127, 1516.0128, 1516.0129, 1516.0130, 1516.0131, 1516.0132, 1516.0133, 1516.0134, 1516.0135, 1516.0136, 1516.0137, 1516.0138, 1516.0139, 1516.0140 and appendices A, B, C, D, E, and F, to read as follows:

**Chapter 15  
Planned Districts**

**Article 16: Old Town San Diego Planned District**

**Division 1**

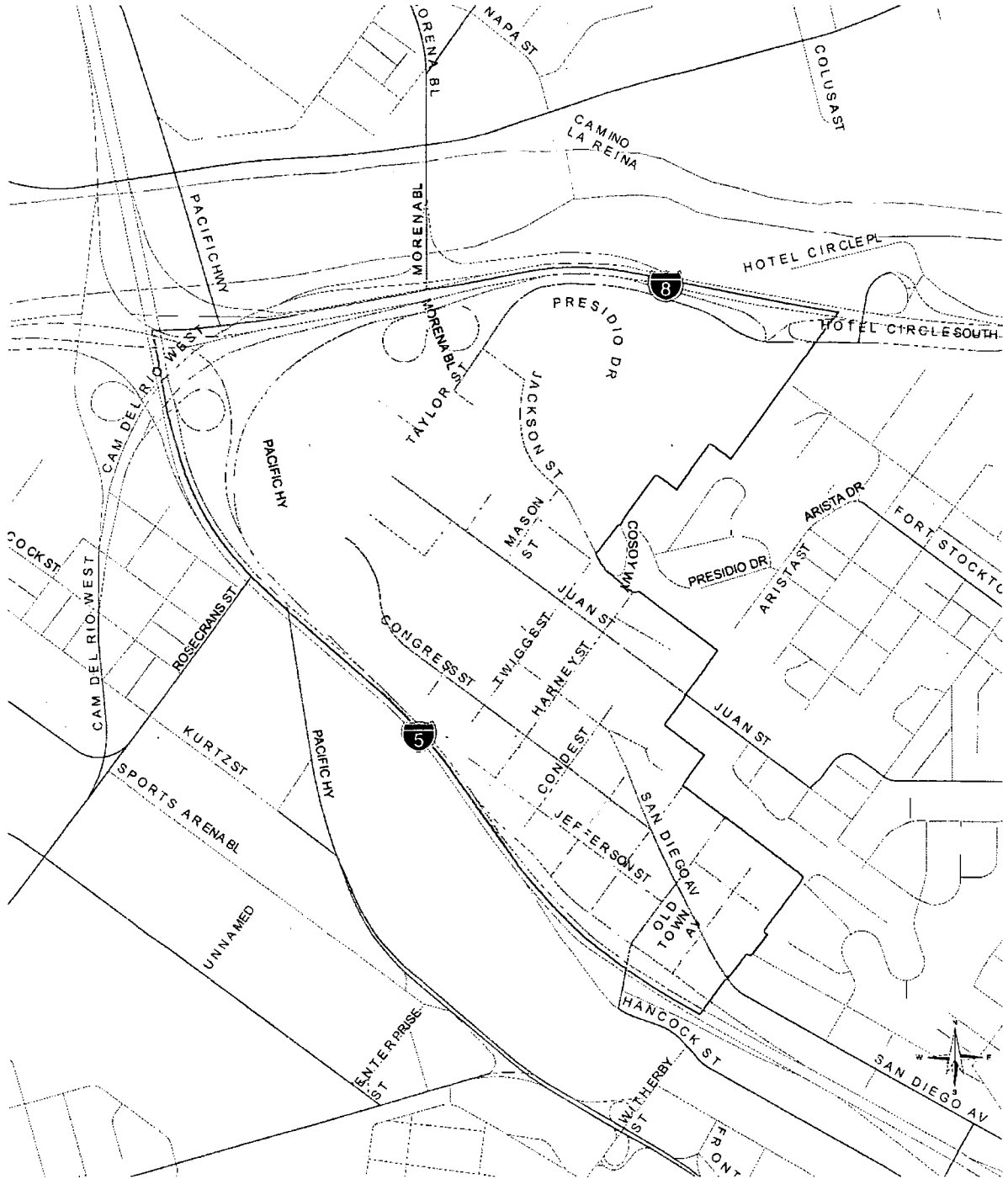
**§ 1516.0101 Purpose and Intent**

The purpose of the Old Town San Diego Planned District (Planned District) is to facilitate development and improvements to sites, structures, and infrastructure that retain, simulate, and enhance the distinctive character of the Old Town San Diego historic area that existed prior to 1872; protect and preserve historical resources, important archaeological sites, traditional cultural properties (tribal cultural resources), and early San Diego descendant resources; and implement the Old Town San Diego Community Plan. The intent is to create an exciting and viable community which includes residential, commercial, visitor-oriented, and public uses; emphasize the area's proud Indigenous, Spanish, Mexican, and American heritage and importance as California's birthplace; and support heritage tourism through historic preservation and development that simulates and complements the ambiance and character of the built and natural environment that existed in Old Town San Diego and other early California settlements prior to

1872. Development of land in Old Town San Diego must adhere to the requirements of this Division to preserve and enhance the unique village character and atmosphere of Old Town San Diego prior to 1872. The provisions of this Division are consistent with the objectives and policies of the Old Town San Diego Community Plan and the City of San Diego General Plan.

**§ 1516.0102 Boundaries**

The regulations of this Division shall apply to the Old Town San Diego Planned District, as designated on Map No. C-993 and as shown generally on Diagram 1516-01A.



**DIAGRAM 1516-01A**

**Old Town San Diego Planned District**

This is a reproduction of Map No. C-993 for illustration purposes only.

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**§ 1516.0103 Old Town San Diego Planned District Design Review Board**

(a) Appointments, Terms and Procedures

- (1) The Old Town San Diego Planned District Design Review Board (hereafter referred to as the Board) shall be created to provide recommendations and advice as specified in Section 1516.0103(b). The Board shall be composed of five members who shall serve without compensation. The members shall be appointed by the Mayor and confirmed by the Council. The members shall serve four-year terms and each member shall serve until his successor is duly appointed and qualified. After a four-year term, members can be re-appointed, but no person may serve for more than eight consecutive years (two four-year terms). The members shall be appointed in such a manner that the terms of not more than two members shall expire in any year. The expiration date shall be March 1. During March of each year, the Mayor may designate one member as Chairman; however, in the absence of such designation, the Board shall, on or after April 15, select a Chairman from among its members.
- (2) All members shall be electors of the County of San Diego at the time of appointment. Members of the Board shall be persons who shall be specifically qualified by reason of training or experience in history, art, architecture, land development, landscape architecture, historic preservation, archaeology, tourism, planning, or other

relevant business or profession able to judge the aesthetic effects of a proposed development. The composition of the Board shall be as follows: one seat for a registered architect or landscape architect; two seats for persons qualified by reason of training or experience in history, art, architecture, land development, landscape architecture, historic preservation, archaeology, tourism, planning, or other relevant business or profession; one seat for a member of the Old Town San Diego Community Planning Group; and one seat for a person who is a resident, property owner, or business licensee within the Old Town San Diego Community Planning area or a member of the Old Town San Diego Community Planning Group.

- (3) A Board member shall be replaced if the member has three unexcused consecutive absences within the 12 month period of March through February each year.
- (4) Three members shall constitute a quorum for the transaction of business and a majority vote and not less than three affirmative votes shall be necessary to make any Board decision. The Board may adopt rules of procedure to supplement those contained within this Section 1516.0103.
- (5) The City Manager or designee shall serve as Secretary of the Board as an ex-officio member. The Board shall only hold a meeting

when the Secretary is in attendance. The Secretary shall not be entitled to vote.

- (6) All officers of the City shall cooperate with the Board and render all reasonable assistance to it.
- (7) The Board shall render a report annually on December 1, or on request, to the Mayor and to the Old Town San Diego Community Planning Group.

(b) Powers and Duties

- (1) It shall be the duty of the Board to review and make recommendations to the appropriate decision-making authority on applications for permits, maps, or other matters within the Planned District that require Process Three, Process Four, Process Five, and Process CIP-Five decisions, as specified in Table 1516-01A and Land Development Code Chapter 12, and to submit its recommendations or comments on these matters in writing within 30 calendar days to the City Manager or designee. The Board shall also provide advice on architectural and urban design requirements (*architectural features, site design, streetscape, landscape, parking, accessory buildings, sign requirements, and supplemental regulations*) in compliance with the regulations and procedures contained in this Division for applications for permits or other matters within the Old Town San Diego Planned District that require Process One or Process Two decisions, as specified in

Table 1516-01A and Land Development Code Chapter 12, upon request of the City Manager or designee.

- (2) The Board may recommend that the City Manager approve, modify, or disapprove any application for a permit, map, or other matter based upon its condition of compliance or noncompliance with the adopted regulations and requirements. The Board shall utilize the regulations and procedures contained in this Division, the purpose and intent of this Division, and the supplemental findings for development in the Planned District in evaluating the appropriateness of any development under this Division.

It shall also be the duty of the Board to recommend to the Planning Commission any changes to the development regulations contained in this Division, provided such changes are necessary for the proper execution of the purpose and intent of this Division and the adopted Old Town San Diego Community Plan, and to adopt rules of procedure to supplement those contained within this Division.

**§ 1516.0104 Applicable Regulations**

Unless otherwise specified in this Division, the following provisions of the Land Development Code apply in the Planned District:

Chapter 11 (Land Development Procedures);

Chapter 12 (Land Development Reviews);

Chapter 13 (Zones);

Chapter 14, Article 1 (Separately Regulated Use Regulations);



Chapter 14, Article 2, Division 1 (Grading Regulations);  
Chapter 14, Article 2, Division 2 (Drainage Regulations);  
Chapter 14, Article 2, Division 3 (Fence Regulations), except Section 142.0370  
(Construction Materials for Fences and Retaining Walls);  
Chapter 14, Article 2, Division 4 (Landscape Regulations);  
Chapter 14, Article 2, Division 5 (Parking Regulations);  
Chapter 14, Article 2, Division 6 (Public Facility Regulations);  
Chapter 14, Article 2, Division 7 (Off-Site Development Regulations);  
Chapter 14, Article 2, Division 8 (Refuse and Recyclable Materials Storage  
Regulations);  
Chapter 14, Article 3 (Supplemental Development Regulations);  
Chapter 14, Article 4 (Subdivision Regulations);  
Chapter 14, Article 5 (Building Regulations);  
Chapter 14, Article 6 (Electrical Regulations); and  
Chapter 14, Article 7 (Plumbing and Mechanical Regulations)

Where there is a conflict between these provisions of the Land Development Code and this Division, this Division applies.

**§ 1516.0105 Definitions**

The following definitions apply to this Division. Definitions in Chapter 11, Article 3, Division 1 of the Land Development Code also apply, unless they conflict with definitions in this Section 1516.0105, in which case definitions in this Section 1516.0105 shall apply.

*Architectural features* means the architectural elements embodying style, design, general arrangement and components of all of the outside surfaces of an improvement or structure, including the type of building materials and the type and style of all windows, doors, lights, signs, and other fixtures appurtenant to the improvement or structure.

*Architectural style* means the characteristic form and detail of buildings from a particular historical period or school of architecture.

*Business operations sign* means a sign that provides information about business operations or incidental business services on site and is visible from the public right-of-way, such as “Open/Closed”, hours of operation, credit cards accepted, and ATM available.

*Directional sign* means a sign that provides direction at the building or parcel level to commercial or residential properties or direction to elements of properties such as entrances or parking areas and includes address numbers.

*Historical identification sign* means a type of *identification sign* that is installed as part of the creation of a replica historical structure or restoration of a historical structure that existed prior to 1872, including recreations of signs that existed prior to 1872.

*Identification sign* means a sign that states the name of the business owner or occupant of the commercial premises upon which the sign is placed, or otherwise identifies such premises, or describes goods offered, manufactured or produced, or services rendered on the premises. *Identification signs* can be wall signs, ground signs, or hanging projecting signs.

*Minor in scope* means an alteration to an existing structure by an addition of floor area constituting 20 percent or less of the gross floor area of the structure; removal, destruction, demolition, or alteration of 20 percent or less of a structure's exterior walls, on a cumulative basis; repair, renewal, or replacement of any exterior wall finish or material where the existing material type or color is altered; repair, renewal, or replacement of any building windows where the existing window type, material, or color is altered; or removal, destruction, demolition, or alteration of 20 percent or less of the capacity of the lateral or vertical load resisting system of the structure, as determined by the Building Official or designee.

*Major in scope* means an alteration to an existing structure by an addition of floor area constituting more than 20 percent of the gross floor area of the structure; removal, destruction, demolition, or alteration of more than 20 percent of a structure's exterior walls, on a cumulative basis; or removal, destruction, demolition, or alteration of more than 20 percent of the capacity of the lateral or vertical load resisting system of the structure, as determined by the Building Official or designee.

*Miscellaneous sign* means pennants, flags, bulletin boards, and inflatable displays.

*Pedestrian orientation* means the characteristics of an area where the location and access to buildings, types of uses permitted on the street level, and storefront design cater to persons traveling by non-automobile modes of transportation.

*Sidewalk directional sign* means a freestanding, movable *directional sign*, such as A-frame and sandwich board signs, often placed near sidewalks.

*Site design* means the building orientation in relation to the site, sidewalks, and public right-of-way.

*Temporary sign* means a sign designed to be displayed for a specific purpose for a limited period of time, such as a sign announcing an event and banners.

*Wayfinding sign* means a sign that provides guidance at the block level to destinations, such as parking facilities; guides vehicular circulation; or defines pedestrian and bicycle routes.

**§ 1516.0106 Administrative Regulations**

- (a) Any permit or any work within the Old Town San Diego Planned District, including erection of any new building or structure, or repainting of exterior surfaces, remodeling or repair, alteration, addition to or demolition of any existing building or structure, or relocation of any structure may be reviewed by the City Manager and the Design Review Board.
- (b) City projects within the Planned District that include the construction of new facilities, exterior modifications and additions to existing facilities, and improvements within the public right-of-way shall be subject to this Division.
- (c) Nothing in this Division supersedes, changes, amends, or in any way alters the manner, method or requirements of the review procedures for any historical site designated by the Historical Resources Board.

**§ 1516.0107 Administration and Permits**

- (a) Required Permit Types and Decision Processes

Table 1516-01A shows the required permit, decision process, and applicable regulations that are unique to the Old Town Planned District for specific types of development proposals. For types of development proposals that are not listed in Table 1516-01A, refer to the regulations in Chapter 12 and Chapter 14 for required permits, decision processes, and applicable regulations. Permits shall be obtained prior to the commencement of any grading or development within the Planned District which requires a permit.

(b) Permit Application

Permit applications shall be made in accordance with the Development Services Department Project Submittal Manual and shall include the following:

- (1) Descriptions, illustrations, and samples for proposed exterior building materials and improvements that define and show the exterior appearance, color, and texture of materials; and
- (2) Submission of any other information the City Manager or designee deems necessary to evaluate the project for compliance with applicable laws and regulations.

(c) Supplemental Finding

A permit required in accordance with Section 1516.0107 may be approved or conditionally approved only if the decision maker makes, in addition to the findings for the applicable permit type and decision process, the supplemental finding that the proposed development is compatible with

the purpose and intent of this Division and the special character of the Old Town San Diego community, as defined in Section 156.0124, Architectural and Urban Design Requirements and Section 1516.0125, Architectural Periods and Features.

**Table 1516-01A  
Type of Development Proposal and Applicable Regulations**

	<b>Type of Development Proposal</b>	<b>Applicable Sections</b>	<b>Required Permit /Decision Process</b>
1.	<ul style="list-style-type: none"> <li>• Interior building modifications or interior repairs</li> <li>• Interior alterations that do not require any building permit</li> </ul>	Exempt from this Division	No permit required by this Division
2.	<ul style="list-style-type: none"> <li>• Renewal of roof coverings of any building permitted by the California Building Code and the California Residential Code, where the existing roofing material, roof structure, or roof diaphragm is not altered</li> <li>• Repair, renewal, or replacement of any exterior wall finish or material where the existing material type or color is not altered</li> <li>• Repair, renewal, or replacement of any building windows where the existing window type, material, or color is not altered</li> </ul>	Exempt from this Division	No permit required by this Division
3.	<ul style="list-style-type: none"> <li>• Re-roofing (where the existing roofing material, roof structure, or roof diaphragm is altered)</li> <li>• Repainting or recoloring of exterior surfaces where the existing exterior building color is altered</li> <li>• Any addition to or alteration of any non-historical structure which is <i>minor in scope</i></li> </ul>	1516.0124, 1516.0125, 1516.0126, 1516.0131, 1516.0132, Appendix A, Appendix B, Appendix C, Appendix D, and Appendix F	Ministerial Permit/Process One

	Type of Development Proposal	Applicable Sections	Required Permit /Decision Process
	<ul style="list-style-type: none"> <li>New construction of any non-habitable accessory structure that does not exceed 100 square feet in gross floor area and that would not be visible from the public right-of-way</li> </ul>		
4.	<ul style="list-style-type: none"> <li>New construction of any building or primary structure</li> <li>New construction of any habitable accessory structure</li> <li>New construction of any non-habitable accessory structure that exceeds 100 square feet in gross floor area</li> <li>New construction of any non-habitable accessory structure that would be visible from the public right-of-way</li> <li>Signs</li> <li>Walls or fences</li> <li>Any addition to or alteration of any non-historical structure which is <i>major in scope</i></li> </ul>	1516.0124, 1516.0125, 1516.0126, 1516.0127, 1516.0128, 1516.0130-1516.0140, Appendix A, Appendix B, Appendix C, Appendix D, Appendix E, and Appendix F	Neighborhood Development Permit (NDP)/Process Two
5.	Development projects on locations where an archaeological site has been identified	1516.0108	Site Development Permit (SDP)/Process Three
6.	Grading or any improvement which could directly affect an archaeological resource, tribal cultural resource, or early San Diego descendant resource	143.0201-143.0280, 1516.0108	Varies

#### § 1516.0108 Cultural and Historical Resources Procedures

Within the Old Town San Diego Planned District, the identification, preservation and treatment of historical resources, which include historical buildings, historical structures, historical objects, historical landscapes, historical districts, important archaeological sites, traditional cultural properties, and designated historical

resources shall be consistent with the requirements of the Historical Resources Regulations in Chapter 14, Article 3, Division 2.

(a) Improvements to Historical Resources

Improvements to designated historical resources and historical resources identified in accordance with Section 143.0212 are not subject to the design requirements of this Division if the improvements have been determined to be consistent with the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties, as required by the Historical Resources Regulations.

(b) Important Archaeological Sites, Traditional Cultural Properties (Tribal Cultural Resources) and early San Diego descendant Resources

In addition to the Historical Resources Regulations, the following regulations are intended to protect and preserve the high cultural sensitivity of archaeological, tribal cultural, and early San Diego descendant resources within Old Town San Diego, and are required for all ground-disturbing activities within the Planned District.

- (1) Prior to issuance of any permit for a project that could directly affect an archaeological, tribal cultural, or early San Diego descendant resource, the City shall determine the potential for the presence or absence of buried archaeological, tribal cultural or early San Diego descendant resources and the appropriate treatment in accordance with the adopted Old Town San Diego Community Plan Mitigation Framework, the Land Development



Manual - Historical Resources Guidelines, or applicable best practices for the treatment of archaeological, tribal and early San Diego descendant resources in place at the time of application submittal.

- (2) Treatment of archaeological, tribal cultural, or early San Diego descendant resources shall be in consultation with qualified City staff and comply with all applicable local, state, and federal requirements.

**§ 1516.0109 Intent of Zones in the Old Town San Diego Planned District**

Three types of zones within the Planned District are established.

- (a) Old Town San Diego Residential zones are intended to preserve and provide areas for residential development at various densities in specific areas of the community.
- (b) Old Town San Diego Commercial zones are intended to accommodate community and visitor-serving commercial services, residential, and retail uses.
- (c) Old Town San Diego Open Space-Park zones are intended to provide public parks and recreational facilities that preserve, protect, and enhance the community's natural, cultural, and historic resources.

**§ 1516.0110 Purpose of the Old Town San Diego Residential Zones (OTRS; OTRM)**

- (a) The purpose of the OTRS (Residential - Single Unit) zone is to accommodate single dwelling units with a neighborhood scale and orientation. OTRS-1-1 requires minimum 5,000 square foot lots.

- (b) The purpose of the OTRM (Residential - Multiple Unit) zones is to provide for multiple dwelling unit development at varying densities with a neighborhood scale and orientation.
  - (1) OTRM-1-1 permits a maximum density of one dwelling unit for each 3,000 square feet of lot area.
  - (2) OTRM-2-1 permits a maximum density of one dwelling unit for each 1,750 square feet of lot area.
  - (3) OTRM-2-2 permits a maximum density of one dwelling unit for each 1,000 square feet of lot area.

**§ 1516.0111 Use Regulations for Old Town San Diego Residential Zones**

- (a) The uses permitted in Old Town San Diego residential zones may be further limited by the following:
  - (1) Use limitations applicable to the Airport Land Use Compatibility Overlay Zone (Chapter 13, Article 2, Division 15);
  - (2) The presence of environmentally sensitive lands, pursuant to Chapter 14, Article 3, Division 1 (Environmentally Sensitive Lands Regulations); and
  - (3) Any other applicable provision of the San Diego Municipal Code.
- (b) Within Old Town San Diego residential zones, no premises shall be used or maintained except for the purposes or activities listed in Table 1516-01B. It is unlawful to establish, maintain, or use any premises for any purpose or activity not listed in this Section 1516.0111 or Table 1516-01B.

- (c) All uses or activities permitted in the Old Town San Diego residential zones shall be conducted entirely within an enclosed building unless the use or activity is traditionally conducted outdoors.
- (d) Accessory uses in the Old Town San Diego residential zones may be permitted in accordance with Section 131.0125.
- (e) Temporary uses in the Old Town San Diego residential zones may be permitted with a Temporary Use Permit in accordance with Chapter 12, Article 3, Division 4.
- (f) For any use that cannot be readily classified, the City Manager shall determine the appropriate use category and use subcategory pursuant to Section 131.0110.

**§ 1516.0112 Use Regulations for Old Town San Diego Residential Zones**

**Legend for Table 1516-01B**

<b>Symbol in Table 1516-01B</b>	<b>Description of Symbol</b>
P	Use or use category is permitted. Regulations pertaining to a specific use may be referenced.
L	Use is permitted with limitations, which may include location limitations or the requirement for a use or development permit. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).
N	Neighborhood Use Permit Required. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).
C	Conditional Use Permit Required. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).
-	Use or use category is not permitted.

**Table 1516-01B  
Use Regulations for Old Town Residential Zones**

Use Categories/Subcategories [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones			
	1st & 2nd >>	OTRS-	OTRM-		
	3rd >>	1-	1-	2-	
	4th >>	1	1	1	2
<b>Open Space</b>					
<b>Active Recreation</b>		P	P	P	
<b>Passive Recreation</b>		P	P	P	
<b>Natural Resources Preservation</b>		P	P	P	
<b>Park Maintenance Facilities</b>		-	-	-	
<b>Agriculture</b>					
<b>Agricultural Processing</b>		-	-	-	
<b>Aquaculture Facilities</b>		-	-	-	
<b>Dairies</b>		-	-	-	
<b>Horticulture Nurseries &amp; Greenhouses</b>		-	-	-	
<b>Raising &amp; Harvesting of Crops</b>		-	-	-	
<b>Raising, Maintaining &amp; Keeping of Animals</b>		-	-	-	
<b>Separately Regulated Agriculture Uses</b>					
Agricultural Equipment Repair Shops		-	-	-	
Commercial Stables		-	-	-	
Community Gardens		L	L	L	
Equestrian Show & Exhibition Facilities		-	-	-	
Open Air Markets for the Sale of Agriculture- Related Products & Flowers		-	-	-	
<b>Residential</b>					
<b>Mobilehome Parks</b>		-	-	-	
<b>Multiple Dwelling Units</b>		-	P <sup>1</sup>	P <sup>1</sup>	
<b>Rooming House</b> [See Section 131.0112(a)(3)(A)]		-	-	-	
<b>Shopkeeper Units</b>		-	-	-	
<b>Single Dwelling Units</b>		P <sup>(2)(3)</sup>	P <sup>(3)</sup>	P <sup>(3)</sup>	

Use Categories/Subcategories [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones			
	1st & 2nd >>	OTRS-	OTRM-		
	3rd >>	1-	1-	2-	
	4th >>	1	1	1	2
<b>Separately Regulated Residential Uses</b>					
Boarder & Lodger Accommodations		N	N	L	
Companion Units		L	L	L	
Junior Units		-	-	-	
Employee Housing:					
6 or Fewer Employees		-	-	-	
12 or Fewer Employees		-	-	-	
Greater than 12 Employees		-	-	-	
Fraternities, Sororities and Student Dormitories		-	-	-	
Garage, Yard, & Estate Sales		L	L	L	
Guest Quarters		L	L <sup>(4)</sup>	-	
Home Occupations		L	L	L	
Housing for Senior Citizens		C	C	C	
Live/Work Quarters		-	-	-	
Residential Care Facilities:					
6 or fewer persons		P	P	P	
7 or more persons		-	-	-	
Transitional Housing:					
6 or fewer persons		P	P	P	
7 or more persons		-	-	-	
Watchkeeper Quarters		-	-	-	
<b>Institutional</b>					
<b>Separately Regulated Institutional Uses</b>					
Airports		-	-	-	
Botanical Gardens & Arboretums		-	-	-	
Cemeteries, Mausoleums, Crematories		-	-	-	

Use Categories/Subcategories [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones			
	1st & 2nd >>	OTRS-	OTRM-		
	3rd >>	1-	1-	2-	
	4th >>	1	1	1	2
Correctional Placement Centers		-	-	-	
Educational Facilities:					
Kindergarten through Grade 12		-	-	-	
Colleges / Universities		-	-	-	
Vocational / Trade School		-	-	-	
Energy Generation & Distribution Facilities		-	-	-	
Exhibit Halls & Convention Facilities		-	-	-	
Flood Control Facilities		L	L	L	
Historical Buildings Used for Purposes Not Otherwise Allowed		C	C	C	
Homeless Facilities:					
Congregate Meal Facilities		-	-	-	
Emergency Shelters		-	-	-	
Homeless Day Centers		-	-	-	
Hospitals, Intermediate Care Facilities & Nursing Facilities		-	-	-	
Interpretive Centers		C	C	C	
Museums		C	C	C	
Major Transmission, Relay, or Communications Switching Stations		-	-	-	
Placemaking on Private Property		L <sup>(5)</sup>	L <sup>(5)</sup>	L <sup>(5)</sup>	
Satellite Antennas		N <sup>(6)</sup>	N <sup>(6)</sup>	N <sup>(6)</sup>	
Social Service Institutions		-	-	-	

Use Categories/Subcategories [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones			
	1st & 2nd >>	OTRS-	OTRM-		
	3rd >>	1-	1-	2-	
	4th >>	1	1	1	2
Solar Energy Systems		L	L	L	
Wireless Communication Facility:					
Wireless communication facility in the public right-of-way with subterranean equipment adjacent to a non-residential use		-	-	-	
Wireless communication facility in the public right-of-way with subterranean equipment adjacent to a residential use		-	-	-	
Wireless communication facility in the public right-of-way with above ground equipment		-	-	-	
Wireless communication facility outside the public right-of-way		-	-	-	
<b>Retail Sales</b>					
<b>Building Supplies &amp; Equipment</b>		-	-	-	
<b>Food, Beverages and Groceries</b>		-	-	-	
<b>Consumer Goods, Furniture, Appliances, Equipment</b>		-	-	-	
<b>Pets &amp; Pet Supplies</b>		-	-	-	
<b>Sundries, Pharmaceuticals, &amp; Convenience Sales</b>		-	-	-	
<b>Wearing Apparel &amp; Accessories</b>		-	-	-	
<b>Separately Regulated Retail Sales Uses</b>					
Agriculture Related Supplies & Equipment		-	-	-	
Alcoholic Beverage Outlets		-	-	-	
Farmers' Markets		-	-	-	
Weekly Farmers' Markets		-	-	-	
Daily Farmers' Market Stands		-	-	-	
Marijuana Outlets		-	-	-	
Plant Nurseries		-	-	-	
Retail Farms		-	-	-	

Use Categories/Subcategories [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones			
	1st & 2nd >>	OTRS-	OTRM-		
	3rd >>	1-	1-	2-	
	4th >>	1	1	1	2
Retail Tasting Stores		-	-	-	
Swap Meets & Other Large Outdoor Retail Facilities		-	-	-	
<b>Commercial Services</b>					
<b>Building Services</b>		-	-	-	
<b>Business Support</b>		-	-	-	
<b>Eating &amp; Drinking Establishments</b>		-	-	-	
<b>Financial Institutions</b>		-	-	-	
<b>Funeral &amp; Mortuary Services</b>		-	-	-	
<b>Instructional Studios</b>		-	-	-	
<b>Maintenance &amp; Repair</b>		-	-	-	
<b>Off-Site Services</b>		-	-	-	
<b>Personal Services</b>		-	-	-	
<b>Radio &amp; Television Studios</b>		-	-	-	
<b>Tasting Rooms</b>		-	-	-	
<b>Visitor Accommodations</b>		-	-	-	
<b>Separately Regulated Commercial Services Uses</b>					
Adult Entertainment Establishments:		-	-	-	
Adult Book Store		-	-	-	
Adult Cabaret		-	-	-	
Adult Drive-In Theater		-	-	-	
Adult Mini-Motion Picture Theater		-	-	-	
Adult Model Studio		-	-	-	
Adult Motel		-	-	-	
Adult Motion Picture Theater		-	-	-	
Adult Peep Show Theater		-	-	-	



Use Categories/Subcategories [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones			
	1st & 2nd >>	OTRS-	OTRM-		
	3rd >>	1-	1-	2-	
	4th >>	1	1	1	2
Adult Theater		-	-	-	
Body Painting Studio		-	-	-	
Massage Establishment		-	-	-	
Sexual Encounter Establishment		-	-	-	
Assembly and Entertainment Uses, Including Places of Religious Assembly		-	-	-	
Bed & Breakfast Establishments:					
1-2 Guest Rooms		-	-	-	
3-5 Guest Rooms		-	-	-	
6+ Guest Rooms		-	-	-	
Boarding Kennels / Pet Day Care		-	-	-	
Camping Parks		-	-	-	
Child Care Facilities:					
Child Care Centers		-	-	-	
Large Family Child Care Homes		-	-	-	
Small Family Child Care Homes		L	L	L	
Eating and Drinking Establishments with a Drive- in or Drive-through Component		-	-	-	
Fairgrounds		-	-	-	
Golf Courses, Driving Ranges, and Pitch & Putt Courses		-	-	-	
Helicopter Landing Facilities		-	-	-	
Massage Establishments, Specialized Practice		-	-	-	
Medical Marijuana Consumer Cooperatives		-	-	-	
Mobile Food Trucks		-	-	-	
Nightclubs & Bars over 5,000 square feet in size		-	-	-	
Parking Facilities as a Primary Use:					

Use Categories/Subcategories [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones			
	1st & 2nd >>	OTRS-	OTRM-		
	3rd >>	1-	1-	2-	
	4th >>	1	1	1	2
Permanent Parking Facilities		-	-	-	
Temporary Parking Facilities		-	-	-	
Private Clubs, Lodges and Fraternal Organizations		-	-	-	
Privately Operated, Outdoor Recreation Facilities over 40,000 square feet in size		-	-	-	
Pushcarts:					
Pushcarts on Private Property		-	-	-	
Pushcarts in Public Right-of-Way		-	-	-	
Recycling Facilities:					
Large Collection Facility		-	-	-	
Small Collection Facility		-	-	-	
Large Construction & Demolition Debris Recycling Facility		-	-	-	
Small Construction & Demolition Debris Recycling Facility		-	-	-	
Drop-off Facility		-	-	-	
Green Materials Composting Facility		-	-	-	
Mixed Organic Composting Facility		-	-	-	
Large Processing Facility Accepting at Least 98% of Total Annual Weight of Recyclables from Commercial & Industrial Traffic		-	-	-	
Large Processing Facility Accepting All Types of Traffic		-	-	-	
Small Processing Facility Accepting at Least 98% of Total Annual Weight of Recyclables From Commercial & Industrial Traffic		-	-	-	
Small Processing Facility Accepting All Types of Traffic		-	-	-	

Use Categories/Subcategories [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones			
	1st & 2nd >>	OTRS-	OTRM-		
	3rd >>	1-	1-	2-	
	4th >>	1	1	1	2
Reverse Vending Machines		-	-	-	
Tire Processing Facility		-	-	-	
Sidewalk Cafes		-	-	-	
Sports Arenas & Stadiums		-	-	-	
Theaters That Are Outdoor or over 5,000 Square Feet in Size		-	-	-	
Urgent Care Facilities		-	-	-	
Veterinary Clinics & Animal Hospitals		-	-	-	
Zoological Parks		-	-	-	
<b>Offices</b>					
<b>Business &amp; Professional</b>		-	-	-	
<b>Government</b>		-	-	-	
<b>Medical, Dental, &amp; Health Practitioner</b>		-	-	-	
<b>Regional &amp; Corporate Headquarters</b>		-	-	-	
<b>Separately Regulated Office Uses</b>					
Real Estate Sales Offices & Model Homes		-	-	-	
Sex Offender Treatment & Counseling		-	-	-	
<b>Vehicle &amp; Vehicular Equipment Sales &amp; Service</b>					
<b>Commercial Vehicle Repair &amp; Maintenance</b>		-	-	-	
<b>Commercial Vehicle Sales &amp; Rentals</b>		-	-	-	
<b>Personal Vehicle Repair &amp; Maintenance</b>		-	-	-	
<b>Personal Vehicle Sales &amp; Rentals</b>		-	-	-	
<b>Vehicle Equipment &amp; Supplies Sales &amp; Rentals</b>		-	-	-	
<b>Separately Regulated Vehicle &amp; Vehicular Equipment Sales &amp; Service Uses</b>					
Automobile Service Stations		-	-	-	

Use Categories/Subcategories [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones			
	1st & 2nd >>	OTRS-	OTRM-		
	3rd >>	1-	1-	2-	
	4th >>	1	1	1	2
Outdoor Storage & Display of New, Unregistered Motor Vehicles as a Primary Use		-	-	-	
<b>Distribution and Storage</b>					
Equipment & Materials Storage Yards		-	-	-	
Moving & Storage Facilities		-	-	-	
Distribution Facilities		-	-	-	
<b>Separately Regulated Distribution and Storage Uses</b>					
Impound Storage Yards		-	-	-	
Junk Yards		-	-	-	
Temporary Construction Storage Yards Located Off-Site		N	N	N	
<b>Industrial</b>					
Heavy Manufacturing		-	-	-	
Light Manufacturing		-	-	-	
Marine Industry		-	-	-	
Research & Development		-	-	-	
Testing Labs		-	-	-	
Trucking & Transportation Terminals		-	-	-	
<b>Separately Regulated Industrial Uses</b>					
Hazardous Waste Research Facility		-	-	-	
Hazardous Waste Treatment Facility		-	-	-	
Marijuana Production Facilities		-	-	-	
Marine Related Uses Within the Coastal Overlay Zone		-	-	-	
Mining and Extractive Industries		-	-	-	
Newspaper Publishing Plants		-	-	-	
Processing & Packaging of Plant Products & Animal By-products Grown Off-premises		-	-	-	

Use Categories/Subcategories [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones			
	1st & 2nd >>	OTRS-	OTRM-		
	3rd >>	1-	1-	2-	
	4th >>	1	1	1	2
Very Heavy Industrial Uses		-	-	-	
Wrecking & Dismantling of Motor Vehicles		-	-	-	
<b>Signs</b>					
<b>Allowable Signs</b>		P	P	P	
<b>Separately Regulated Signs Uses</b>					
Community Entry Signs		N <sup>(7)</sup>	N <sup>(7)</sup>	N <sup>(7)</sup>	
Comprehensive Sign Program					
Neighborhood Identification Signs		N <sup>(7)</sup>	N <sup>(7)</sup>	N <sup>(7)</sup>	
Revolving Projecting Signs		-	-	-	
Signs with Automatic Changing Copy		-	-	-	
Theater Marquees		-	-	-	

**Footnotes for Table 1516-01B**

- <sup>1</sup> Non-owner occupants must reside on the premises for at least seven consecutive calendar days.
- <sup>2</sup> A Residential High Occupancy Permit is required in accordance with Section 123.0502 for a single dwelling unit when the occupancy of the dwelling unit would consist of six or more persons eighteen years of age and older residing in the dwelling unit for a period of 30 or more consecutive days.
- <sup>3</sup> Development of a small lot subdivision is permitted in accordance with Section 143.0365.
- <sup>4</sup> A guest quarter or habitable accessory building is permitted in accordance with Section 141.0307 only as an accessory use to a single dwelling unit.
- <sup>5</sup> Placemaking on private property in OTRS and OTRM zones shall not include commercial services or assembly and entertainment uses as accessory uses.
- <sup>6</sup> Only one exterior receiving antenna per dwelling unit is permitted. Any satellite antennas as described in Land Development Code Section 141.0405 shall be screened from view and are subject to review by the Design Review Board and approval by the City Manager.
- <sup>7</sup> Sign design and placement shall conform to the regulations in Sections 1516.0139 and 1516.0140.

**§ 1516.0113 Development Regulations for Old Town San Diego Residential Zones**

- (a) Within the Old Town San Diego residential zones, no structure or improvement shall be constructed, established, or altered, nor shall any premises be used unless the premises complies with Table 1516-01C, the

regulations and standards in this Division, and any applicable development regulations in Chapter 13, Article 2 (Overlay Zones) and Chapter 14 (General and Supplemental Regulations).

- (b) A Neighborhood Development Permit or Site Development Permit is required for the types of development identified in Table 143-03A.
- (c) The regulations in this Division apply to all development in the Old Town San Diego residential zones whether or not a permit or other approval is required, except where specifically identified.

**§ 1516.0114 Development Regulations Table for Old Town San Diego Residential Zones**

**Table 1516-01C  
Development Regulations for OTR Zones**

Development Regulations	Zone Designator	Zones			
	1st & 2nd >>	OTRS-	OTRM-		
	3rd >>	1-	1-	2-	2-
	4th >>	1	1	1	2
<b>Max permitted density</b>		1 <sup>(1)</sup>	3,000 <sup>(2)</sup>	1,750 <sup>(2)</sup>	1,000 <sup>(2)</sup>
<b>Min lot area (sf)</b>		5,000	3,000	2,500	2,500
<b>Min lot dimensions</b>					
Lot width (ft)		-	-	-	-
Street frontage (ft)		-	-	-	-
Lot width (corner) (ft)		-	-	-	-
Lot depth (ft)		-	-	-	-
<b>Setback requirements</b>					
Min Front setback (ft)		15 <sup>(3)</sup>	5	5	5
Min Side setback (ft)		4	5	5	5
Min Street side setback (ft)		10 <sup>(3)</sup>	15 <sup>(3)</sup>	15 <sup>(3)</sup>	15 <sup>(3)</sup>
Min Rear setback (ft)		4	5	5	5
<b>Setback requirements for resubdivided corner lots [See Section 113.0246(f)]</b>		applies	applies	applies	applies
<b>Max structure height (ft)</b>		30	30	30	40

<b>Max number of building stories</b> [See also Section 1516.0125(d)]	2	2	2	3
<b>Maximum structure footprint (sf)</b>				
1-story	6,000	6,000	6,000	6,000
2-story	8,000	8,000	8,000	8,000
3-story	12,000	12,000	12,000	12,000
<b>Max lot coverage</b>	-	-	-	-
<b>Lot Coverage for sloping lots</b> [See Section 1516.0132]	applies	-	-	-
<b>Max floor area ratio</b>	0.6	0.7	1.0	1.2
<b>Max paving/hardscape</b>	-	-	-	-
<b>Accessory uses and structures</b> [See Section 1516.0131 and 141.0307]	applies	applies	applies	applies
<b>Ground-floor Heights</b>	-	-	-	-
<b>Pedestrian Paths</b>	-	applies	applies	applies
<b>Transparency</b> [See Section 1516.0127(b)]	applies	applies	applies	applies
<b>Lot consolidation regulations</b>	-	-	-	-
<b>Garage regulations</b>	-	-	-	-
<b>Building spacing</b> [See Section 1516.0133]	applies	applies	applies	applies
<b>Max third story dimensions</b>	-	-	-	-
<b>Storage requirements</b> [See Section 1516.0127(f)]	applies	applies	applies	applies
<b>Private exterior open space</b>	-	-	-	-
<b>Common open space</b> [See Section 1516.0127(c)]	-	applies	applies	applies
<b>Architectural projections and encroachments</b>	-	-	-	-
<b>Supplemental requirements</b>	-	-	-	-
<b>Bedroom regulations<sup>(4)</sup></b>	applies	-	-	-
<b>Refuse and Recyclable Material Storage</b> [See Section 142.0805]	applies	applies	applies	applies
<b>Visibility Area</b> [See Section 113.0273]	-	-	-	-

**Footnotes for Table 1516-01C**

- <sup>1</sup> For the OTRS zone (Residential - Single Unit) the maximum permitted density is no more than one dwelling unit on a lot as determined in accordance with Section 113.0222.
- <sup>2</sup> For the OTRM zones (Residential – Multiple Unit) the maximum permitted density is one dwelling unit per specified square foot of lot area as determined in accordance with Section 113.0222.

- <sup>3</sup> For lots where at least one-half of the front 50 feet of the lot depth has a minimum slope gradient of 25 percent, the setback closest to the street frontage may be reduced to a minimum of 6 feet.
- <sup>4</sup> Single dwelling units on lots less than 10,000 square feet shall be limited to a maximum of six bedrooms.

**§ 1516.0115 Purpose of the Old Town San Diego Commercial Zones (OTCC; OTMCR)**

- (a) The OTCC-1-1 zone is intended to accommodate development with a *pedestrian orientation* and allows community-serving uses with no residential uses.
- (b) The following zones allow a mix of pedestrian-oriented community-serving commercial uses and residential uses:
- (1) OTCC-2-1 is intended to accommodate development with a *pedestrian orientation* and permits a maximum density of one dwelling unit for each 1,750 square feet of lot area, with an active frontage requirement.
- (2) OTCC-2-2 is intended to accommodate development with a *pedestrian orientation* and permits a maximum density of one dwelling unit for each 1,750 square feet of lot area.
- (3) OTCC-2-3 is intended to accommodate development with a *pedestrian orientation* and permits a maximum density of one dwelling unit for each 1,200 square feet of lot area.
- (c) The following zones allow a mix of pedestrian-oriented community and visitor-serving commercial and residential uses:
- (1) OTCC-3-1 is intended to accommodate development with a *pedestrian orientation* and permits a maximum density of one dwelling unit for each 1,750 square feet of lot area.



- (2) OTCC-3-2 is intended to accommodate development with a *pedestrian orientation* and permits a maximum density of one dwelling unit for each 1,750 square feet of lot area.
- (d) The following zones allow a mix of pedestrian-oriented community and visitor-serving commercial uses and residential uses, or stand-alone residential uses:
  - (1) OTMCR-1-1 is intended to accommodate development with a *pedestrian orientation* and permits a maximum density of one dwelling unit for each 1,000 square feet of lot area.
  - (2) OTMCR-1-2 is intended to accommodate development with a *pedestrian orientation* and permits a maximum density of one dwelling unit for each 800 square feet of lot area.
  - (3) OTMCR-1-3 is intended to accommodate development with a *pedestrian orientation* and permits a maximum density of one dwelling unit for each 600 square feet of lot area.

**§ 1516.0116 Use Regulations for Old Town San Diego Commercial Zones**

- (a) The uses permitted in Old Town San Diego commercial zones may be further limited by the following:
  - (1) Use limitations applicable to the Airport Land Use Compatibility Overlay Zone (Chapter 13, Article 2, Division 15);
  - (2) The presence of environmentally sensitive lands, pursuant to Chapter 14, Article 3, Division 1 (Environmentally Sensitive Lands Regulations); and

- (3) Any other applicable provision of the San Diego Municipal Code.
- (b) Within the Old Town San Diego commercial zones, no premises shall be used or maintained except for one or more of the purposes or activities listed in Table 1516-01D. It is unlawful to establish, maintain, or use any premises for any purpose or activity not listed in this Section 1516.0116 or Table 1516-01D.
- (c) All uses or activities permitted in the Old Town San Diego commercial zones shall be conducted entirely within an enclosed building unless the use or activity is traditionally conducted outdoors.
- (d) Accessory uses in the Old Town San Diego commercial zones may be permitted in accordance with Section 131.0125.
- (e) Temporary uses in the Old Town San Diego commercial zones may be permitted with a Temporary Use Permit in accordance with Chapter 12, Article 3, Division 4.
- (f) For any use that cannot be readily classified, the City Manager shall determine the appropriate use category and use subcategory pursuant to Section 131.0110.

**§ 1516.0117 Use Regulations Table for Old Town San Diego Commercial Zones**

**Legend for Table 1516-01D**

<b>Symbol in Table 1516-01D</b>	<b>Description of Symbol</b>
P	Use or use category is permitted. Regulations pertaining to a specific use may be referenced.

L	Use is permitted with limitations, which may include location limitations or the requirement for a use or development permit. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).
N	Neighborhood Use Permit Required. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).
C	Conditional Use Permit Required. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).
-	Use or use category is not permitted.

**Table 1516-01D  
Use Regulations for Old Town San Diego Commercial Zones**

Use Categories/Subcategories [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones									
		OTCC-						OTMCR-			
	1st & 2nd >>	1-			2-		3-		1		
	3rd >>	1	1	2	3	1	2	1	2	3	
4th >>											
<b>Open Space</b>											
Active Recreation	-	-	-	-	-	-	-	-	-	-	
Passive Recreation	P	P	P	P	P	P	P	P	P	P	
Natural Resources Preservation	-	-	-	-	-	-	-	-	-	-	
Park Maintenance Facilities	-	-	-	-	-	-	-	-	-	-	
<b>Agriculture</b>											
Agricultural Processing	-	-	-	-	-	-	-	-	-	-	
Aquaculture Facilities	-	-	-	-	-	-	-	-	-	-	
Dairies	-	-	-	-	-	-	-	-	-	-	
Horticulture Nurseries & Greenhouses	-	-	-	-	-	-	-	-	-	-	
Raising & Harvesting of Crops	-	-	-	-	-	-	-	-	-	-	
Raising, Maintaining & Keeping of Animals	-	-	-	-	-	-	-	-	-	-	
<b>Separately Regulated Agriculture Uses</b>											
Agricultural Equipment Repair Shops	-	-	-	-	-	-	-	-	-	-	
Commercial Stables	-	-	-	-	-	-	-	-	-	-	
Community Gardens	L	L	L	L	L	L	L	L	L	L	
Equestrian Show & Exhibition Facilities	-	-	-	-	-	-	-	-	-	-	
Open Air Markets for the Sale of Agriculture-Related Products & Flowers	-	-	-	-	-	-	-	-	-	-	
<b>Residential</b>											
Mobilehome Parks	-	-	-	-	-	-	-	-	-	-	
Multiple Dwelling Units	-	P	P	P	P	P	P	P	P	P	

Use Categories/Subcategories [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones								
	1st & 2nd >>	OTCC-						OTMCR-		
	3rd >>	1-	2-		3-		1			
	4th >>	1	1	2	3	1	2	1	2	3
<b>Rooming House</b> [See Section 131.0112(a)(3)(A)]	-	-	-	-	-	-	-	-	-	-
<b>Shopkeeper Units</b>	-	-	P	-	-	P	-	-	P	-
<b>Single Dwelling Units</b>	-	-	-	-	-	-	-	-	-	-
<b>Separately Regulated Residential Uses</b>										
Boarder & Lodger Accommodations	-	-	L	-	-	L	-	-	L	-
Companion Units	-	-	-	-	-	-	-	-	-	-
Employee Housing:										
6 or Fewer Employees	-	-	-	-	-	-	-	-	-	-
12 or Fewer Employees	-	-	-	-	-	-	-	-	-	-
Greater than 12 Employees	-	-	-	-	-	-	-	-	-	-
Fraternities, Sororities and Student Dormitories	-	-	-	-	-	-	-	-	-	-
Garage, Yard, & Estate Sales	-	-	-	-	-	-	-	-	-	-
Guest Quarters	-	-	-	-	-	-	-	-	-	-
Home Occupations	-	-	L	-	-	L	-	-	L	-
Housing for Senior Citizens	-	-	-	-	-	C	-	-	C	-
Junior Units	-	-	-	-	-	-	-	-	-	-
Live/Work Quarters	-	-	L	-	-	L	-	-	L	-
Residential Care Facilities:										
6 or Fewer Persons	-	-	-	-	-	-	-	-	P	-
7 or More Persons	-	-	-	-	-	-	-	-	C	-
Transitional Housing:										
6 or Fewer Persons	-	-	-	-	-	-	-	-	-	-
7 or More Persons	-	-	-	-	-	-	-	-	-	-
Watchkeeper Quarters	L	-	-	-	-	-	-	-	-	-
<b>Institutional</b>										
<b>Separately Regulated Institutional Uses</b>										
Airports	-	-	-	-	-	-	-	-	-	-
Botanical Gardens & Arboretums	-	-	-	-	-	-	-	-	-	-
Cemeteries, Mausoleums, Crematories	-	-	-	-	-	-	-	-	-	-
Correctional Placement Centers	-	-	-	-	-	-	-	-	-	-
Educational Facilities:										
Kindergarten through Grade 12	-	-	C	C	-	C	-	-	C	-
Colleges / Universities	C	-	-	P	-	-	-	-	C	-
Vocational / Trade School	-	-	-	-	-	-	-	-	-	-
Energy Generation & Distribution Facilities	-	-	-	-	-	-	-	-	-	-
Exhibit Halls & Convention Facilities	-	-	-	-	-	-	-	-	-	-
Flood Control Facilities	L	-	L	L	-	L	-	-	L	-

Use Categories/Subcategories [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones								
	1st & 2nd >>	OTCC-						OTMCR-		
	3rd >>	1-	2-			3-		1		
	4th >>	1	1	2	3	1	2	1	2	3
Historical Buildings Used for Purposes Not Otherwise Allowed		C	C			C		C		
Homeless Facilities:										
Congregate Meal Facilities		-	-			-		-		
Emergency Shelters		-	-			-		-		
Homeless Day Centers		-	-			-		-		
Hospitals, Intermediate Care Facilities & Nursing Facilities		-	-			-		-		
Interpretive Centers		P	P			P		P		
Museums		P	P			P		P		
Major Transmission, Relay, or Communications Switching Stations		-	-			-		-		
Placemaking on Private Property		L <sup>(1)</sup>	L <sup>(1)</sup>			L <sup>(1)</sup>		L <sup>(1)</sup>		
Satellite Antennas		N <sup>(2)</sup>	N <sup>(2)</sup>			N <sup>(2)</sup>		N <sup>(2)</sup>		
Social Service Institutions		-	-			-		-		
Solar Energy Systems		L	L			L		L		
Wireless Communication Facility:										
Wireless communication facility in the public right-of-way with subterranean equipment adjacent to a non-residential use		-	-			-		-		
Wireless communication facility in the public right-of-way with subterranean equipment adjacent to a residential use		-	-			-		-		
Wireless communication facility in the public right-of-way with above ground equipment		-	-			-		-		
Wireless communication facility outside the public right-of-way		-	-			-		-		
<b>Retail Sales</b>										
<b>Building Supplies &amp; Equipment</b>		-	-			-		-		
<b>Food, Beverages and Groceries</b>		p <sup>(3)</sup>	p <sup>(3)</sup>			p <sup>(3)</sup>		p <sup>(3)</sup>		
<b>Consumer Goods, Furniture, Appliances,     Equipment</b>		p <sup>(3)</sup>	p <sup>(3)</sup>			p <sup>(3)</sup>		p <sup>(3,4)</sup>		
<b>Pets &amp; Pet Supplies</b>		p <sup>(3)</sup>	-	p <sup>(3)</sup>	p <sup>(3)</sup>	p <sup>(3)</sup>		p <sup>(3)</sup>		
<b>Sundries, Pharmaceutical, &amp; Convenience     Sales</b>		p <sup>(3)</sup>	-	p <sup>(3)</sup>	p <sup>(3)</sup>	p <sup>(3)</sup>		p <sup>(3)</sup>		
<b>Wearing Apparel &amp; Accessories</b>		p <sup>(3)</sup>	p <sup>(3)</sup>			p <sup>(3)</sup>		p <sup>(3)</sup>		

Use Categories/Subcategories [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator		Zones								
	1st & 2nd >>		OTCC-						OTMCR-		
	3rd >>		1-	2-			3-		1		
	4th >>		1	1	2	3	1	2	1	2	3
<b>Separately Regulated Retail Sales Uses</b>											
Agriculture Related Supplies & Equipment											
Alcoholic Beverage Outlets											
Farmers' Markets											
Weekly Farmers' Markets											
Daily Farmers' Market Stands											
Marijuana Outlets											
Plant Nurseries											
Retail Farms											
Retail Tasting Rooms											
Swap Meets & Other Large Outdoor Retail Facilities											
<b>Commercial Services</b>											
<b>Building Services</b>											
<b>Business Support</b>											
<b>Eating &amp; Drinking Establishments</b>											
<b>Financial Institutions</b>											
<b>Funeral &amp; Mortuary Services</b>											
<b>Instructional Studios</b>											
<b>Maintenance &amp; Repair</b>											
<b>Off-site Services</b>											
<b>Personal Services</b>											
<b>Radio &amp; Television Studios</b>											
<b>Tasting Rooms</b>											
<b>Visitor Accommodations</b>											
<b>Separately Regulated Commercial Services Uses</b>											
Adult Entertainment Establishments:											
Adult Book Store											
Adult Cabaret											
Adult Drive-In Theater											
Adult Mini-Motion Picture Theater											
Adult Model Studio											
Adult Motel											
Adult Motion Picture Theater											
Adult Peep Show Theater											
Adult Theater											
Body Painting Studio											

Use Categories/Subcategories [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones								
	1st & 2nd >>	OTCC-						OTMCR-		
	3rd >>	1-	2-			3-		1		
	4th >>	1	1	2	3	1	2	1	2	3
Massage Establishment		-	-			-		-		
Sexual Encounter Establishment		-	-			-		-		
Assembly and Entertainment Uses, Including Places of Religious Assembly		C	C	C	C	C		C		
Bed & Breakfast Establishments:										
1-2 Guest Rooms		-	-			P		P		
3-5 Guest Rooms		-	-			P		P		
6+ Guest Rooms		-	-			P		P		
Boarding Kennels/Pet Day Care		-	-			N		N		
Camping Parks		-	-			-		-		
Child Care Facilities:										
Child Care Centers		-	-			L	L	L		
Large Family Child Care Homes		-	-			L	L	L		
Small Family Child Care Homes		-	-			L	L	L		
Eating and Drinking Establishments with a Drive-in or Drive-through Component		-	-			-		-		
Fairgrounds		-	-			-		-		
Golf Courses, Driving Ranges, and Pitch & Putt Courses		-	-			-		-		
Helicopter Landing Facilities		-	-			-		-		
Massage Establishments, Specialized Practice		-	-			L		-		
Medical Marijuana Consumer Cooperatives		-	-			-		-		
Mobile Food Trucks		-	-			L <sup>(6)</sup>	L <sup>(6)</sup>	L <sup>(6)</sup>		
Nightclubs & Bars Over 5,000 Square Feet in Size		-	-			-		-		
Parking Facilities as a Primary Use:										
Permanent Parking Facilities		C	-	C	C	C		C		
Temporary Parking Facilities		C	-	C	C	C		C		
Private Clubs, Lodges and Fraternal Organizations		-	-			C	-	-		
Privately Operated, Outdoor Recreation Facilities Over 40,000 Square Feet in Size		-	-			-		-		
Pushcarts:										
Pushcarts on Private Property		L	-			L		L		
Pushcarts in Public Right-of-Way		-	-			-		-		
Recycling Facilities:										
Large Collection Facility		-	-			-		-		
Small Collection Facility		-	-			-		-		

Use Categories/Subcategories [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones								
	1st & 2nd >>	OTCC-						OTMCR-		
	3rd >>	1-	2-			3-		1		
	4th >>	1	1	2	3	1	2	1	2	3
Large Construction & Demolition Debris Recycling Facility	-	-	-	-	-	-	-	-	-	-
Small Construction & Demolition Debris Recycling Facility	-	-	-	-	-	-	-	-	-	-
Drop-off Facility	-	-	-	-	-	-	-	-	-	-
Green Materials Composting Facility	-	-	-	-	-	-	-	-	-	-
Mixed Organic Composting Facility	-	-	-	-	-	-	-	-	-	-
Large Processing Facility Accepting at Least 98% of Total Annual Weight of Recyclables from Commercial & Industrial Traffic	-	-	-	-	-	-	-	-	-	-
Large Processing Facility Accepting All Types of Traffic	-	-	-	-	-	-	-	-	-	-
Small Processing Facility Accepting at Least 98% of Total Annual Weight of Recyclables From Commercial & Industrial Traffic	-	-	-	-	-	-	-	-	-	-
Small Processing Facility Accepting All Types of Traffic	-	-	-	-	-	-	-	-	-	-
Reverse Vending Machines	-	-	-	-	-	-	-	-	-	-
Tire Processing Facility	-	-	-	-	-	-	-	-	-	-
Sidewalk Cafes	-	-	-	-	-	-	-	-	-	-
Sports Arenas & Stadiums	-	-	-	-	-	-	-	-	-	-
Theaters that are Outdoor or Over 5,000 Square Feet in Size	C	C	C	C	C	C	C	C	C	C
Urgent Care Facilities	N	-	-	-	N	-	-	-	-	-
Veterinary Clinics & Animal Hospitals	L	-	-	-	L	-	-	-	-	N
Zoological Parks	-	-	-	-	-	-	-	-	-	-
<b>Offices</b>										
<b>Business &amp; Professional</b>	P	P	P	P	P	P	P	P	P	P
<b>Government</b>	P	P	P	P	P	P	P	P	P	P
<b>Medical, Dental &amp; Health Practitioner</b>	P	P	P	P	P	P	P	P	P	P
<b>Regional &amp; Corporate Headquarters</b>	P	P	P	P	P	P	P	P	P	P
<b>Separately Regulated Office Uses</b>										
Real Estate Sales Offices & Model Homes	L	L	L	L	L	L	L	L	L	-
Sex Offender Treatment & Counseling	-	-	-	-	-	-	-	-	-	-
<b>Vehicle &amp; Vehicular Equipment Sales &amp; Service</b>										



Use Categories/Subcategories [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones								
	1st & 2nd >>	OTCC-						OTMCR-		
	3rd >>	1-	2-		3-		1			
	4th >>	1	1	2	3	1	2	1	2	3
<b>Commercial Vehicle Repair &amp; Maintenance</b>		-	-		-		-			
<b>Commercial Vehicle Sales &amp; Rentals</b>		-	-		-		-			
<b>Personal Vehicle Repair &amp; Maintenance</b>		-	-		-		-			
<b>Personal Vehicle Sales &amp; Rentals</b>		-	-		-		-			
<b>Vehicle Equipment &amp; Supplies Sales &amp; Rentals</b>		-	-		-		-			
<b>Separately Regulated Vehicle &amp; Vehicular Equipment Sales &amp; Service Uses</b>										
Automobile Service Stations		-	-		-		-			
Outdoor Storage & Display of New, Unregistered Motor Vehicles as a Primary Use		-	-		-		-			
<b>Distribution and Storage</b>										
<b>Equipment &amp; Materials Storage Yards</b>		-	-		-		-			
<b>Moving &amp; Storage Facilities</b>		-	-		-		-			
<b>Distribution Facilities</b>		-	-		-		-			
<b>Separately Regulated Distribution and Storage Uses</b>										
Impound Storage Yards		-	-		-		-			
Junk Yards		-	-		-		-			
Temporary Construction Storage Yards Located Off-site		N	N		N		N			
<b>Industrial</b>										
<b>Heavy Manufacturing</b>		-	-		-		-			
<b>Light Manufacturing</b>		-	-		-		-			
<b>Marine Industry</b>		-	-		-		-			
<b>Research &amp; Development</b>		-	-		-		-			
<b>Testing Labs</b>		-	-		-		-			
<b>Trucking &amp; Transportation Terminals</b>		-	-		-		-			
<b>Separately Regulated Industrial Uses</b>										
Hazardous Waste Research Facility		-	-		-		-			
Hazardous Waste Treatment Facility		-	-		-		-			
Marijuana Production Facilities		-	-		-		-			
Marine Related Uses Within the Coastal Overlay Zone		-	-		-		-			
Newspaper Publishing Plants		-	-		-		-			
Processing & Packaging of Plant Products & Animal By-products Grown Off-premises		-	-		-		-			

Use Categories/Subcategories [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones								
	1st & 2nd >>	OTCC-						OTMCR-		
	3rd >>	1-	2-		3-		1			
	4th >>	1	1	2	3	1	2	1	2	3
Very Heavy Industrial Uses		-	-		-		-			
Wrecking & Dismantling of Motor Vehicles		-	-		-		-			
<b>Signs</b>										
<b>Allowable Signs</b>		P	P		P		P			
<b>Separately Regulated Signs Uses</b>										
Community Entry Signs		N <sup>(7)</sup>	N <sup>(7)</sup>		N <sup>(7)</sup>		N <sup>(7)</sup>			
Neighborhood Identification Signs		N <sup>(7)</sup>	N <sup>(7)</sup>		N <sup>(7)</sup>		N <sup>(7)</sup>			
Comprehensive Sign Program		N <sup>(7)</sup>	N <sup>(7)</sup>		N <sup>(7)</sup>		N <sup>(7)</sup>			
Revolving Projecting Signs		-	-		-		-			
Signs with Automatic Changing Copy		-	-		-		-			
Theater Marquees		-	-		-		-			

#### Footnotes for Table 1516-01D

- <sup>1</sup> Placemaking projects in OTCC and OTMCR zones shall not include retail sales or commercial services uses except as accessory uses to serve the placemaking use, and shall operate only between the hours of 7:00 a.m. and 10:00 p.m., unless a separate Temporary Use Permit is obtained.
- <sup>2</sup> Only one exterior receiving antenna per dwelling unit is permitted. Any satellite antennas as described in Land Development Code Section 141.0405 shall be screened from view and are subject to review by the Design Review Board and approval by the City Manager.
- <sup>3</sup> Development of a large retail establishment is subject to Section 143.0302.
- <sup>4</sup> The sale of alcoholic beverages is not permitted as a primary use.
- <sup>5</sup> Eating and drinking establishments abutting residential development located in a residential zone may operate only between 6:00 a.m. and 12:00 midnight. All uses or activities shall be conducted entirely within an enclosed building and front onto the primary street with no uses or commercial activities conducted outdoors in the rear yard adjacent to residentially-zoned properties.
- <sup>6</sup> This use is only permitted as a limited use subject to a mobile food truck permit in accordance with Section 123.0603 and the separately regulated use regulations in Section 141.0612.
- <sup>7</sup> Sign design and placement shall conform to the regulations in Sections 1516.0139 and 1516.0140.

#### § 1516.0118 Development Regulations for Old Town San Diego Commercial Zones

- (a) Within the Old Town San Diego commercial zones, no structure or improvement shall be constructed, established, or altered, nor shall any premises be used unless the premises complies with Table 1516-01E, the regulations and standards in this Division, and applicable development regulations in Chapter 13, Article 2 (Overlay Zones) and Chapter 14

(General and Supplemental Regulations).

- (b) A Neighborhood Development Permit or Site Development Permit is required for the types of development identified in Table 143-03A.
- (c) The regulations in this Division apply to all development in the Old Town San Diego commercial zones whether or not a permit or other approval is required, except where specifically identified.

**§ 1516.0119 Development Regulations Table for Old Town San Diego Commercial Zones**

**Table 1516-01E  
Development Regulations for OTCC and OTMCR Zones**

Development Regulations	Zone 1st & 2nd >> 3rd >>	Zones								
		OTCC-						OTMCR-		
		1-	2-	2-	2-	3-	3-	1-		
		1	1	2	3	1	2	1	2	3
<b>Max Permitted Residential Density<sup>(1)</sup></b>		--	1,750	1,750	1,200	1,750	1,750	1,000	800	600
<b>Mixed-Use Requirement</b> [See Section 1516.0135]		--	applies	applies	applies	applies	applies	--	--	--
<b>Active Ground Floor Use Requirement</b> [See Section 1516.0137]		applies	applies	applies	applies	applies	applies	--	applies	--
<b>Lot Area</b>										
Min Lot Area (sf)		--	2,500	2,500	2,500	2,500	2,500	2,500	2,500	2,500
Max Lot Area (ac)		--	--	--	--	--	--	--	--	--
<b>Lot Dimensions</b>										
Min Lot Width (ft)		50	50	50	100	100	100	--	--	--
Min Street Frontage (ft)		--	--	--	--	--	--	--	--	--
Min Lot Depth (ft)		--	--	--	--	--	--	--	--	--
Max Lot Depth (ft)		--	--	--	--	--	--	--	--	--
<b>Setback Requirements<sup>(2)</sup></b>										
Min Front Setback (ft)		0	0	0	0	0	0	0	0	0
Max Front Setback (ft)		10	10	10	10	10	10	10	10	10
Min Side Setback (ft)		5	5	5	5	5	5	5	5	5
Optional Side Setback (ft)		--	--	--	--	--	--	--	--	--
Side Setback Abutting Residential		10	10	10	10	10	10	10	10	10
Min Street Side Setback (ft)		10	0	0	10	10	10	10	10	10
Max Front Setback (ft)		--	--	--	--	--	--	--	--	--
Min Rear Setback (ft)		5	5	5	5	5	5	5	5	5

Development Regulations	Zone 1st & 2nd >> 3rd >>	Zones								
		OTCC-						OTMCR-		
		1-	2-	2-	2-	3-	3-	1-		
		1	1	2	3	1	2	1	2	3
Rear Setback Abutting Residential		10	10	10	10	10	10	10	10	10
<b>Max Structure Height (ft)</b>		45	30	30	36	36	45	30	36	45
<b>Max Number of Stories</b> [See also Section 1516.0125(d)]		3	2	2	3	3	3	2	3	4
<b>Min Lot Coverage (%)<sup>(2)</sup></b>		35	35	35	35	35	35	35	35	35
<b>Max Floor Area Ratio</b>		2.0	1.0	1.0	1.2	1.3	1.3	1.2	2.0	2.0
Floor Area Ratio Bonus for Residential Mixed Use [See Sections 1516.0136]		--	0.2	0.2	0.2	--	--	--	0.2	1.0
Minimum Floor Area Ratio for Residential Use [See Section 1516.0136]		--	0.2	0.2	0.2	--	--	--	--	0.2
Floor Area Ratio Bonus for Structured Parking [See Section 1516.0138]		1.0	--	--	--	--	--	--	--	1.0
<b>Ground-Floor Height</b> [See Section 1516.0134]		applies	--	--	--	--	applies	--	--	applies
<b>Building spacing</b> [See Section 1516.0133]		applies	applies	applies	applies	applies	applies	applies	applies	applies
<b>Pedestrian Paths</b> [See Section 1516.0127(d)]		applies	applies	applies	applies	applies	applies	applies	applies	applies
<b>Transparency</b> [See Section 1516.0127(b)]		applies	applies	applies	applies	applies	applies	applies	applies	applies
<b>Building Articulation</b> [See Section 1516.0127(a)]		applies	applies	applies	applies	applies	applies	applies	applies	applies
<b>Maximum Structure Footprint (sf)</b>										
1-story		6,000	6,000	6,000	6,000	6,000	6,000	6,000	6,000	6,000
2-story		8,000	8,000	8,000	8,000	8,000	8,000	8,000	8,000	8,000
3-story		12,000	12,000	12,000	12,000	12,000	12,000	12,000	12,000	12,000
<b>Common open space</b> [See Section 1516.0127(c)]		applies	applies	applies	applies	applies	applies	applies	applies	applies
<b>Parking Lot Orientation</b>		--	--	--	--	--	--	--	--	--
<b>Refuse and Recyclable Material Storage</b> [See Section 142.0805]		applies	applies	applies	applies	applies	applies	applies	applies	applies

Development Regulations	Zone	Zones								
		OTCC-						OTMCR-		
		1-	2-	2-	2-	3-	3-	1-		
	1st & 2nd >> 3rd >>	1	1	2	3	1	2	1	2	3
<b>Loading Dock and Overhead Door Screening Regulations</b> [See Section 142.1030]		applies	applies	applies	applies	applies	applies	applies	applies	applies
<b>Visibility Area</b> [See Section 113.0273]		--	--	--	--	--	--	--	--	--

**Footnotes for Table 1516-01E**

- <sup>1</sup> One dwelling unit per specified minimum square feet of lot area as determined in accordance with Section 113.0222.
- <sup>2</sup> Placemaking on private property shall not be subject to setback or minimum lot coverage regulations in accordance with Section 141.0421.

**§ 1516.0120 Purpose of the Old Town San Diego Open Space-Park Zones (OTOP)**

The OTOP zones are differentiated based on the uses allowed as follows:

- (a) OTOP 1-1 allows parks for passive uses with some active uses.
- (b) OTOP 2-1 allows parks for passive uses with some active uses that cater to visitors.

**§ 1516.0121 Use Regulations for Old Town San Diego Open Space-Park Zones**

- (a) The uses permitted in the Old Town San Diego Open Space-Park zones may be further limited by the following:
  - (1) Use limitations applicable to the Airport Land Use Compatibility Overlay Zone (Chapter 13, Article 2, Division 15);
  - (2) The presence of environmentally sensitive lands, pursuant to Chapter 14, Article 3, Division 1 (Environmentally Sensitive Lands Regulations); and
  - (3) Any other applicable provision of the San Diego Municipal Code.
- (b) Within the Old Town San Diego Open Space-Park zones, no structure or improvement, or portion thereof, shall be constructed, established, or

altered, nor shall any premises be used or maintained, except for one or more of the purposes or activities listed in Table 1516-01F. It is unlawful to establish, maintain, or use any premises for any purpose or activity not listed in this Section 1516.0121 or Table 1516-01F.

- (c) All uses or activities permitted in Old Town San Diego Open Space-Park zones shall be conducted entirely within an enclosed building unless the use or activity is traditionally conducted outdoors.
- (d) Accessory uses in Old Town San Diego Open Space-Park zones may be permitted in accordance with Section 131.0125.
- (e) Temporary uses in Old Town San Diego Open Space-Park zones may be permitted with a Temporary Use Permit in accordance with Chapter 12, Article 3, Division 4.
- (f) For any use that cannot be readily classified, the City Manager shall determine the appropriate use category and use subcategory pursuant to Section 131.0110.

**§ 1516.0122 Use Regulations Table for Old Town San Diego Open Space-Park Zones**

**Legend for Table 1516-01F**

<b>Symbol in Tables 1516-01F</b>	<b>Description of Symbol</b>
P	Use or use category is permitted. Regulations pertaining to a specific use may be referenced.
L	Use is permitted with limitations, which may include location limitations or the requirement for a use or development permit. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).
N	Neighborhood Use Permit Required. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).

C	Conditional Use Permit Required. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).
-	Use or use category is not permitted.

**Table 1516-01F  
Use Regulations for Old Town San Diego Open Space-Park Zones**

Use Categories/ Subcategories [See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones	
		1st & 2nd >>	OTOP-
	3rd >>	1-	2-
	4th >>	1	1
<b>Open Space</b>			
<b>Active Recreation</b>		p <sup>(1)</sup>	p <sup>(1)</sup>
<b>Passive Recreation</b>		P	P
<b>Natural Resources Preservation</b>		P	P
<b>Park Maintenance Facilities</b>		-	-
<b>Agriculture</b>			
<b>Agricultural Processing</b>		-	-
<b>Aquaculture Facilities</b>		-	-
<b>Dairies</b>		-	-
<b>Horticulture Nurseries &amp; Greenhouses</b>		-	-
<b>Raising &amp; Harvesting of Crops</b>		-	-
<b>Raising, Maintaining &amp; Keeping of Animals</b>		-	-
<b>Separately Regulated Agriculture Uses</b>			
Agricultural Equipment Repair Shops		-	-
Commercial Stables		-	-
Community Gardens		N	N
Equestrian Show & Exhibition Facilities		-	-
Open Air Markets for the Sale of Agriculture- Related Products & Flowers		-	-

Use Categories/ Subcategories [See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones	
	1st & 2nd >>	OTOP-	
	3rd >>	1-	2-
	4th >>	1	1
<b>Residential</b>			
<b>Mobilehome Parks</b>		-	-
<b>Multiple Dwelling Units</b>		-	-
<b>Rooming House</b> [See Section 131.0112(a)(3)(A)]		-	-
<b>Shopkeeper Units</b>		-	-
<b>Single Dwelling Units</b>		-	-
<b>Separately Regulated Residential Uses</b>			
Boarder & Lodger Accommodations		-	-
Companion Units		-	-
<b>Employee Housing:</b>			
6 or Fewer Employees		-	-
12 or Fewer Employees		-	-
Greater than 12 Employees		-	-
Fraternities, Sororities and Student Dormitories		-	-
Garage, Yard, & Estate Sales		-	-
Guest Quarters		-	-
Home Occupations		-	-
Housing for Senior Citizens		-	-
Junior Units		-	-
Live/Work Quarters		-	-
<b>Residential Care Facilities:</b>			
6 or fewer persons		-	-
7 or more persons		-	-
<b>Transitional Housing:</b>			
6 or fewer persons		-	-
7 or more persons		-	-
Watchkeeper Quarters		-	-
<b>Institutional</b>			



Use Categories/ Subcategories [See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones	
	1st & 2nd >>	OTOP-	
	3rd >>	1-	2-
	4th >>	1	1
<b>Separately Regulated Institutional Uses</b>			
Airports	-	-	-
Botanical Gardens & Arboretums	P	P	P
Cemeteries, Mausoleums, Crematories	-	-	-
Correctional Placement Centers	-	-	-
Educational Facilities:			
Kindergarten through Grade 12	-	-	-
Colleges / Universities	-	-	-
Vocational / Trade School	-	-	-
Electric Vehicle Charging Stations	N	N	N
Energy Generation & Distribution Facilities	-	-	-
Exhibit Halls & Convention Facilities	-	-	-
Flood Control Facilities	-	-	-
Historical Buildings Used for Purposes Not Otherwise Allowed	C	C	C
Homeless Facilities:			
Congregate Meal Facilities	-	-	-
Emergency Shelters	-	-	-
Homeless Day Centers	-	-	-
Hospitals, Intermediate Care Facilities & Nursing Facilities	-	-	-
Interpretive Centers	p <sup>(1)</sup>	p <sup>(1)</sup>	p <sup>(1)</sup>
Museums	p <sup>(1)</sup>	p <sup>(1)</sup>	p <sup>(1)</sup>
Major Transmission, Relay, or Communications Switching Stations	-	-	-
Placemaking on Private Property	L <sup>(2)</sup>	L <sup>(2)</sup>	L <sup>(2)</sup>
Satellite Antennas	N <sup>(3)</sup>	N <sup>(3)</sup>	N <sup>(3)</sup>
Social Service Institutions	-	-	-

<b>Use Categories/ Subcategories</b> [See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]	<b>Zone Designator</b>	<b>Zones</b>	
	1st & 2nd >>	OTOP-	
	3rd >>	1-	2-
	4th >>	1	1
Solar Energy Systems		L	L
Wireless Communication Facility:			
Wireless communication facility in the public right-of- way with subterranean equipment adjacent to a non- residential use		-	-
Wireless communication facility in the public right-of- way with subterranean equipment adjacent to a residential use		-	-
Wireless communication facility in the public right-of- way with above ground equipment		-	-
Wireless communication facility outside the public right-of-way		-	-
<b>Retail Sales</b>			
<b>Building Supplies &amp; Equipment</b>		-	-
<b>Food, Beverages and Groceries</b>		-	p <sup>(1)</sup>
<b>Consumer Goods, Furniture, Appliances, Equipment</b>		-	p <sup>(1)</sup>
<b>Pets &amp; Pet Supplies</b>		-	-
<b>Sundries, Pharmaceuticals, &amp; Convenience Sales</b>		-	-
<b>Wearing Apparel &amp; Accessories</b>		-	p <sup>(1)</sup>
<b>Separately Regulated Retail Sales Uses</b>			
Agriculture Related Supplies & Equipment		-	-
Alcoholic Beverage Outlets		-	-

Use Categories/ Subcategories [See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones	
	1st & 2nd >>	OTOP-	
	3rd >>	1-	2-
	4th >>	1	1
Farmers' Markets			
Weekly Farmers' Markets	-		p <sup>(1)</sup>
Daily Farmers' Market Stands	-		p <sup>(1)</sup>
Marijuana Outlets	-		-
Plant Nurseries	-		-
Retail Farms	-		-
Retail Tasting Stores	-		p <sup>(1)</sup>
Swap Meets & Other Large Outdoor Retail Facilities	-		-
<b>Commercial Services</b>			
<b>Building Services</b>	-		-
<b>Business Support</b>	-		-
<b>Eating &amp; Drinking Establishments</b>	-		p <sup>(1)</sup>
<b>Financial Institutions</b>	-		-
<b>Funeral &amp; Mortuary Services</b>	-		-
<b>Instructional Studios</b>	-		p <sup>(1)</sup>
<b>Maintenance &amp; Repair</b>	-		-
<b>Off-Site Services</b>	-		-
<b>Personal Services</b>	-		p <sup>(1)</sup>
<b>Radio &amp; Television Studios</b>	-		-
<b>Tasting Rooms</b>	-		-
<b>Visitor Accommodations</b>	-		p <sup>(1)</sup>
<b>Separately Regulated Commercial Services Uses</b>			
Adult Entertainment Establishments:			
Adult Book Store	-		-
Adult Cabaret	-		-
Adult Drive-In Theater	-		-
Adult Mini-Motion Picture Theater	-		-

Use Categories/ Subcategories [See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones	
	1st & 2nd >>	OTOP-	
	3rd >>	1-	2-
	4th >>	1	1
Adult Model Studio		-	-
Adult Motel		-	-
Adult Motion Picture Theater		-	-
Adult Peep Show Theater		-	-
Adult Theater		-	-
Body Painting Studio		-	-
Massage Establishment		-	-
Sexual Encounter Establishment		-	-
Assembly and Entertainment Uses, Including Places of Religious Assembly		-	p <sup>(1)</sup>
Bed & Breakfast Establishments:			
1-2 Guest Rooms		-	p <sup>(1)</sup>
3-5 Guest Rooms		-	p <sup>(1)</sup>
6+ Guest Rooms		-	p <sup>(1)</sup>
Boarding Kennels/ Pet Day Care		-	-
Camping Parks		-	-
Child Care Facilities:			
Child Care Centers		-	-
Large Family Child Care Homes		-	-
Small Family Child Care Homes		-	-
Eating and Drinking Establishments with a Drive-in or Drive-through		-	-
Fairgrounds		-	-
Golf Courses, Driving Ranges, and Pitch & Putt Courses		C	-
Helicopter Landing Facilities		-	-
Massage Establishments, Specialized Practice		-	-

Use Categories/ Subcategories [See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones	
	1st & 2nd >>	OTOP-	
	3rd >>	1-	2-
	4th >>	1	1
Medical Marijuana Consumer Cooperatives		-	-
Mobile Food Trucks		-	-
Nightclubs & Bars over 5,000 square feet in size		-	-
Parking Facilities as a Primary Use:			
Permanent Parking Facilities		-	-
Temporary Parking Facilities		-	-
Private Clubs, Lodges and Fraternal Organizations		-	-
Privately Operated, Outdoor Recreation Facilities over 40,000 square feet in size		C <sup>(1)</sup>	C <sup>(1)</sup>
Pushcarts:			
Pushcarts on Private Property		L	L
Pushcarts in Public Right of Way		-	-
Recycling Facilities:			
Large Collection Facility		-	-
Small Collection Facility		-	-
Large Construction & Demolition Debris Recycling		-	-
Small Construction & Demolition Debris Recycling		-	-
Drop-off Facility		-	-
Green Materials Composting Facility		-	-
Mixed Organic Composting Facility		-	-
Large Processing Facility Accepting at Least 98% of Total Annual Weight of Recyclables from Commercial & Industrial		-	-
Large Processing Facility Accepting All Types of Traffic		-	-

Use Categories/ Subcategories [See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones	
	1st & 2nd >>	OTOP-	
	3rd >>	1-	2-
	4th >>	1	1
Small Processing Facility Accepting at Least 98% of Total Annual Weight of Recyclables From Commercial & Industrial		-	-
Small Processing Facility Accepting All Types of Traffic		-	-
Reverse Vending Machines		-	-
Tire Processing Facility		-	-
Sidewalk Cafes		-	-
Sports Arenas & Stadiums		-	-
Theaters That Are Outdoor or over 5,000 Square Feet in Size		p <sup>(1)</sup>	p <sup>(1)</sup>
Urgent Care Facility		-	-
Veterinary Clinics & Animal Hospitals		-	-
Zoological Parks		-	-
<b>Offices</b>			
<b>Business &amp; Professional</b>		-	p <sup>(1)</sup>
<b>Government</b>		-	p <sup>(1)</sup>
<b>Medical, Dental, &amp; Health Practitioner</b>		-	p <sup>(1)</sup>
<b>Regional &amp; Corporate Headquarters</b>		-	-
<b>Separately Regulated Office Uses</b>			
Real Estate Sales Offices & Model Homes		-	-
Sex Offender Treatment & Counseling		-	-
<b>Vehicle &amp; Vehicular Equipment Sales &amp; Service</b>			
<b>Commercial Vehicle Repair &amp; Maintenance</b>		-	-
<b>Commercial Vehicle Sales &amp; Rentals</b>		-	-
<b>Personal Vehicle Repair &amp; Maintenance</b>		-	-
<b>Personal Vehicle Sales &amp; Rentals</b>		-	-

Use Categories/ Subcategories [See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones	
	1st & 2nd >>	OTOP-	
	3rd >>	1-	2-
	4th >>	1	1
<b>Vehicle Equipment &amp; Supplies Sales &amp; Rentals</b>		-	-
<b>Separately Regulated Vehicle &amp; Vehicular Equipment Sales &amp; Service Uses</b>			
Automobile Service Stations		-	-
Outdoor Storage & Display of New, Unregistered Motor Vehicles as a Primary Use		-	-
<b>Distribution and Storage</b>			
<b>Equipment &amp; Materials Storage Yards</b>		-	-
<b>Moving &amp; Storage Facilities</b>		-	-
<b>Distribution Facilities</b>		-	-
<b>Separately Regulated Distribution and Storage Uses</b>			
Impound Storage Yards		-	-
Junk Yards		-	-
Temporary Construction Storage Yards Located off-site		-	-
<b>Industrial</b>			
<b>Heavy Manufacturing</b>		-	-
<b>Light Manufacturing</b>		-	-
<b>Marine Industry</b>		-	-
<b>Research &amp; Development</b>		-	-
<b>Testing Labs</b>		-	-
<b>Trucking &amp; Transportation Terminals</b>		-	-
<b>Separately Regulated Industrial Uses</b>			
Hazardous Waste Research Facility		-	-
Hazardous Waste Treatment Facility		-	-
Marijuana Production Facilities		-	-

Use Categories/ Subcategories [See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones	
	1st & 2nd >>	OTOP-	
	3rd >>	1-	2-
	4th >>	1	1
Marine Related Uses Within the Coastal Overlay Zone		-	-
Mining and Extractive Industries		-	-
Newspaper Publishing Plants		-	-
Processing & Packaging of Plant Products & Animal By-products Grown Off-premises		-	-
Very Heavy Industrial Uses		-	-
Wrecking & Dismantling of Motor Vehicles		-	-
<b>Signs</b>			
<b>Allowable Signs</b>		p <sup>(4)</sup>	p <sup>(4)</sup>
<b>Separately Regulated Signs Uses</b>			
Community Entry Signs		-	-
Neighborhood Identification Signs		-	-
Comprehensive Sign Program		-	-
Revolving Projecting Signs		-	-
Signs with Automatic Changing Copy		-	-
Theater Marquees		-	-

**Footnotes for Table 1516-01F**

- <sup>1</sup> This use is permitted only if consistent with an approved park general development plan or master plan and is subject to any requirements identified in the plan. Vending in certain public places must comply with the provisions of Sections 63.0102(b)(13) and 63.0102(b)(14).
- <sup>2</sup> Placemaking on private property in OTOP zones at locations adjacent to residentially zoned property shall not include commercial services or assembly and entertainment uses as accessory uses.
- <sup>3</sup> Only one exterior receiving antenna per dwelling unit is permitted. Any satellite antennas as described in Land Development Code Section 141.0405 shall be screened from view and are subject to review by the Design Review Board and approval by the City Manager.
- <sup>4</sup> Sign design and placement shall conform to the regulations in Sections 1516.0139 and 1516.0140.

**§ 1516.0123 Development Regulations for Old Town San Diego Open Space-Park Zones**

- (a) Within the Old Town San Diego Open Space-Park zones, no structure or



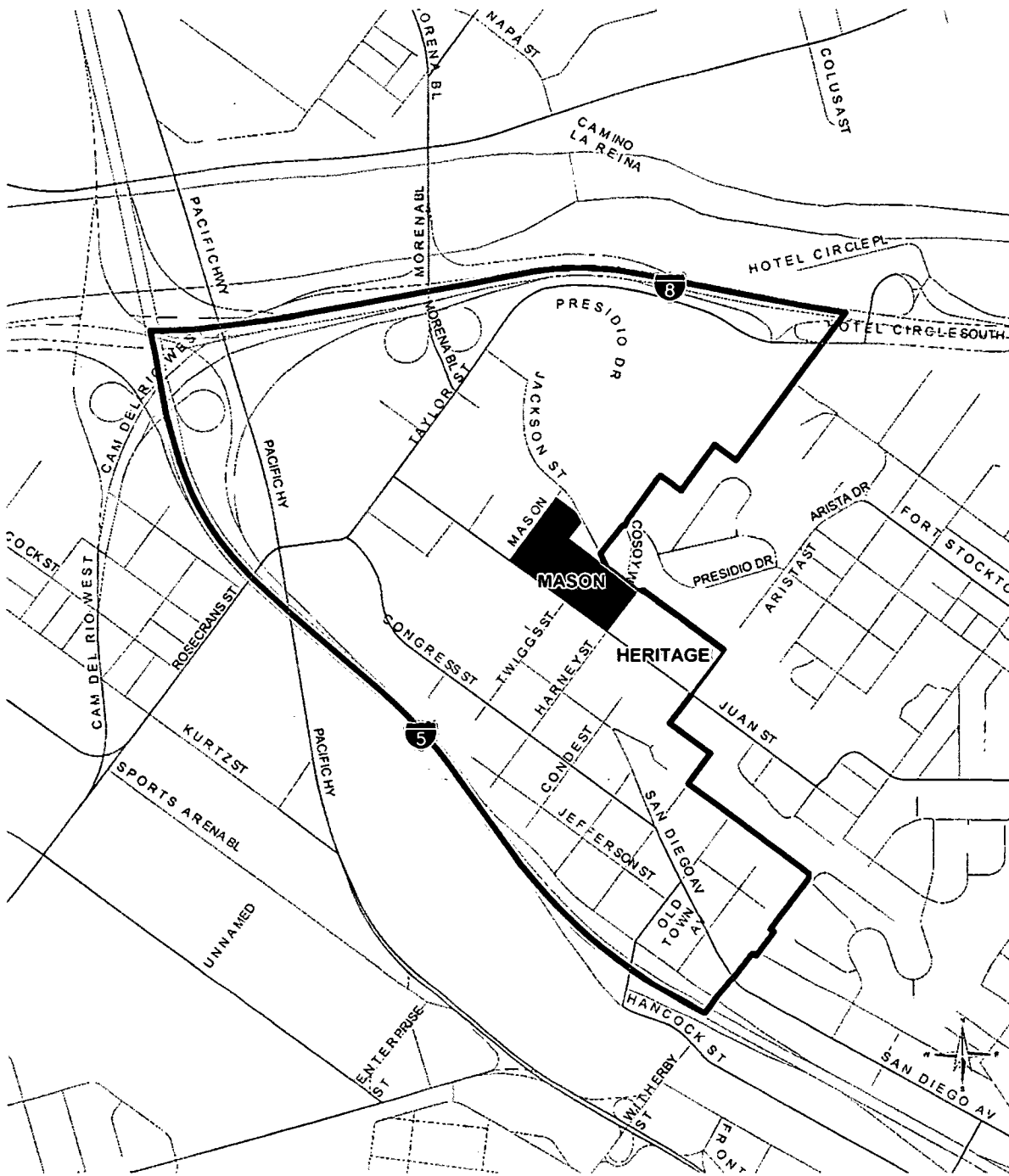
improvement shall be constructed, established, or altered, nor shall any premises be used, unless the premises comply with an approved park general development plan or master plan, the Old Town San Diego Community Plan, and any applicable development regulations in Chapter 13, Article 2 (Overlay Zones) and Chapter 14 (General and Supplemental Regulations).

- (b) A Neighborhood Development Permit or Site Development Permit is required for the types of development identified in Table 143-03A.
- (c) The regulations in this Division apply to all development in Old Town San Diego Open Space-Park zones whether or not a permit or other approval is required, except where specifically identified.

**§ 1516.0124 Architectural and Urban Design Requirements**

- (a) All development within the Planned District shall comply with the requirements of this Division regarding *architectural features, site design, streetscape, landscape, parking, accessory buildings, sign requirements, and the supplemental regulations to ensure the preservation and enhancement of the distinctive character and atmosphere of Old Town San Diego prior to 1872.*
- (b) The accepted architectural periods are pre-1872 Spanish, Mexican, and Early American. The architectural periods and their representative features are described in Section 1516.0125 and in the following Appendices:
  - (1) Appendices A, B, and C provide visual references and descriptions of *architectural features, site design, and streetscape features.*

- (2) Appendix D provides the lists of acceptable plant and tree species for landscaping.
  - (3) Appendix E provides visual references and descriptions related to sign design.
  - (4) Appendix F provides the list of acceptable exterior building colors.
- (c) Development within the Mason and Heritage Sub-Districts, as designated in Diagram 1516-01B, shall be exempt from the architectural and urban design requirements in Section 1516.0124 and the architectural periods and features requirements in Section 1516.0125 that conflict with the predominant period of development reflected in existing structures in each Sub-District (for the Mason Sub-District, 1938 to 1955, and for the Heritage Sub-District, 1837 to 1901).



**DIAGRAM 1516-01B**  
**Old Town San Diego Sub-Districts**  
This is a reproduction of Map No. C-993 for illustration purposes only.

**§ 1516.0125 Architectural Periods and Features**

- (a) All development within the Planned District shall conform to the *architectural features* of one of the three following architectural periods that characterized Old Town San Diego prior to 1872:
  - (1) Spanish Period (1769-1821),
  - (2) Mexican Period (1821-1846), or
  - (3) Early American Period (1846-1872).
  
- (b) All development within the Planned District shall include all of the following defining *architectural features* from the particular architectural period:
  - (1) Spanish Period (1769-1821)
    - (A) rectangular building forms,
    - (B) gable roofs with a low to medium pitch (minimum pitch of 3 ½ inches: 12 inches),
    - (C) terracotta tile roofs or composite shingles that simulate the appearance of wood shingles,
    - (D) extended eaves with option for porticos,
    - (E) board and batten doors or paneled doors (with inset rectangular panels) of wood or other material with wooden appearance, with optional minimal glazing,
    - (F) inset windows (minimum depth of 6 inches) of casement type with divided lights and window height that is greater than width, and

- (G) exterior walls that have a period-appropriate texture, including smooth or textured plastered finish, smooth or textured stucco finish, or other materials that evoke a smooth or textured plaster finish.
- (2) Mexican Period (1821-1846)
- (A) rectangular building forms, arcade(s), and courtyard(s),
  - (B) gable roofs with a low to medium pitch (minimum pitch of 3 ½ inches: 12 inches),
  - (C) terracotta tile or simulated wood shingle roof covering,
  - (D) extended eaves with option for balconies, balconies with portico, or portico,
  - (E) board and batten doors or paneled doors (with inset rectangular panels) of wood or other material with wooden appearance, with optional glazing,
  - (F) inset windows (minimum depth of 6 inches) of casement, or single-hung, or double-hung sash type, with divided lights and window height that is greater than width, and
  - (G) exterior walls that have a period-appropriate texture, including smooth or textured plastered finish, smooth or textured stucco finish, or other materials that evoke a smooth or textured plaster finish.
- (3) Early American Period (1846-1872)
- (A) rectangular building forms,

- (B) symmetrical gable roof, exposed or concealed by a flat false front, or hip roof with simulated wood shingle roof covering, or flat roof with parapet,
- (C) exterior finish in horizontal or vertical board siding (wood or simulated wood), brick, or other characteristic exterior building materials,
- (D) paneled doors (with inset rectangular panels) of wood or other material with wooden appearance, with optional glazing featuring rectangular divided lights,
- (E) molded frames around doors and windows, and
- (F) single-hung or double-hung sash windows with divided lights and window height that is greater than width.

(c) Maximum Structure Footprint

Structures shall not exceed the maximum structure footprint identified in Tables 1516-01C and 1516-01E.

(d) Maximum Number of Stories

Structures shall not exceed the maximum number of stories identified in Tables 1516-01C and 1516-01E.

(e) Exterior Building Colors

All exterior building colors shall be selected from among those listed in Appendix F, or be a tint (color plus white) or shade (color plus black) of those permitted colors. All exterior building walls shall be painted or colored a single primary color. One or more accent colors may be used to

highlight building features such as eaves, lintels, and door and window frames. Accent colors used on Spanish Period or Mexican Period buildings shall be limited to two per building.

(f) Eclectic Architectural Periods and Features Prohibited

Use of architectural designs, forms, materials, textures and colors from different architectural periods for any single structure is prohibited, unless a clear historical precedent in Old Town San Diego can be documented.

**§ 1516.0126 Previously Conforming Buildings and Structures**

Previously conforming buildings and structures shall conform with the requirements of this Division regarding acceptable architectural periods and features as follows:

- (a) Non-historic structures with *architectural features* that are not consistent with one of the three acceptable architectural periods described in Section 1516.0125 shall be brought into conformance if proposed development would remove, destroy, demolish, or alter 50 percent or more of the structure's building facade, on a cumulative basis, or remove, destroy, demolish, or alter 30 percent or more of the capacity of the lateral or vertical load resisting system of the structure, as determined by the Building Official.
- (b) Remodels, additions, and alterations that include street frontage along San Diego Avenue and that would remove, destroy, demolish, or alter 20 percent or more of a structure's exterior walls, on a cumulative basis, or remove, destroy, demolish, or alter 20 percent or more of the capacity of

the lateral or vertical load resisting system of the structure as determined by the Building Official, shall be designed to be consistent with one of the three acceptable architectural periods described in Section 1516.0125.

- (c) Remodels, additions, and alterations that involve only a portion of non-historic structures with *architectural features* that are not consistent with one of the three acceptable architectural periods described in Section 1516.0125 and that are not visible from the public right-of-way shall be designed to be consistent with the *architectural style* of the existing structure.
- (d) Development within the Mason and Heritage Sub-Districts, as designated in Diagram 1516-01B, shall be exempt from the architectural periods conformance requirements of this Section 1516.0126.
- (e) Nothing in this Section 1516.0126 shall be construed to supersede the City's Historical Resources Regulations (Chapter 14, Article 3, Division 2).

**§ 1516.0127 Site and Building Design**

*Site design* encompasses the building orientation in relation to the site, sidewalks, and public right-of-way. Appendix B provides a visual reference and descriptions of Old Town San Diego *site design* features. All development shall conform to the *site design* requirements in Section 1516.0127.

- (a) Pedestrian-Oriented Building Design
  - (1) Structures shall be oriented toward the public right-of-way.



- (2) Street walls of buildings within the OTCC-1-1, OTCC-2-1, OTCC-2-2, OTCC-2-3, OTCC-3-1, OTCC-3-2, OTMCR-1-2, and OTMCR-1-3 zones that are oriented to the street corridors specified in Section 1516.0127(a)(3) shall incorporate design features to promote pedestrian activity, such as prominent and visible entrances; high-quality building materials that convey historical authenticity, such as brick, wood door frames, wood window frames, exposed wood lintels at window and door heads, wood window shutters, exposed wooden posts, beams, purlins, rafters, and rafter tails; decorative building elements that convey historical authenticity, such as exterior stairs with stepped low wall, brackets supporting architectural elements, cornice molding, cornice molding supported on brackets, window grills, architectural period-appropriate railings, wood fences, and adobe-style walls; porches, arcades, or other building projections that highlight pedestrian entrances; and publicly accessible pedestrian spaces, such as sidewalk cafes or plazas.
- (3) The following street corridors shall incorporate design features to promote pedestrian activity:
- (A) San Diego Avenue between Twiggs Street and Ampudia Street,
  - (B) Congress Street between the Old Town San Diego Transit Center and Ampudia Street,

- (C) Twiggs Street between Congress Street and Juan Street,
  - (D) Harney Street between Congress Street and Juan Street,
  - (E) Taylor Street between Juan Street and Presidio Drive,
  - (F) Juan Street between Taylor Street and Wallace Street,
  - (G) Old Town Avenue between Moore Street and San Diego Avenue, and
  - (H) Rosecrans Street between Interstate 5 and Pacific Highway.
- (4) Development shall reduce the perceived scale of buildings by utilizing building modulation, facade articulation, offsetting planes, “altito” roof effect, overhangs, porticos, or porches.
- (b) Transparency
- (1) For residential developments, a minimum of 20 percent of street wall area shall be transparent with clear glass visible into a residential use. Windows or other transparent materials that provide visibility into a garage or similar area do not count toward the required transparency.
  - (2) For commercial and mixed-use developments, a minimum of 40 percent of street wall area shall be transparent with clear glass visible into a commercial or residential use. Windows or other transparent materials that provide visibility into a garage or similar area do not count toward the required transparency.
- (c) Common Open Space

- (1) Development within all zones, except for OTRS and OTOP zones, shall provide a common open space area either at grade, podium, or roof level by the incorporation of one or more of the following:
  - (A) courtyards,
  - (B) plazas,
  - (C) patios,
  - (D) paseos, or
  - (E) porches.
- (2) Common open space areas shall follow the design style that is consistent with the architectural period, as described in Section 1516.0125, of the existing or proposed development on the premises.
- (3) Common open space areas shall be provided as a percentage of the lot area in accordance with Table 1516-01G.
- (4) All common open space areas shall:
  - (A) have a minimum width of 6 feet,
  - (B) contain a combination of hardscape and landscape features,
  - (C) be accessible to all users of the development through a common corridor, and
  - (D) contain no enclosed buildings.
- (5) Commercial development projects shall incorporate a plaza or courtyard as part of the required common open space as specified

in Table 1516-01G. Courtyards or plazas shall be accessible to the public from the street during business hours.

- (6) Paving materials in common open spaces shall meet accessibility requirements and be consistent with or simulate those used in the architectural period, described in Section 1516.0125, of the existing or proposed development on the premises.

**Table 1516-01G  
Common Open Space**

Lot Size (sf)	Common Open Space (Percentage of Lot Area)	Plaza or Courtyard (Percentage of Common Open Space) <sup>1</sup>
Less than 5,000	N/A	N/A
5,001 to 7,500	5	N/A
7,501 to 10,000	10	50
10,001 to 30,000	15	50
>30,000	20	50

**Footnote for Table 1516-01G**

<sup>1</sup> The requirement for a plaza or courtyard as a percentage of common open space applies only to commercial zones. (Section 1516.0127(c)(5)). Lots with street frontages less than 75 feet are exempt from this requirement.

**(d) Pedestrian Paths and Walkways**

- (1) Each residential entrance and each commercial tenant space shall be accessible from an abutting public street by a pedestrian path that is at least 4 feet wide.
- (2) The path shall be continuous, clear of obstructions, easily identifiable as a pedestrian path, and visually distinguishable from other hardscaping.

- (3) Pedestrian paths shall be separated from vehicular access areas by wheelstops, curbs, landscaping, or other physical barriers, except when crossing driveways or aisles.
  - (4) Building entrances located at the front or street side property line, where the building setback is zero, qualify as a required pedestrian path.
  - (5) Paving materials in paths and walkways shall meet accessibility requirements and be consistent with or simulate those used in the architectural period, described in Section 1516.0125, of the existing or proposed development on the premises.
- (e) Fences and Walls
- (1) Fences and walls shall be compatible with the design style of the existing or proposed development on the premises.
  - (2) Walls shall be made of brick or contemporary building materials simulating adobe, and fences shall be made of wood, wrought iron, or contemporary building materials simulating wood or wrought iron.
  - (3) Fences and walls shall not exceed a height of 4 feet on:
    - (A) San Diego Avenue between Twiggs Street and Ampudia Street,
    - (B) Congress Street between the Taylor Street and Ampudia Street,
    - (C) Twiggs Street between Congress Street and Juan Street,
    - (D) Harney Street between Congress Street and Juan Street,

- (E) Taylor Street between Congress Street and Presidio Drive,
- (F) Juan Street between Taylor Street and Wallace Street, and
- (G) Old Town Avenue between Moore Street and San Diego Avenue.

(f) Mechanical Equipment, Utilities, and Storage

- (1) All mechanical equipment, such as cooling or heating units, utility meters, transformers, communications equipment, and building service areas shall be screened from the public right-of-way to the maximum extent feasible. Screening shall be consistent with the architectural period, described in Section 1516.0125, of the existing or proposed development on the premises.
- (2) Satellite antennas shall be screened from view. All screening shall be consistent with the architectural period, described in Section 1516.0125, of the existing or proposed development on the premises.
- (3) Storage of merchandise, material or equipment shall be permitted only as an accessory use in accordance with Section 131.0125 and shall be completely enclosed within a structure that is architecturally integrated with the primary buildings so as not to be visible from the public right-of-way. Enclosures shall be consistent with the architectural period, described in Section 1516.0125, of the existing or proposed development on the premises.

(g) Building and Site Lighting

Building and site lighting shall be French Quarter lantern, millhouse, or

gooseneck style, as illustrated in Appendices B and E. Building and site lighting shall be installed along street frontages and pedestrian paths, and shall not exceed a height of 12 feet.

**§ 1516.0128 Streetscape**

All development within the Planned District shall conform to the following streetscape requirements.

- (a) Streetscape improvements shall be consistent with Old Town San Diego's pre-1872 character and shall support the community's *pedestrian orientation*. Appendix C provides a visual reference and examples of appropriate streetscape elements.
- (b) Driveways and Curb Cuts
  - (1) Driveways shall be perpendicular to the street and shall not exceed a width of 14 feet for projects with less than six residential units or 20 feet for all other projects, to be measured at the property line. There shall be no less than 75 feet of lot frontage, measured at the property line, between driveways serving the same premises.
  - (2) One existing driveway and curb cut per lot may be maintained; the remaining driveways shall be removed and the sidewalk and curbs reconstructed to match the adjacent sidewalk and curb areas.
  - (3) Driveway entrances across the sidewalk shall continue the paving pattern utilized in the adjacent sidewalk areas.
  - (4) No building encroachments into the public right-of-way shall be permitted including underground parking garages.

(c) Sidewalks

- (1) All existing and new sidewalks shall maintain or expand their present width.
- (2) All new or replaced sidewalks shall meet the following requirements:
  - (A) The minimum sidewalk width along San Diego Avenue shall be 8 feet.
  - (B) The minimum sidewalk width along all streets, except San Diego Avenue, shall be 6 feet.
- (3) The minimum clear path of travel along all sidewalks shall be 4 feet wide. A clear path, free of all obstructions to the flow of pedestrian traffic, shall be provided in the public right-of-way and shall be maintained at all times. Obstructions include traffic signals or signs, light standards, parking meters, phone booths, newspaper stands, bus stops, trash receptacles, benches, trees, and similar objects.
- (4) Sombrero Buff-colored concrete with a broom finish shall be utilized for sidewalks, curbs and gutters.
- (5) Sidewalks shall be scored with a rectangular scoring pattern.

(d) Street Lighting

- (1) Pedestrian-scale lighting in the French Quarter lantern style, as shown in Appendix C, shall be required every 75 to 95 feet on Congress Street, San Diego Avenue, and Taylor Street.



(2) Pedestrian-scale lighting shall be required on every diagonal corner of an intersection.

(e) Street Furniture

Street furniture shall support the scale and design context of Old Town San Diego's pre-1872 character and allow for a clear pedestrian path of travel.

(1) Planters and pots shall be made of cast stone, glazed or unglazed clay, wood, or masonry.

(2) Benches shall be made of wrought iron, cast iron, wood, or a combination of these materials.

(3) Newspaper and magazine corrals shall be made of wrought iron, cast iron, wood, or a combination of these materials.

(4) Trash receptacles shall resemble wood barrels.

**§ 1516.0129 Landscaping**

(a) Landscaping and street trees shall incorporate elements typical of early California natural landscapes and pre-1872 Spanish, Mexican, and early American gardens as specified in Appendix D.

(b) Land Development Code Chapter 14, Article 2, Division 4 (Landscape Regulations) shall apply with the following exceptions:

(1) Plant materials shall utilize the species included in Appendix D, Tables 1 and 2. The use of native drought-tolerant species and species that were introduced to California prior to 1872 is preferred.

(2) Existing street trees shall be preserved, unless the tree poses a

potential danger to persons or property due to age, disease, storm, fire, or other injury. New street trees shall be selected from the corridor-specific street tree species listed in Appendix D, Table 3.

- (3) The removal of any tree over 50 feet tall or over 50 years old requires prior approval from the City Manager, unless the tree poses a potential danger to persons or property due to age, disease, storm, fire, or other injury.

**§ 1516.0130 Parking**

- (a) Off-street parking spaces and facilities shall be provided before the use requiring such parking spaces and facilities commences operation and shall be maintained in good condition. Parking shall be provided in accordance with Land Development Code Chapter 14, Article 2, Division 5 (Parking Regulations).
- (b) Parking Requirement Exemptions
  - (1) Property that has frontage on San Diego Avenue and does not have secondary street access shall not be required to provide parking on-site.
  - (2) Lots of 6,250 square feet or less in Old Town San Diego commercial zones shall be exempt from all parking requirements.
- (c) Parking Orientation
  - (1) Surface parking shall be located behind buildings or at the interior of the block, except when such an orientation is infeasible due to unique topography or physical constraints.

- (2) Below grade parking and partially below grade parking is permitted within any of the sub-districts, and is exempt from the floor area ratio calculation.
- (3) Above grade parking structures are permitted only within the Taylor District, and are exempt from the floor area ratio calculation. Above grade parking structures must be enclosed on all sides by facades that are consistent with one of the three acceptable architectural periods described in Section 1516.0125.
- (d) **Parking Access**  
All required parking facilities shall have convenient access to a public street or alley.

**§ 1516.0131 Accessory Buildings for Old Town San Diego Residential Zones**

- (a) Accessory buildings shall be designed to be consistent with one of the three acceptable architectural periods described in Section 1516.0125.
- (b) Multiple accessory buildings are permitted on the premises. However, the square footage of all non-habitable accessory buildings excluding garages shall not exceed 25 percent of the allowable gross floor area of the premises.
- (c) Non-habitable accessory buildings or garages shall not be used for living or sleeping purposes. A non-habitable accessory building or garage may have electrical, gas, water, and sewer connections for the following purposes:

- (1) lighting, washing machines, dryers, laundry tubs, and hot water heaters,
  - (2) a one-half bathroom, limited to a water closet and a lavatory sink, and
  - (3) a shower, provided the property owner signs an agreement processed through the City Manager stating that the building will not be used for living or sleeping purposes and recorded with the County Recorder.
- (d) Non-habitable accessory buildings or garages may encroach into a required side or rear yard if the lot size does not exceed 10,000 square feet and the accessory building or garage meets all the following conditions:
- (1) does not share a common wall with the primary dwelling unit (but may be attached via a non-structural design element),
  - (2) complies with setback requirements above the first story,
  - (3) does not exceed a maximum length of 30 feet within any given setback, and
  - (4) does not exceed 525 square feet in gross floor area.
- (e) Habitable accessory buildings may be permitted:
- (1) to a single dwelling unit in accordance with Sections 141.0302 or 141.0307, or
  - (2) to a multiple dwelling unit to provide common area facilities for the property owners, tenants, and their guests in accordance with the underlying base zone.

**§ 1516.0132 Lot Coverage for Sloping Lots**

The maximum permitted lot coverage is 50 percent on any premises where more than 50 percent of the premises contains steep hillsides.

**§ 1516.0133 Building Spacing**

Development involving multiple buildings on any premises shall have a minimum separation of 6 feet between the exterior walls of the separate buildings and a minimum separation of 9 feet where the buildings are greater than one story.

**§ 1516.0134 Ground-Floor Height**

Structures with commercial uses on the ground floor shall have a minimum ground-floor height of an average of 15 feet, but not be less than 13 feet, measured from the average grade of the adjoining sidewalks, in increments of no more than 100 feet along a development frontage, to the finished elevation of the second floor.

**§ 1516.0135 Mixed Use Requirement**

Residential development within the commercial zones indicated in Table 1516-01E is permitted only when a commercial structure exists on the premises or is a part of the proposed development.

**§ 1516.0136 Floor Area Ratio Bonus for Mixed Use**

For residential uses that are developed as a part of a mixed-use development in certain OTCC and OTMCR zones, a floor area ratio bonus is provided as shown in Table 1516-01E, which also specifies the minimum floor area ratio that must be applied to residential use.

**§ 1516.0137 Active Ground Floor Use Requirement**

Within the commercial zones indicated in Table 1516-01E, uses that are accessible to the general public and that generate a high level of pedestrian activity shall meet the following ground floor requirements:

- (a) Within the OTCC-2-1 zone, Retail Sales, Eating & Drinking Establishments, Financial Institutions, Interpretive Centers, and Museums uses shall be in the front 30 percent of the lot.
- (b) Within the OTCC-1-1, OTCC-2-2, OTCC-2-3, OTCC-3-1, and OTCC-3-2 zones, Retail Sales, Commercial Services, Offices, Educational Facilities, Interpretive Centers, and Museums uses shall be in the front 30 feet of the lot.
- (c) Within the OTMCR-1-2 zone, for lots with frontage on Congress Street, Retail Sales, Commercial Services, Offices, Educational Facilities, Interpretive Centers, and Museums uses shall be within 30 feet of the property line along Congress Street.

**§ 1516.0138 Floor Area Ratio Bonus for Parking Structure**

For sites in the OTCC-1-1 and OTMCR-1-3 zones where at least 80 percent of the number of the proposed on-site parking spaces is provided in a parking structure that is below grade, above grade, or a combination thereof, and the parking structure is shielded from view from the public right-of-way by other structures or by facades that are consistent with the architectural periods described in Section 1516.0125, a floor area ratio bonus is provided as indicated in Table 1516-01E.

**§ 1516.0139 Sign Requirements**

(a) Purpose and Intent

It is the purpose and intent of the sign requirements of Sections 1516.0139 and 1516.0140 (hereafter Old Town San Diego Sign Requirements) to establish a coherent, unifying design theme reflective of Old Town San Diego's pre-1872 historical character and to limit visual clutter by regulating the type, location, size, design, and operation of signs. Signs located on buildings or sites and visible from the public right-of-way shall complement existing signs and shall be consistent with the *architectural style* of the buildings or sites where they are placed.

(b) Applicability and Boundaries

(1) The Old Town San Diego Sign Requirements apply to the Planned District, except Presidio Regional Park and Old Town San Diego State Historic Park.

(2) Officially adopted and recognized national, state and local flags, flags of international organizations, official military flags and historically significant flags are exempt from the Old Town San Diego Sign Requirements.

(c) Supplemental Regulations

The following sign regulations from Land Development Code Chapter 14, Article 2, Division 12 shall also apply:

(1) Locational Regulations, Sections 142.1210(b)(1) through 142.1210(b)(3), and 142.1210(b)(5);

- (2) Structural Regulations, Section 142.1210(c); and
- (3) Sign Maintenance Regulations, Section 142.1210(d).
- (d) Permit Application Requirements
  - (1) All proposed signs, except *temporary signs* and *business operations signs*, require a Neighborhood Development Permit (Process Two).
  - (2) Plans required as part of the sign permit application shall include the following, in addition to the application requirements of Land Development Code Chapter 11, Article 2, Division 1:
    - (A) street front elevational drawing or photo-simulation at 1/4” or 1/8” = 1’-0” scale, showing the sign in its context and showing all dimensions, and for projecting signs, dimensioned side views at 1/4” or 1/8” = 1’-0” scale,
    - (B) detailed drawings of the sign to adequately describe its construction and method of attachment to the building,
    - (C) color and material information, either shown on the drawings specified above or on a color board keyed to the drawings, and
    - (D) color photomontage “mock-up” (minimum 8-1/2” x 11” sheet) showing the proposed sign in context with the building.

(e) Types of Permitted Signs

The types of signs permitted are *identification signs*, *historical*



*identification signs, business operations signs, directional signs, sidewalk directional signs, wayfinding signs, community entry signs and neighborhood identification signs, temporary signs, and miscellaneous signs.*

(f) Maximum Size, Number, and Placement Requirements for Signs

Signs shall comply with the maximum size, number, and placement requirements in Table 1516-01H.

(g) General Sign Placement Requirements

Signs shall not obstruct or adversely affect the architectural or historical features of buildings or sites.

(1) Signs affixed to building facades shall not project above the nearest parapet or eave of the building.

(2) Signs affixed parallel to building facades shall not project more than 12 inches from the building facade.

(3) Signs affixed to a building shall not project into the public right-of-way.

(4) Signs affixed to the underside of covered walkways or verandas shall be affixed to the framework of the walkway or veranda in a way that does not allow movement by wind or passerby and shall remain out of the public right-of-way.

Table 1516-01H

## Sign Maximum Size, Maximum Number, and Placement Requirements

Sign Type	Maximum Size	Maximum Number Allowed <sup>(1)</sup>	Placement
Primary <i>identification sign</i>	16 square feet	1	Front or primary facade of a building
Secondary <i>identification sign</i>	12 square feet	3	Side or rear wall of establishment
<i>Historical identification sign</i>	Proposed size must be supported with documentation of <i>identification sign</i> of same size that existed prior to 1872	2	Proposed placement must be supported with documentation of <i>identification sign</i> of same placement that existed prior to 1872
Hanging projecting sign	6 square feet	1	Front or primary facade of a building
Freestanding <i>identification sign</i> <sup>(2)</sup>	1 1/2 square feet for each individual business, up to a total of 12 square feet	1	No higher than 5 feet above the average adjacent grade and securely attached to ground; individual signs on the freestanding <i>identification sign</i> must be securely attached to the sign's framework
<i>Business operations sign</i>	1 square foot	4	Within building against exterior window or on door
<i>Directional sign</i>	6 square feet	2 per building; 1 per business	On the building facade no more than 8 feet above adjacent grade
<i>Wayfinding sign</i>	12 square feet	2 per parcel	Shall not obstruct public right-of-way; not to exceed 10 feet in height when located on a separate freestanding ground structure; no greater than 8 feet above the finished grade when located on buildings or structures; may be permitted

			in public right-of-way with appropriate City permits
<i>Sidewalk directional sign</i>	6 square feet	1	Along the primary frontage of a building where the primary facade of the building is set back 2 feet or more from the property line; prohibited in the public right-of-way
Community entry sign	See Section 141.1101	See Section 141.1101	See Section 141.1101
Neighborhood identification sign	See Section 141.1102	See Section 141.1102	See Section 141.1102
<i>Temporary sign</i>	4 square feet; larger signs subject to review by Design Review Board and approval based on consistency with Section 1516.0139(a)	4	May be permitted in public right-of-way with appropriate City permits
<i>Miscellaneous sign</i>	24 square feet	1 per facade	Prohibited in public right-of-way

**Footnote for Table 1516-01H**

<sup>1</sup> Number allowed per building unless otherwise noted.

<sup>2</sup> Limited to buildings that house more than one business.

**(h) Sign Shape**

Signs shall take one of the following basic shapes. Examples of the sign shapes can be found in Appendix E.

**(1) Rectangular**

- (A) Horizontal rectangular shapes that have a minimum length to width ratio of 4:1 and as the sign increases in length, the

height remains the same, as in 6:1, 8:1, 10:1, and 12:1;

ornate left and right edge designs may be incorporated;

- (B) Horizontal rectangular shapes with an integrated upper cap or arch that have a minimum length to width ratio of 4:1 and as the sign increases in length, the height remains the same, as in 6:1, 8:1, 10:1, and 12:1;
  - (C) Horizontal rectangular shapes that follow a length to height ratio of 2:1 and as the sign increases in length, the height changes proportionally, as in 2:1, 4:2;
  - (D) Vertical rectangular shapes that follow a minimum height to width ratio of 2:1 where, as the sign increases in height, the width remains the same, as in 3:1, 4:1, and 5:1; ornate designs may be incorporated on top or bottom edge, or both;
- (2) Tombstone shapes which are vertical and generally rectangular with an arched top;
  - (3) Square shapes, limited to hanging projecting signs;
  - (4) Arched or curved shapes, with or without integrated upper cap;
  - (5) Shield shapes, limited to signs smaller than 6 square feet;
  - (6) Oval shapes, limited to signs smaller than 6 square feet; or
  - (7) Representative shapes, such as two-dimensional cutouts in the shape or symbol of a good or service offered on the premises, or an arrow for a *directional sign* or *wayfinding sign*.

(i) Sign Formats, Materials, and Supporting Structures

The body of a sign and its supporting structure shall comply with the following format and material restrictions.

(1) Sign bodies shall be limited to the following formats and materials:

- (A) re-sawn timber or rough-sawn timber planks or panel, or a material with the appearance of timber planks or panel, with painted background and lettering and molding frame, if any, composed of smooth wood or material with wood appearance mitered with a 45 degree or 90 degree angle;
- (B) signs directly painted on building facades or windows;
- (C) flat vinyl, acrylic, or painted metal panel that simulates the appearance of a timber panel, limited to *wayfinding signs*, community entry signs, and neighborhood identification signs;
- (D) wrought iron, or material with the appearance of wrought iron, limited to community entry signs; or
- (E) cardboard, paper, canvas, sailcloth, or material of similar appearance, limited to *temporary signs*.

(2) Mounting formats and supporting structure materials for signs shall be limited to the following:

- (A) attached to a building or canopy structure directly or with use of metal straps in a manner that prevents the movement of the sign by wind or passerby;

- (B) suspension from a wrought-iron support, limited to hanging projecting signs, *directional signs*, and *wayfinding signs*;
  - (C) suspension from or mounting on a wood sign post, limited to freestanding *identification signs* and *directional signs*;
  - (D) mounting on a wood frame, limited to *sidewalk directional signs*;
  - (E) mounting on a frame made of painted cast-iron, painted cast-metal, or other painted metal that simulates the appearance of cast-metal fixtures common pre-1872, limited to *sidewalk directional signs*;
  - (F) mounting on a sign post made of painted cast-iron, painted cast-metal, or other painted metal that simulates the appearance of cast-metal fixtures common pre-1872, limited to *wayfinding signs* and neighborhood identification signs; or
  - (G) mounting on a column with plaster, wood, or masonry, limited to *wayfinding signs* and community entry signs.
- (3) All metal wire cables, supports, straps, braces, and bolts used in mounting or attaching signs shall be galvanized steel. Metal straps and braces shall be at least 1/8" thick.
- (j) Unpermitted Sign Formats, Materials, and Supporting Structures
- The following formats and materials for the body of a sign and its supporting structure are not permitted:

- (1) contemporary finish materials, including those made of exposed unpainted plastics, exposed unpainted aluminum, porcelain enamel, stainless steel, PVC piping, or sheet metal; and
  - (2) reflecting or retroreflecting surfaces except for automobile-oriented *wayfinding signs*.
- (k) Colors for Sign Backgrounds, Lettering, and Details
- Sign colors shall be consistent with those used pre-1872 as shown in Tables 1516-01I and 1516-01J.
- (1) Background, lettering, and detail colors shall be limited to those listed in Table 1516-01I.
  - (2) Background and lettering color combinations shall be limited to those listed in Table 1516-01J. Tints and shades of those color combinations are also permitted. A tint is created by adding white to a color. For example, red plus white makes pink, carnation, or salmon, depending on how much white is added. A shade is created by adding black to a color. For example, red plus black makes dark red.
  - (3) Colored lettering shall be separated from colored backgrounds by means of gold, black, or white outline at the perimeter of the letters. Signs using white or black backgrounds do not require letter outlines.
  - (4) Fluorescent paint, reflective paint, or luminous paint are prohibited.

- (l) Sign Lettering Typefaces and Design, Symbols, and Graphical Designs
  - (1) Lettering and symbols shall cover the majority of a sign's surface area.
  - (2) With the exception of hanging projecting signs, lettering shall constitute the primary content of the sign based on a sign's surface area.
  - (3) Typefaces shall be from the Roman, sans serif, and block letter families. Examples of the typeface families are shown in Appendix E.
  - (4) Each line of text shall use a different typeface. Differentiation in typeface can be achieved by:
    - (i) adding serifs to plain block styles, varying letter weight, italicizing, using three-dimensional effects, and by using lower case type styles;
    - (ii) varied scale of words between lines;
    - (iii) change in words direction and alignment such as rotation, arching, curving, or "S" curving;
    - (iv) utilization of letter blocking and letter shadow. Letter blocking is a method of depicting flat letters on a painted sign that creates the appearance of depth. Letter shadow is a component of letter blocking and is the use of painted shadows that simulate the shadows that would be cast by three dimensional letters. Letter blocking shall be limited to



a single line of text and shall be developed in only one direction of the line of type.

- (5) Graphical designs may be used as embellishment to complement lettering and fill empty space around lettering. Symbols and graphical designs shall constitute secondary content, except for hanging projecting signs. The area covered by symbols and graphical designs shall not exceed 30 percent of a sign's surface area and 2 1/4 square feet.
  - (i) Symbols shall be limited to common symbols used on signs pre-1872. Refer to Table 1516-01K. Additional symbols may be permitted with a recommendation from the Design Review Board.
  - (ii) Business or corporate logos are permitted, provided that they represent a business establishment that occupies the premises where the sign is located and, with the exception of registered trademarks, they are redesigned with the permitted colors specified in Table 1516-01I.
  - (iii) Use of two-dimensional cutouts of wood or a material with the appearance of wood as features on signs is permitted but shall be limited to common symbols used on signs pre-1872. Refer to Table 1516-01K. Additional symbols may be permitted with a recommendation from the Design Review Board.

- (iv) Pin striping or curvilinear accent lines may be used to fill empty space on a sign.
- (m) Sign Illumination
- (1) Sign lighting shall be indirect, using a light source separate from the sign.
  - (2) The primary source of sign lighting shall be a period-appropriate lighting fixture.
    - (i) Period-appropriate lighting fixtures are French Quarter lanterns (building-mounted or post-mounted, and gas-lit or electric bulb-lit), millhouse lamps, and gooseneck lamps. Illustrations of French Quarter lanterns, millhouse lamps, and gooseneck lamps can be found in Appendices B and E.
    - (ii) Modern lighting components, except for bulbs, shall not be visible.
  - (3) Supplemental sources of sign lighting shall be hidden from view, such as by placing the lighting source underneath the eaves of a building.
- (n) Unpermitted Sign Illumination
- (1) Use of internal illumination of any type, including light emitting diodes (LED), fluorescent tubing, and neon, is prohibited, except such use may be permitted for community entry signs with a recommendation from the Design Review Board.

- (2) Use of fluctuating external illumination, including light that flashes, blinks, or changes hue, color, or intensity, is prohibited.

**§ 1516.0140 Specific Sign Design Requirements by Sign Type**

Additional design and material requirements apply to the following sign types.

(a) *Identification signs*

- (1) *Identification signs* shall not identify goods or services not available on the premises upon which the sign is placed.
- (2) *Identification signs* printed on awnings are permitted if the text and symbols are consistent with a pre-1872 historical character. Refer to Table 1516-01K for permitted non-text symbols.

(b) *Business operations signs*

Brand names, logos, and symbols, with the exception of registered trademarks, on *business operations signs* shall be redesigned with the permitted colors specified in Table 1516-01I.

(c) *Directional signs*

- (1) *Directional signs* shall not contain advertising content, including brand names, logos, and symbols, unless commonly used prior to 1872. Refer to Table 1516-01K for permitted non-text symbols. However, when incorporated into *directional signs*, building identification nameplates, building occupant nameplates, and address numbers may include pictorial and decorative designs.
- (2) *Directional signs* shall be in the representative shape of an arrow or incorporate a hand symbol.

- (3) Plastic *sidewalk directional signs* are prohibited.
- (d) *Wayfinding signs*
  - (1) *Wayfinding signs* shall not contain advertising content, including brand names, logos, and symbols, unless commonly used prior to 1872. Refer to Table 1516-01K for permitted non-text symbols.
  - (2) *Wayfinding signs* shall be in the representative shape of an arrow or incorporate a hand symbol.
- (e) *Temporary signs*

*Temporary signs* shall be posted no earlier than three weeks prior to the advertised event, and shall be removed no later than one week after the event.
- (f) *Miscellaneous signs*

Inflatable displays are prohibited.

**Table 1516-01I****Permitted Sign Colors for Backgrounds, Lettering, and Details**

<b>Color<sup>(1)</sup></b>	<b>Associated Pantone Color</b>	<b>CMYK Code (Approximate)</b>
Bronze Green	5815	0 / 0 / 91 / 79
Burnt Sienna	1675	0 / 67 / 100 / 28 or 0 / 91 / 100 / 23
Burnt Umber	469	0 / 52 / 100 / 62
Carmine Red	188	0 / 97 / 100 / 50
Carnation	486	0 / 47 / 41 / 0
Chrome Yellow	116	0 / 16 / 100 / 0
Crimson Lake Red	186	0 / 100 / 81 / 4
Emerald Green	347	100 / 0 / 86 / 3
French Ultramarine	72	100 / 88 / 0 / 5
Gold (Gold Leaf or Gilt)	871	10 / 20 / 100 / 25
Gray <sup>(2)</sup>	Tints of Black 3 or Black 6	Tints of 60 / 0 / 60 / 91 or 100 / 35 / 0 / 100
Indian Red	1817	0 / 90 / 100 / 66
Ivory Black	Black 3	60 / 0 / 60 / 91
Lead (Flake) White	P 1-1	0 / 0 / 2 / 0
Light Red	1795	0 / 94 / 100 / 0
Prussian Blue	288	100 / 67 / 0 / 23
Purple (Violet)	2685	96 / 100 / 0 / 0
Purple-Brown (Caput Mortuum)	5185	80 / 100 / 85 / 25
Raw Sienna	145	0 / 47 / 100 / 8
Rose Madder Red	193	0 / 100 / 66 / 13
Scarlet Lake Red	185	0 / 91 / 76 / 0
Stone (Gray-Yellow)	452	24 / 18 / 42 / 0
Vandyke Brown	1405	0 / 36 / 100 / 63
Vegetable Black	Black 6	100 / 35 / 0 / 100
Venetian Red	174	0 / 70 / 100 / 36
Vermillion Red	179	0 / 79 / 100 / 0
Yellow Ochre	131	0 / 32 / 100 / 9
Zinc White	179-1	0 / 0 / 0 / 0 or 0 / 0 / 0 / 2

**Footnotes for Table 1516-01I**

<sup>1</sup> Tints and shades of the listed colors are also permitted.

<sup>2</sup> Permitted for letter shadow only.

**Table 1516-01J****Permitted Sign Background and Lettering Color Combinations**

<b>Background Color</b>	<b>Letter Color</b>
Black <sup>(1)</sup>	<ul style="list-style-type: none"> <li>• White (most common)</li> <li>• Gold</li> <li>• Emerald green with white outline</li> <li>• Carnation</li> <li>• Purple with white outline</li> </ul>
Black gold marble (painted surface simulating marble stone)	<ul style="list-style-type: none"> <li>• White</li> </ul>
Blue (any permitted, untinted)	<ul style="list-style-type: none"> <li>• White. A black letter shadow can add strength to the lettering</li> </ul>
Bronze Green	<ul style="list-style-type: none"> <li>• Gold with a vermillion or emerald green letter blocking</li> </ul>
Green marble (painted surface simulating marble stone)	<ul style="list-style-type: none"> <li>• Carnation lettering with gilt outline, with gilt or yellow letter blocking and black letter shadow</li> </ul>
Indian Red	<ul style="list-style-type: none"> <li>• Any permitted color that is complementary and contrasts with the background color. Letter blocking and shadow recommended.</li> </ul>
Light tints of permitted colors	<ul style="list-style-type: none"> <li>• Blue with gilt letter blocking and gilt outline</li> </ul>
Light-colored wood (painted surface simulating wood)	<ul style="list-style-type: none"> <li>• Any permitted color that is legible against both the light and dark colors used in the painted wood graining.</li> </ul>
Non-green or black gold marble (painted surface simulating marble stone)	<ul style="list-style-type: none"> <li>• Emerald green letters with carnation letter blocking</li> <li>• Vermillion lettering and purple-brown undersides on letter blocking; gold outline</li> </ul>
Purple (Violet)	<ul style="list-style-type: none"> <li>• Any permitted color that is complementary and contrasts with the background color. Letter blocking and shadow recommended.</li> </ul>
Red (any permitted)	<ul style="list-style-type: none"> <li>• Gold leaf letters with black letter blocking with carmine letter shadow</li> </ul>
Rosewood (painted surface simulating wood)	<ul style="list-style-type: none"> <li>• Gold, with yellow ochre and white letter blocking and letter shadow</li> </ul>
Stone	<ul style="list-style-type: none"> <li>• Any permitted color except yellow</li> <li>• With black lettering, the letter blocking should be white on the illuminated side and stone color (shade darker than the background) on the bottom. The letter shadow should be created using burnt umber (for background areas shaded from imaginary light source), yellow ochre (for background areas with some illumination from imaginary light source), and white (for background areas directly lit by imaginary light source).</li> </ul>

Vandyke Brown	<ul style="list-style-type: none"> <li>Any permitted color that is complementary and contrasts with the background color. Letter blocking and shadow recommended.</li> </ul>
White	<ul style="list-style-type: none"> <li>Black (most common)</li> <li>Any permitted color except yellow. Letter blocking may be red, green, or blue.</li> <li>Gold. Letter blocking may be any permitted color except yellow (blue, red, and green most common).</li> <li>Red</li> </ul>

**Footnote for Table 1516-01J**

<sup>1</sup> Letter blocking and shadow not permitted on black backgrounds.

**Table 1516-01K****Permitted Non-Text Symbols for Use on Signs<sup>(1)</sup>**

<b>Business Type</b>	<b>Symbol</b>
Auction House	Elephant
Barbershop	Barber Pole
Book and Stationery Store	Book
Boot/Shoe Dealer	Mens Boot
Broom Maker/Dealer	Broom and Brushes
Carpet Dealer	Rugs
China Dealer	Pitcher
Cigar Dealer	Wooden Indian
Cooper	Barrel
Dry Goods	Blankets
Fire Department	Fire Fighting Equipment
Fresh Produce	Fruit and Vegetables
Furniture	Furniture
Gunsmith	Rifle
Haberdasher	Top Hat
Hardware Dealer	Agriculture Implements/Hardware
Hospitality Related Businesses	Deer or Elk Horns
Leather Goods	Glove
Meat Store	Steer
Newspaper/Post Office	Writing Desk
Optician/Optomtrist	Eye Glasses
Perfume/Lamp Oil	Whale or Pig
Pharmacist	Mortar with Pestle
Photographer	Camera
Saloon	Pitcher or Elephant
Sewing Machines	Sewing Machine
Stable	Horse

Stage Office	Stage Coach
Star Themed Businesses	Five-Pointed Star
Stone Cutter	Stone Monuments
Tack and Harness Shop	Saddle
Tailor	Mens Coat or Shirt
Tinsmith	Tinware
Watchmaker/Jeweler	Pocket Watch

**Footnote for Table 1516-01K**

- <sup>1</sup> Per Section 1516.0139(1)(5), additional symbols may be permitted with a recommendation from the Design Review Board.



Article 16: Old Town San Diego Planned District

APPENDIX A: *Architectural Features*

SPANISH PERIOD (1769-1821)

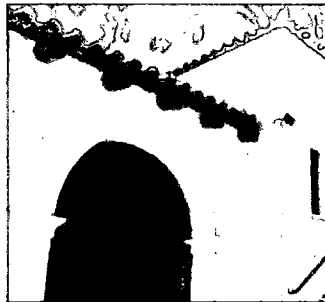
Massing and Building Forms



- Simple rectangular forms
- One story in height, sometimes with taller towers

- Pitched roofs with a low gable
- Varied roofline heights

Roofs

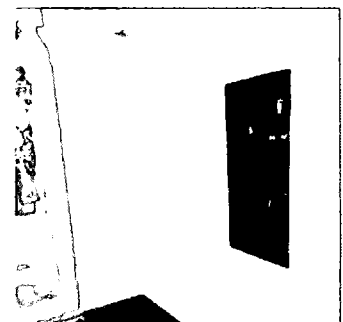
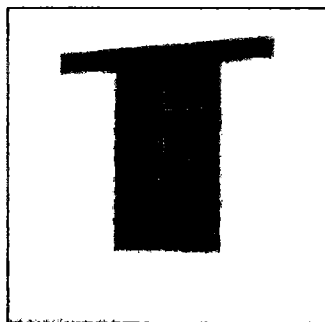
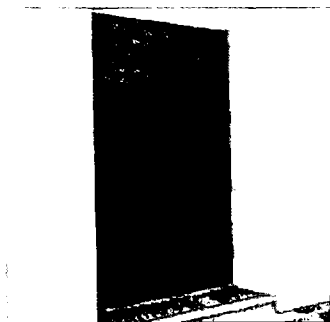


- Exposed rafter, purlins, and rafter tails

- “Altito” effect, when roofs of different levels adjoin

- Built with wood beams and rafters, clad in round clay tiles

Doors and Windows

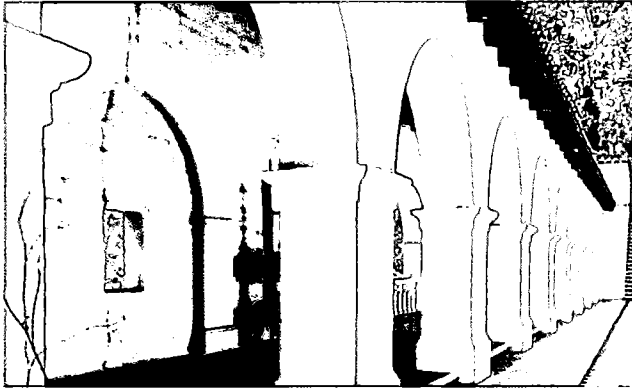


- Carved wood panel doors

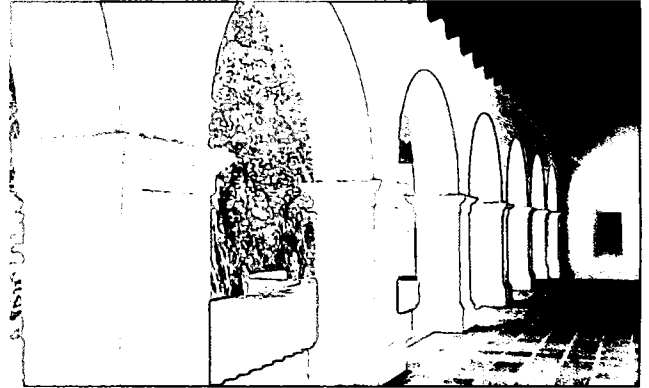
- Exposed wood lintels

- Openings substantial in depth

### Arcades

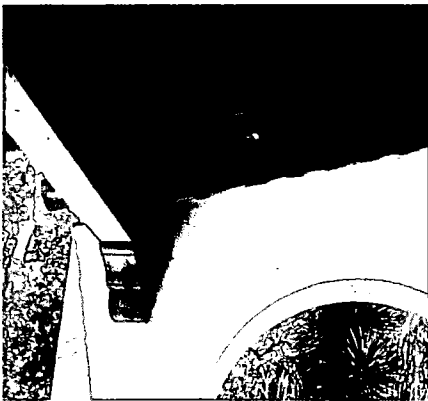


- Elaborate arch treatment, support is provided by rectangular columns of sturdy proportion



- The columns' uppermost molding serves as impost mold from which the arches spring

### Porticos



- Plastered adobe columns and wood beams and rafters

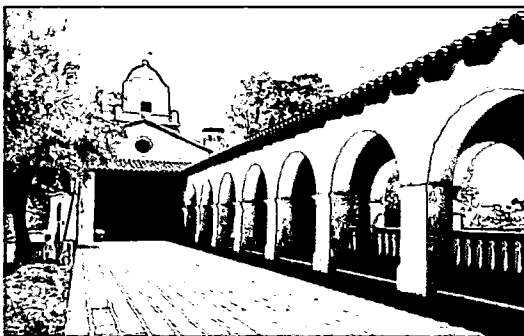


- Porticos formed by extension of roof plane over patio

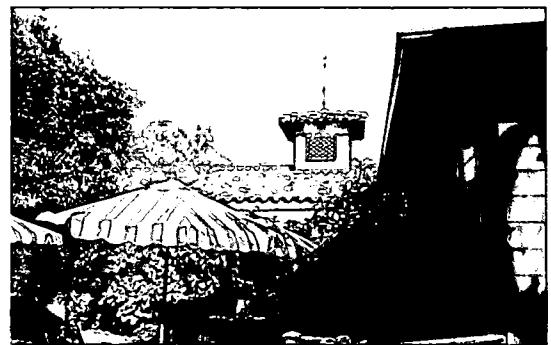


- Hand-hewn wood support posts, beams and rafters

### Towers



- Towers used to anchor a corner building



- Towers used to provide a central element

## MEXICAN PERIOD (1821-1846)

### Massing and Building Forms



- Second story may be less than full width of first story
- Can enclose a private or semi-private courtyards

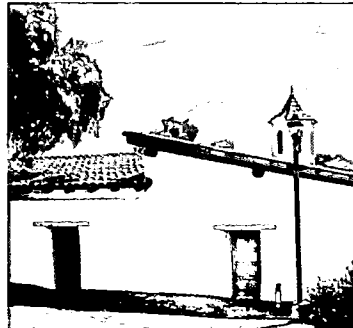


- Simple rectangular forms

### Roofs



- Extended eaves, sometimes forming porticos



- "Altito" effect, when roofs of different levels adjoin



- Exposed rafters, purlins and rafter tails, clad with clay tiles

### Doors and Windows



- Opening substantial in depth



- Molded wood frames



- Exposed wood lintels; wood bars

### Porticos



- Porticos formed by a separate roof plane adjoined to wall creating "altito" effect



- Simple, heavy structure with wood support posts, beams and rafters, clad with clay tiles

### Balconies



- Wood railings of plain design



- Standalone balconies



- Balconies combined with porticos

### Exterior Stairs



- Built with adobe-type materials



- Used as accent elements



- Integrated stepped handrails

## EARLY AMERICAN PERIOD (1846-1872)

### Massing and Building Forms



- Simple rectangular forms
- Buildings of one and two stories in height



- Symmetrical composition
- Wooden lap siding

### Roofs



- Flat false front in commercial buildings



- Concealed gable roof



- Extended eaves; cornice moldings supported on brackets

### Doors



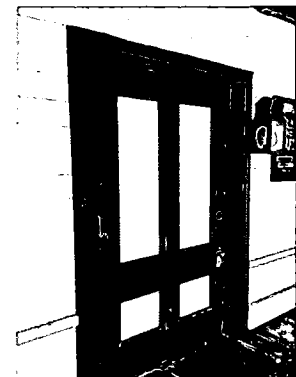
- Wood-paneled doors



- Molded frames around door and windows



- Molded frames around door



- Molded frames around door

### Porticos and Porches



- Projecting porches with sawn wood posts



- Projecting porches with wood post and flooring



- Projecting porches with wood post and flooring

### Balconies



- Balconies with sawn wood railings



- Balconies with turned wood balusters with porticos



- Balconies with turned wood balusters without porticos

### Windows



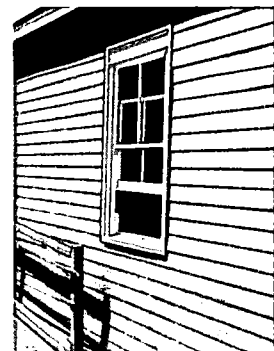
- Single-hung sash windows with divided lights



- Double-hung sash windows with divided lights



- With shutters



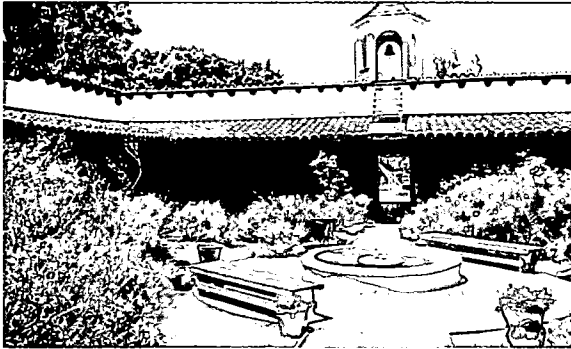
- Without shutters

**Article 16: Old Town San Diego Planned District**

**APPENDIX B: *Site Design* Features**

The incorporation of plazas, courtyards, patios, or paseos, as well as clearly defined walkways into a site's design can help shape vibrant pedestrian-oriented places.

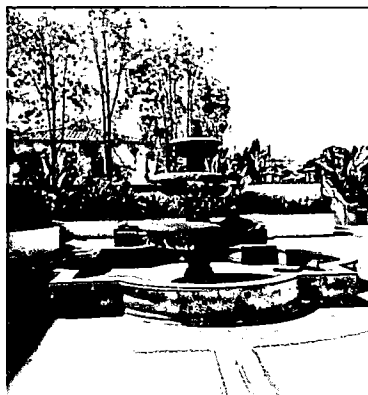
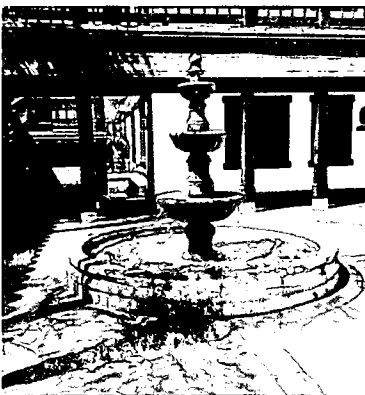
**Plazas, Courtyards, and Paseos**



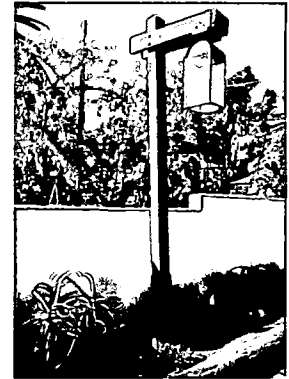
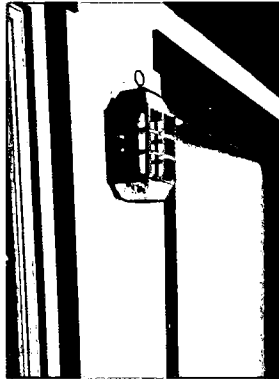
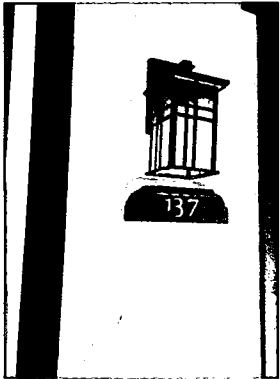
**Walkways**



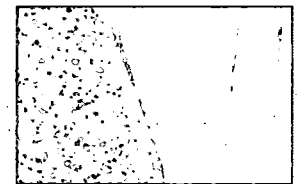
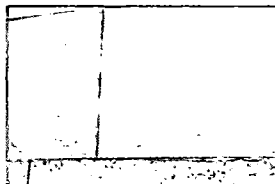
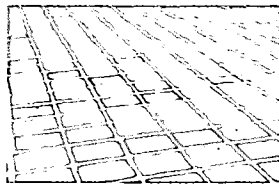
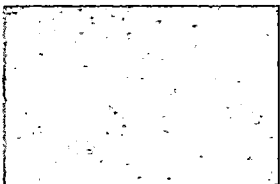
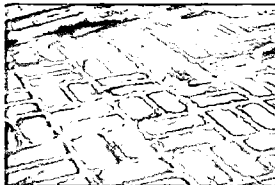
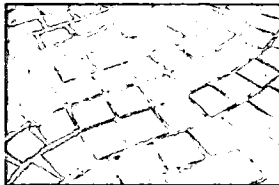
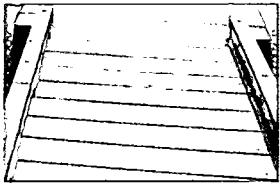
**Fountains and Sculptures**



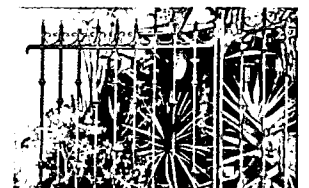
**Building and Site Lighting**



**Paving**



**Fences and Walls**



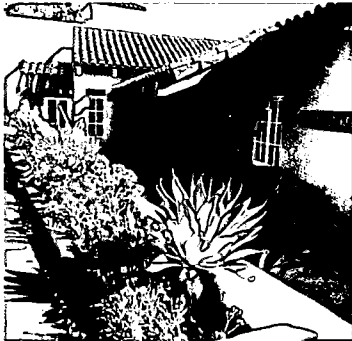


## Article 16: Old Town San Diego Planned District

### APPENDIX C: Streetscape Features

Streetscape enhancements include wider sidewalks, street trees and parkway landscaping, and street furniture.

#### Parkway Landscaping



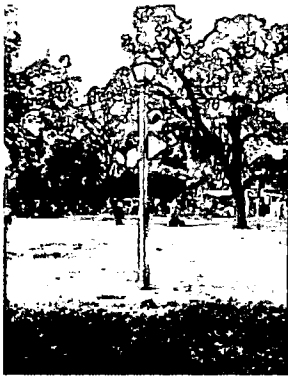
- Parkway landscaping should incorporate drought-tolerant plant species from the Planting Palette.

#### Sidewalks



- Sombrero Buff-colored concrete sidewalks
- Non-contiguous sidewalks with parkway landscaping

#### Street Lighting



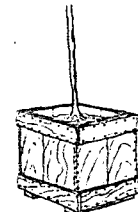
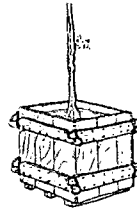
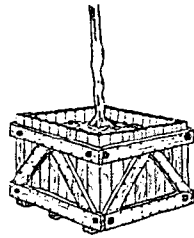
- Historic style single lantern lighting; Consider replacing concrete post with wooden post design

#### Trash Cans



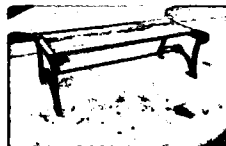
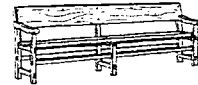
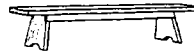
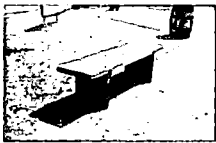
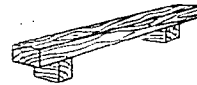
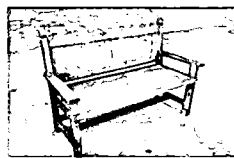
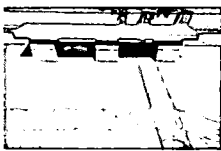
- Trash receptacles that resemble wood barrels

### Planters and Pots



- Planters and pots made of cast stone, clay, wood or masonry are appropriate. Tree planter boxes designed for the Old Town State Historic Park by State of California, Department of Parks and Recreation are shown above.

### Benches



- Benches made of wood, adobe-style blocks, wrought iron, or a combination. Bench designs prepared for Old Town San Diego State Historic Park by State of California, Department of Parks and Recreation shown above.

**Article 16: Old Town San Diego Planned District**

**APPENDIX D: Planting Palette**

**Table 1: Planting Palette A – Herbaceous Plant Species**

Botanical Name	Common Name	Botanical Name	Common Name
<i>Frankenia capitata laevis</i>	Sea Heath	<i>Papaver rupifragum</i>	Spanish Poppy
<i>Gaillardia aristata</i>	Blanket Flower	<i>Passiflora caerulea</i>	Blue Crown Passion Flower
<i>Gazania</i> (any species)	African Daisy	<i>Pastinaca sativa</i>	Parsnip
<i>Grindelia</i> species	Gum Plant	<i>Pelargonium</i> (any species)	Geranium
<i>Gynura aurantiaca</i>	Purple Passion Plant	<i>Pellaea</i> (any species)	Cliffbrake
<i>Helleborus lividus</i>	Majorcan Hellebore	<i>Petasites fragrans</i>	Winter Heliotrope
<i>Heuchera sanguinea</i>	Coral Bells	<i>Petroselinum hortense</i>	Parsley
<i>Hosackia gracilis</i>	Coast Lotus	<i>Phyllostachys</i> (any species)	Bamboo
<i>Hyacinthoides hispanica</i>	Spanish Bluebell	<i>Pirapinella anisum</i>	Anise
<i>Indigofera</i> (any species)	Indigo	<i>Pisum sativum</i>	Pea
<i>Ipomoea batatas</i>	Sweet Potato	<i>Polianthes tuberosa</i>	Tuberose
<i>Iris</i> (any species)	Iris	<i>Portulaca grandiflora</i>	Moss Rose
<i>Jasminum grandiflorum</i>	Spanish Jasmine	<i>Raphanus sativus</i>	Radish
<i>Kalanchoe flammea</i>	Kalanchoe	<i>Rhamnus californica</i>	Coffeeberry
<i>Kniphofia uvaria</i>	Red-Hot Poker	<i>Rhamnus</i> species	Buckthorns
<i>Lantana</i> (any species)	Lantana	<i>Rheum Rhaponticum</i>	Rhubarb
<i>Lathyrus splendens</i>	Campo Pea	<i>Rosmarinus officinalis</i>	Rosemary
<i>Lactuca sativa</i>	Lettuce	<i>Salvia</i> (any species)	Sage, Chia, etc.
<i>Lavandula</i> (any species)	Lavender	<i>Satureja douglassii</i>	Yerba Buena
<i>Lavatera trimestris</i>	Rose Mallow	<i>Scabiosa atropurpurea</i>	Pincushion Flower
<i>Lilium candidum</i>	Madonna Lily	<i>Sisyrinchium bellum</i>	Blue-eyed grass
<i>Limonium</i> (any species)	Sea Lavender, etc.	<i>Sisyrinchium bermudianum</i>	Blue-eyed grass
<i>Liriope</i> (any species)	Liriope	<i>Solidago</i> species	Goldenrod
<i>Lupinus</i> (any species)	Lupine	<i>Sparaxis elegans</i>	Harlequin Flower
<i>Lycopersicon esculentum</i>	Tomato	<i>Spinacia oleracea</i>	Spinach

Botanical Name	Common Name	Botanical Name	Common Name
<i>Malvastrum coccineum</i>	False Mallow	<i>Solanum tuberosum</i>	Potato
<i>Marah fabaceus</i>	Wild Cucumber	<i>Tagetes erecta</i>	Mexican Marigold
<i>Matthiola incana</i>	Stock	<i>Thymus (any species)</i>	Thyme
<i>Melissa officinalis</i>	Lemon Balm	<i>Tithonia rotundifolia</i>	Mexican Sunflower
<i>Mentha arvensis</i>	Common Mint	<i>Tropaeolum majus</i>	Nasturtium
<i>Mentha piperita</i>	Peppermint	<i>Tulipa clusiana</i>	Lady Tulip
<i>Mentha pulegium</i>	Pennyroyal	<i>Vicia faba</i>	Broad Bean
<i>Milla biflora</i>	Mexican Star	<i>Vinca (any species)</i>	Vinca
<i>Mirabilis jalapa</i>	Four O'Clock Flower	<i>Viola cornuta (any species)</i>	Violet
<i>Morisia monantha</i>	Morisia	<i>Vitis girdiana</i>	Southern California Grape
<i>Narcissus (any species)</i>	Daffodil	<i>Vitis vinifera</i>	Grape
<i>Nepeta mussinii</i>	Catmint	<i>Woodwardia (any species)</i>	Chain Fern
<i>Ocimum basilicum</i>	Basil	<i>Zantedeschia aethiopica</i>	Calla Lily
<i>Origanum vulgare</i>	Marjoram	<i>Zea maize</i>	Corn
<i>Oxypetalum coeruleum</i>	Blue Flowered Milkweed	<i>Zingiber officinale</i>	Ginger
<i>Pancratium (any species)</i>	Sea Daffodil	<i>Zinnia elegans</i>	Zinnia
<i>Papaver rhoeas</i>	Flanders Poppy		

**Table 2: Planting Palette B – Landscape Tree and Shrub Species**

Botanical Name	Common Name	Botanical Name	Common Name
Any tree or shrub species native to San Diego County	Varies	<i>Diospyros kaki</i> ^+	Japanese Persimmon
		<i>Erica melanthera</i> +	Heather
<i>Abies concolor</i> *	Balsam Fir	<i>Eriogonum giganteum</i> *+	St. Catherine's Lace
<i>Acacia farnesiana</i> +	Sweet Acacia	<i>Erythrina crista-gailli</i> +	Cockspur Coral Tree
<i>Acacia subporosa</i> +	River Wattle	<i>Ficus carica</i> ^+	Mission Fig
<i>Acalypha californica</i> *+	California Copperleaf	<i>Fortunella japonica</i> ^+	Round Kumquat
<i>Acer negundo</i> *	Box Elder	<i>Fouquieria splendens</i> *+	Ocotillo
<i>Adenostoma fasciculatum</i> *+	Chamise	<i>Fraxinus velutina coriacea</i> *+	Montebello Ash

Botanical Name	Common Name	Botanical Name	Common Name
<i>Adenostoma sparsifolium</i> *+	Ribbon Wood, Red Shanks	<i>Fremontia mexicana</i> *+	Southern Flannel Bush
<i>Aesculus californica</i> *+	California Buckeye	<i>Fuchsia triphylla</i>	Honeysuckle Fuchsia
<i>Allamanda hendersonii</i>	Golden Trumpet	<i>Grevillea robusta</i> +	Silk Oak
<i>Alnus rhombifolia</i> *	White Alder	<i>Hesperocyparis macrocarpa</i> *+	Monterrey Cypress
<i>Anisacanthus wrightii</i> +	Red Texas Firecracker	<i>Heteromeles arbutifolia</i> *+	Toyon
<i>Antigonon leptopus</i> +	Coral Vine	<i>Holmskioldia sanguinea</i>	Chinese Hat Plant
<i>Arbutus unedo</i> ^+	Strawberry Tree	<i>Hydrangea macrophylla</i>	Hydrangea
<i>Arctostaphylos</i> (any species) *+	Manzanitas	<i>Hylocereus triangularis</i> +	Night Blooming Cactus
<i>Bauhinia galpinii</i>	Red Orchid Bush	<i>Ilex perado</i>	Canary Island Holly
<i>Beaucarnea recurvata</i> +	Elephant's Foot	<i>Juglans californica</i> *+	California Walnut
<i>Bougainvillea</i> (any species) +	Bougainvillea	<i>Juglans regia</i>	English Walnut
<i>Boussingaultia basseloides</i>	Madeira Vine	<i>Juniperus excelsa</i> +	Greek Juniper
<i>Brachychiton acerifolius</i> +	Flame Tree	<i>Juniperus californica</i> *+^	California Juniper
<i>Brugmansia suaveolens</i>	Angels' Tears	<i>Kennedyia rubicunda</i> +	Dusky Coral Pea
<i>Bursera microphylla</i> *+	Littleleaf Elephant Tree	<i>Laurus nobilis</i> +	Bay Laurel Tree
<i>Buxus microphylla</i> +	Littleleaf Box	<i>Lavatera olbia</i> +	Tree Lavatera
*California native +Drought Tolerant ^Produces Fruit			
<i>Calocephalus brownii</i> +	Cushion Bush	<i>Leonotis leonurus</i> +	Lion's Tail
<i>Calocedrus decurrens</i> *+	Incense Cedar	<i>Lippia citriodora</i> +	Lemon Verbena
<i>Ceanothus</i> (any species) *+	Mountain Lilac	<i>Littonia modesta</i> +	Climbing Lily
<i>Celtis reticulata</i> *+^	Western Hackberry	<i>Mahonia nevinii</i> *+^	Nevin's Barberry
<i>Cercidium floridum</i> *+	Palo Verde	<i>Malus sylvestris</i> ^	Apple
<i>Cercis occidentalis</i> *+	Western Redbud	<i>Malva assurgentiflora</i> *+	Island Mallow
<i>Chilopsis linearis</i> *+	Desert Willow	<i>Manettia bicolor</i>	Firecracker Vine
<i>Chorizema cordatum</i>	Australian Flame Pea	<i>Melia azedarac</i> +	Chinaberry Tree
<i>Citrus</i> (any species) ^	Citrus	<i>Mimusops elengi</i> +^	Spanish Cherry

Botanical Name	Common Name	Botanical Name	Common Name
<i>Clematis balearica</i>	Fern-Leaved Clematis	<i>Mirabilis laevis</i> *+	Wishbone Bush
<i>Convolvulus cneorum</i> +	Bush Morning Glory	<i>Mitriostigma axillare</i>	African Gardenia
<i>Cuphea</i> (any species)	Cuphea	<i>Momordica charantia</i> ^+	Bitter Melon
<i>Cupressus sempervirens</i> +	Italian Cypress	<i>Musa sapientum</i> ^	Plantain
<i>Cupressus forbesii</i> *+	Tecate Cypress	<i>Myrsine africana</i> +	African Boxwood
<i>Cydonia oblonga</i> ^	Quince	<i>Nerium oleander</i> +	Oleander
<i>Cytisus canariensis</i> +	Canary Island Broom	<i>Nicotiana glauca</i>	Flowering Tobacco
<i>Danae racemosa</i> +	Alexandrian Laurel	<i>Olea europaea</i> +^	Olive
<i>Delonix regia</i> +	Royal Poinciana	<i>Olneya tesota</i> *+	Desert Ironwood
<i>Opuntia</i> (any species) *+^	Prickly Pear, etc.	<i>Psoralea arguta</i> *	Smokethorn
<i>Parkinsonia aculeata</i> +	Mexican Palo Verde	<i>Punica granatum</i> ^+	Pomegranate
<i>Parkinsonia microphylla</i> *+	Little Leaf Palo Verde	<i>Pyrus communis</i> ^	Pear
<i>Persea americana</i> ^	Avocado	<i>Quamoclit lobata</i> +	Spanish Flag Vine
<i>Philadelphus mexicanus</i>	Mock Orange	<i>Quercus agrifolia</i> *+	Coast Live Oak
<i>Phlomis fruticosa</i> +	Jerusalem Sage	<i>Quercus chrysolepis</i> +	Canyon Live Oak
<i>Phoenix dactylifera</i> ^	Date Palm	<i>Quercus engelmannii</i> *+	Engelmann Oak
<i>Phygadeuon capensis</i>	Cape Fuchsia	<i>Quercus ilex</i> *+	Holly Oak
<i>Phytolacca dioica</i> +^	Ombu	<i>Quercus kelloggii</i> *+	Black Oak
*California native +Drought Tolerant ^Produces Fruit			
<i>Pinus coulteri</i> *+	Coulter Pine	<i>Quercus suber</i> *+	Cork Oak
<i>Pinus jeffreyi</i> *+	Jeffrey Pine	<i>Quercus wislizenii</i> *	Interior Live Oak
<i>Pinus monophylla</i> *+	Single-Leaf Pinyon	<i>Roldana petasitis</i>	Velvet Groundsel
<i>Pinus pinea</i> +	Stone Pine	<i>Romneya coulteri</i> *+	Matilija Poppy
<i>Pinus quadrifolia</i> *+	Parry Pinyon Pine	<i>Rosa</i> (any species)	Rose
<i>Pinus torreyana</i> *+	Torrey Pine	<i>Salix</i> (any species)	Willow
<i>Platanus racemosa</i> *+	California Sycamore	<i>Sambucus cerulea</i> *+^	Blueberry Elder
<i>Poinciana gilliesii</i> +	Yellow Bird of Paradise	<i>Schinus molle</i> +	Pepper Tree
<i>Populus fremontii</i> +	Fremont Cottonwood	<i>Senecio confusus</i> +	Mexican Flame Vine

Botanical Name	Common Name	Botanical Name	Common Name
<i>Populus trichocarpa</i> *	Black Cottonwood	<i>Solandra grandiflora</i>	Cup of Gold Vine
<i>Prosopis glandulosa</i> *	Honey Mesquite	<i>Solanum rantonnetii</i> +	Blue Potato Bush
<i>Prosopis juliflora</i> *+	Mesquite	<i>Strelitzia nicolai</i> +	White Bird of Paradise
<i>Prosopis pubescens</i> *	Screwbean	<i>Streptosolen jamesonii</i>	Marmalade Bush
<i>Prunus amygdalus</i> ^	Almond	<i>Tecoma stans</i> +	Yellow Bells
<i>Prunus armeniaca</i> ^	Apricot	<i>Teucrium fruticans</i> +	Bush Germander
<i>Prunus avium</i> ^	Cherry	<i>Tipuana tipu</i> +	Tipu Tree
<i>Prunus cerasus</i> ^	Sour Cherry	<i>Umbellularia californica</i> *+	California Bay
<i>Prunus domestica</i> ^	Common Plum	<i>Ungnadia speciosa</i> +	Mexican Buckeye
<i>Prunus capuli</i> *^	Mexican Cherry	<i>Viburnum tinus</i>	Lauristinus
<i>Prunus ilicifolia</i> *+	Hollyleaf Cherry	<i>Virgilia oroboides</i>	Cape Virgilia
<i>Prunus ilicifolia</i> ssp <i>lyonii</i> *+^	Catalina Cherry	<i>Visnea mocanera</i>	Visnea
<i>Prunus persica</i> ^	Peach	<i>Vitex agnus-castus</i> +	Vitex
<i>Prunus virginiana</i> *^	Chokecherry	<i>Washingtonia filifera</i> *+	California Fan Palm
<i>Pseudotsuga macrocarpa</i> *+	Bigcone Spruce	<i>Yucca</i> (any species) *+	Yucca, etc.
*California native +Drought Tolerant ^Produces Fruit			

**Table 3: Corridor-Specific Street Tree Species**

Key	Street Corridor	Segment	Primary Tree	Secondary Tree
A	San Diego Avenue	Twiggs Street to Old Town Avenue		
		2' - 4' Parkway	Weeping Acacia ( <i>Acacia pendula</i> )	Silk Tree ( <i>Albizia julibrissin</i> )
		4' - 6' Parkway	Blue Palo Verde ( <i>Cercidium floridum</i> )	Australian Willow ( <i>Geijera parviflora</i> )
		6' - 10' Parkway	Chinese Flame Tree ( <i>Koelreuteria paniculata</i> )	Fruitless Olive ( <i>Olea europaea</i> )
B	Old Town Avenue	Moore Street to San Diego Avenue		
		2' - 4' Parkway	Silk Tree ( <i>Albizia julibrissin</i> )	Silk Tree ( <i>Albizia julibrissin</i> )

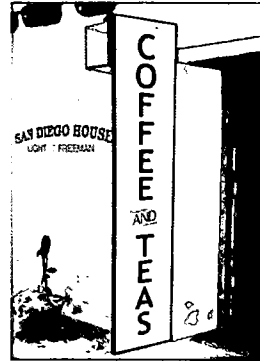
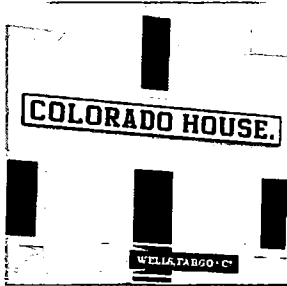
		4' - 6' Parkway	Australian Willow (Geijera parviflora)	Desert Willow (Chilopsis linearis)
		6' - 10' Parkway	Fruitless Olive (Olea europaea)	Fruitless Olive (Olea europaea)
C	Congress Street	Taylor Street to San Diego Avenue		
		2' - 4' Parkway	Strawberry Tree (Arbutus unedo)	Silk Tree (Albizia julibrissin)
		4' - 6' Parkway	Marina Strawberry Tree (Arbutus unedo marina)	Desert Willow (Chilopsis linearis)
		6' - 10' Parkway	Glossy Privet (Ligustrum lucidum)	Fruitless Olive (Olea europaea)
D	Juan Street	Taylor Street to Harney Street		
		2' - 4' Parkway	Silk Tree (Albizia julibrissin)	Western Redbud (Cercis occidentalis)
		4' - 6' Parkway	Australian Willow (Geijera parviflora)	White Orchid Tree (Bauhinia forficata)
		6' - 10' Parkway	Fruitless Olive (Olea europaea)	Australian Bottle Tree (Brachychiton populneus)
E	Pacific Highway	Old Town Transit Center to San Diego River Park		
		2' - 4' Parkway	Catalina Ironwood (Lyonothamus floribundus)	Catalina Ironwood (Lyonothamus floribundus)
		4' - 6' Parkway	Brisbane Box (Lophostemon confertus)	Holly Oak (Quercus ilex)
		6' - 10' Parkway	Southern Magnolia 'Samuel Sommer' (Magnolia grandiflora)	California Sycamore (Platanus racemosa)
		> 10' Parkway	Coast Live Oak (Quercus agrifolia)	
F	Taylor Street	Old Town Transit Center to Presidio Drive		
		2' - 4' Parkway	Catalina Ironwood (Lyonothamus floribundus)	Guadalupe Fan Palm (Brahea edulis)
		4' - 6' Parkway	Raywood Ash (Fraxinus oxycarpa)	California Fan Palm (Washingtonia filifera)
		6' - 10' Parkway	California Sycamore (Platanus racemosa)	Pindo Palm (Butia capitata)



Article 16: Old Town San Diego Planned District

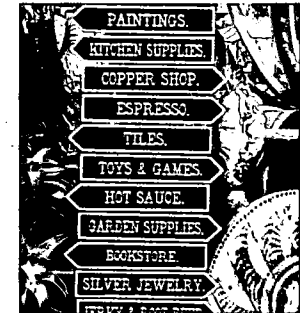
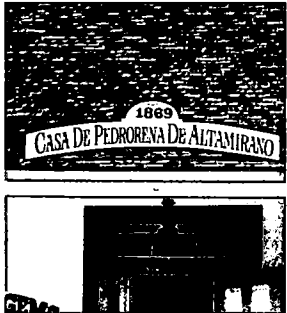
APPENDIX E: Sign Design Features

Sign Shapes – Most Common Shapes



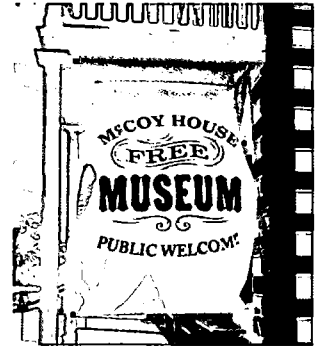
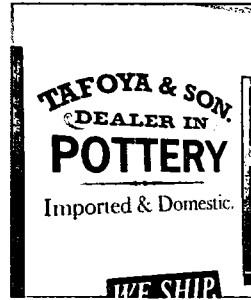
- Horizontal
- Horizontal with ornate left and right edge designs
- Vertical
- Vertical with ornate top edge design

Sign Shapes – Other Common Shapes



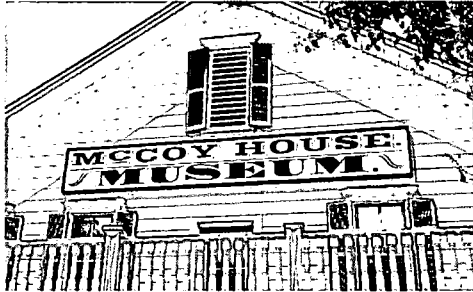
- Curved or arch
- Shield
- Oval
- Representative (Arrow)

### Sign Materials – Sign Body

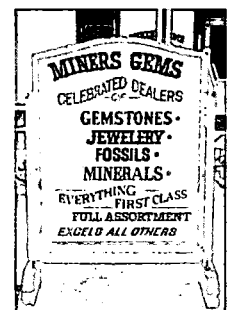


- Painted wood
- Painted wood with wood frame
- Painted directly on facade or window
- Canvas or sailcloth

### Sign Materials – Sign Supports



- Direct attachment to a building or canopy structure
- Attached to building or canopy with metal straps
- Suspension from wrought iron support
- Mounted on wood sign post(s)



- Suspension from wood sign post
- Mounted on masonry column with stucco finish
- Mounted on cast iron or cast metal post
- Sidewalk Directional Signs mounted on cast metal (left) and wooden (right) frames

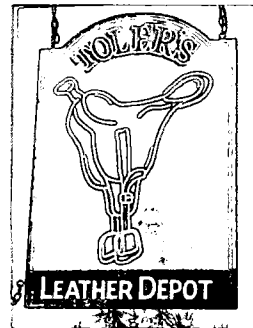
### Sign Background, Letter, and Details Examples



- Sign content, primarily lettering, covers the majority of sign area

- Periods used for emphasis

- Painted letter blocking used along one line of the sign's text to give the appearance of three dimensionality and is oriented in one direction



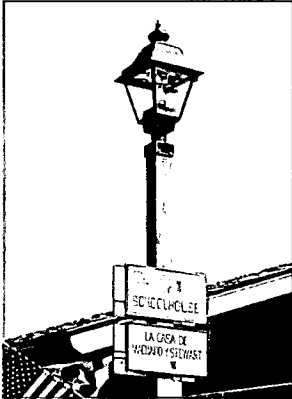
- Painted letter shadow used to simulate shadow that would be cast by text

- Color lettering is separated from colored background by painted line

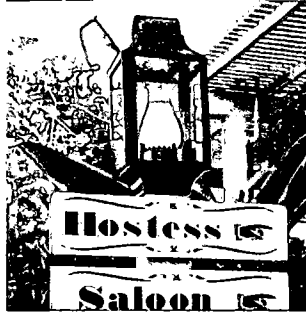
- Common pre-1872 symbol is used to fill space

- Interior pin-striping designs used

### Lighting and Sign Illumination



- French Quarter lantern



- Millhouse lamp









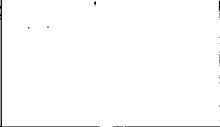




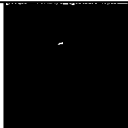


- Gooseneck lamp

**Old Town San Diego Planned District Ordinance  
Appendix F: Permitted Exterior Building Colors**

Tints and shades of colors are also permitted.

**Note:** *Color swatches are provided for informational purposes and may vary from paint color due to printing process or computer screen qualities. Refer to RGB values for absolute color reference.*



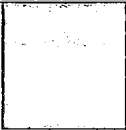

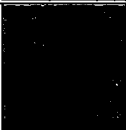




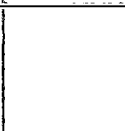


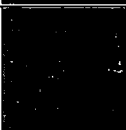
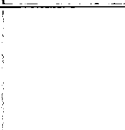




**Spanish and Mexican Architectural Periods – Primary and Accent Colors**



<b>RGB Values</b>	<b>Color Swatch</b>	<b>RGB Values</b>	<b>Color Swatch</b>
<b>White*</b>		<b>Beige and Brown</b>	
243/228/211		224/182/149	
226/216/194		204/148/105	
229/223/205		225/216/184	
246/239/225		204/172/134	
255/255/255		121/87/69 (Accent Only)	
<b>Yellow</b>			
211/159/95		101/80/70 (Accent Only)	
236/216/177		108/86/84 (Accent Only)	

\* Any hue of white may be used.

<b>RGB Values</b>	<b>Color Swatch</b>			<b>RGB Values</b>	<b>Color Swatch</b>		
<b>Green</b>				<b>Red</b>			
198/193/145 (Accent Only)				179/75/71 (Accent Only)			
171/154/110 (Accent Only)				191/78/70 (Accent Only)			
150/167/130 (Accent Only)				147/84/68 (Accent Only)			
144/146/111 (Accent Only)				<b>Orange</b>			
				218/163/111			
153/176/144 (Accent Only)				210/102/67 (Accent Only)			
69/98/82 (Accent Only)				<b>Blue</b>			
86/91/88 (Accent Only)				103/110/122 (Accent Only)			
120/135/136 (Accent Only)							

**Early American Architectural Period – Primary and Accent Colors**

<b>RGB Values</b>	<b>Color Swatch</b>	<b>RGB Values</b>	<b>Color Swatch</b>
<i>Red and Pink</i>		<i>Orange</i>	
165/64/73		243/163/71	
152/110/110		246/185/107	
179/75/71		254/160/81	
145/67/62		238/163/114	
203/142/129		212/140/70	
118/68/62		218/163/111	
147/84/68		245/198/139	
226/196/175		232/166/78	
205/168/148		252/190/106	

<b>RGB Values</b>	<b>Color Swatch</b>	<b>RGB Values</b>	<b>Color Swatch</b>
<i>Yellow</i>		<i>Beige and Brown</i>	
238/201/135		182/115/80	

218/183/127			191/118/76			
211/159/95			154/95/63			
254/220/173			204/148/105			
193/152/81			225/216/184			
238/208/83			182/115/80			
236/216/177			171/154/110			
198/156/93			157/127/76			
233/202/148			204/172/134			
242/208/130			221/202/175			
228/198/131			116/91/73			
244/201/108			173/127/71			

<b>RGB Values</b>	<b>Color Swatch</b>	<b>RGB Values</b>	<b>Color Swatch</b>
<i>Beige and Brown</i>		<i>Beige and Brown</i>	
137/105/86		101/80/70	



183/141/97			177/156/143		
157/113/71			<i>White and Gray</i>		
			White (Any Hue)	N/A	
121/87/69			243/228/211		
141/107/75			235/230/215		
101/80/70			226/216/194		
177/156/143			229/223/205		
108/86/84			246/239/225		
137/105/86			174/173/173		
183/141/97			157/146/138		
157/113/71			146/127/118		
121/87/69			188/171/156		
141/107/75					

<b>RGB Values</b>	<b>Color Swatch</b>			<b>RGB Values</b>	<b>Color Swatch</b>		
<i>Green</i>				<i>Green</i>			
198/193/145				88/147/109			
150/167/130				140/178/149			
144/146/111				101/143/124			
169/164/130				14/105/95			
160/161/96				32/136/122			
149/148/134				70/85/76			
147/151/137				69/98/82			
154/158/136				144/177/174			
94/98/74				86/91/88			
108/112/97				120/135/136			
144/165/138				112/124/120			
153/176/144				94/109/110			

RGB Values	Color Swatch			RGB Values	Color Swatch		
<i>Green</i>				<i>Blue</i>			
162/176/168				157/216/219			
66/84/76				74/94/108			
137/151/142				59/74/108			
99/90/79				167/179/183			
198/183/136				103/110/122			
126/111/79							

Section 2. That Chapter 15, Article 16, Division 2 of the San Diego Municipal Code is amended by renumbering section 1516.0201 to section 1516.0106, and by repealing Division 2 and deleting sections 1516.0202, 1516.0203, and 1516.0204.

Section 3. That Chapter 15, Article 16 of the San Diego Municipal Code is amended by repealing Division 3 and deleting sections 1516.0301, 1516.0302, and 1516.0303.

Section 4. That Chapter 15, Article 16 of the San Diego Municipal Code is amended by repealing Division 4 and deleting sections 1516.0401, 1516.0402, 1516.0403, 1516.0404, and 1516.0405.

Section 5. That a full reading of this Ordinance is dispensed with prior to passage, a written copy having been made available to the Council and the public prior to the day of its passage.

Section 6. That prior to becoming effective, this Ordinance shall be submitted to the San Diego County Regional Airport Authority (SDCRAA) for a consistency determination.

That if the SDCRAA finds this Ordinance consistent with the Airport Land Use Compatibility Plans (ALUCP) for San Diego International Airport, Marine Corps Air Station Miramar, Gillespie Field, Montgomery Field, and Brown Field Airports (collectively, Airports), this Ordinance shall take effect and be in force on the thirtieth day from and after the finding of consistency, or on the thirtieth day from and after its final passage, whichever is later.

That if the SDCRAA determines that this Ordinance is inconsistent or conditionally consistent, subject to proposed modifications, with the ALUCPs for the Airports, the Ordinance shall be submitted to the City Council for reconsideration.

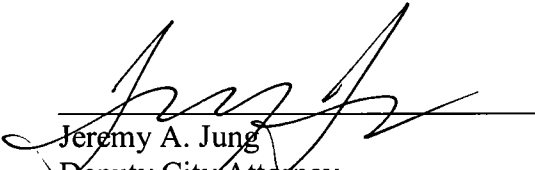
That if the SDCRAA determines that this Ordinance is conditionally consistent with the ALUCPs for the Airports, but that consistency is subject to proposed modifications, the City Council may amend this Ordinance to accept the proposed modifications, and this Ordinance as amended shall take effect and be in force on the thirtieth day from and after its final passage.

That a proposed decision by the City Council to overrule a determination of inconsistency or to reject the proposed modifications for a finding of conditional consistency shall include the findings required pursuant to Public Utilities Code section 21670 and require a two-thirds vote. The proposed decision and findings shall be forwarded to the SDCRAA, the California Department of Transportation, Division of Aeronautics, and the airport operators for the Airports. The City Council shall hold a second hearing not less than 45 days from the date the proposed decision and findings were provided, at which hearing any comments submitted by the public agencies shall be considered and a final decision to overrule a determination of inconsistency shall require a two-thirds vote.

That if the City Council makes a final decision to overrule a determination of inconsistency, this Ordinance shall take effect and be in force on the thirtieth day from and after that final decision.

Section 7. That no permit shall be issued for development that is inconsistent with the provisions of this Ordinance unless a complete application for such permit is submitted to the City prior to the date on which the applicable provisions of this Ordinance become effective.

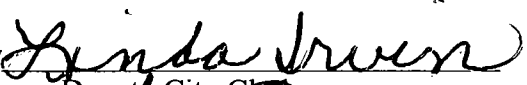
APPROVED: MARA W. ELLIOTT, City Attorney

By   
Jeremy A. Jung  
Deputy City Attorney


JAJ:nja  
10/04/18  
Or. Dept: Planning  
Doc. No.: 1850330

I hereby certify that the foregoing Ordinance was passed by the Council of the City of San Diego, at this meeting of NOV 13 2018.

ELIZABETH S. MALAND  
City Clerk

By   
Deputy City Clerk

Approved: 11/20/18  
(date)

  
KEVIN L. FAULCONER, Mayor

Vetoed: \_\_\_\_\_  
(date)

\_\_\_\_\_  
KEVIN L. FAULCONER, Mayor

**STRIKEOUT ORDINANCE**

**OLD LANGUAGE: ~~Struck-Out~~**

**NEW LANGUAGE: Double Underline**

ORDINANCE NUMBER O-\_\_\_\_\_ (NEW SERIES)

DATE OF FINAL PASSAGE \_\_\_\_\_

AN ORDINANCE AMENDING CHAPTER 15, ARTICLE 16, DIVISION 1 BY AMENDING SECTIONS 1516.0101, 1516.0102, 1516.0103, 1516.0104, AND 1516.0105, AND BY ADDING NEW SECTIONS 1516.0106, 1516.0107, 1516.0108, 1516.0109, 1516.0110, 1516.0111, 1516.0112, 1516.0113, 1516.0114, 1516.0115, 1516.0116, 1516.0117, 1516.0118, 1516.0119, 1516.0120, 1516.0121, 1516.0122, 1516.0123, 1516.0124, 1516.0125, 1516.0126, 1516.0127, 1516.0128, 1516.0129, 1516.0130, 1516.0131, 1516.0132, 1516.0133, 1516.0134, 1516.0135, 1516.0136, 1516.0137, 1516.0138, 1516.0139, 1516.0140 AND APPENDICES A, B, C, D, E, AND F; AMENDING CHAPTER 15, ARTICLE 16, DIVISION 2 BY AMENDING AND RENUMBERING SECTION 1516.0201 TO SECTION 1516.0106, REPEALING CHAPTER 15, ARTICLE 16, DIVISION 2 AND DELETING SECTIONS 1516.0202, 1516.0203, AND 1516.0204; REPEALING CHAPTER 15, ARTICLE 16, DIVISION 3 AND DELETING SECTIONS 1516.0301, 1516.0302, AND 1516.0303; AND REPEALING CHAPTER 15, ARTICLE 16, DIVISION 4 AND DELETING SECTIONS 1516.0401, 1516.0402, 1516.0403, 1516.0404, AND 1516.0405, ALL RELATING TO THE OLD TOWN SAN DIEGO COMMUNITY PLAN UPDATE AND OLD TOWN SAN DIEGO PLANNED DISTRICT.

**Chapter 15  
Planned Districts**

**Article 16: Old Town San Diego Planned District**

**Division 1: ~~General Rules~~**

**§ 1516.0101 Purpose and Intent**

- (a) The purpose of the Old Town San Diego Planned District (Planned District) is to ~~replicate, facilitate development and improvements to sites,~~

structures, and infrastructure that retain, simulate, and enhance the distinctive character of the Old Town San Diego historic area that existed prior to 1871 1872; protect and preserve historical resources, important archaeological sites, traditional cultural properties (tribal cultural resources), and early San Diego descendant resources; and implement the Old Town San Diego Community Plan. The intent is to create an exciting and viable community which includes residential, commercial, visitor-oriented, and public uses; capitalizing on emphasize the area's proud Indigenous, Spanish, Mexican, and American heritage and importance as California's birthplace and first European settlement; and support heritage tourism through historic preservation and development that simulates and complements the ambiance and character of the built and natural environment that existed in Old Town San Diego and other early California settlements prior to 1872. Development of land in Old Town San Diego is controlled in this manner in order to develop must adhere to the requirements of this Division to preserve and enhance the unique village character and atmosphere of Old Town San Diego prior to 1871 1872. The provisions of this Division are consistent with the objectives and policies of the Old Town San Diego Community Plan and the City of San Diego General Plan.

- (b) ~~Recognizing the physical and functional differences between areas in Old Town San Diego, 7 subareas within the Planned District have been devised. The purpose and intent of these subareas is as follows:~~

- (1) ~~Single Family~~ residential subarea to preserve existing single-family homes and low scale development adjacent to Presidio Park.
- (2) ~~Multi-Family~~ residential subarea to allow low to medium density development at a small neighborhood scale, along the southeastern hillsides of the community, providing a link to the adjacent Mission Hills residential community. In order to preserve the hillside area, the development standards must prevail over total density for any one site.
- (3) ~~Public Properties~~ are defined as all lands held in public/government agency ownership, within the Old Town San Diego Planned District. These lands are divided as follows:
  - (A) ~~State Historic Park~~ State Park lands reserved to reflect the character of San Diego from its founding to 1871 by preserving, restoring, and recreating historic sites, structures and activities on the original site of the town.
  - (B) ~~Presidio Park Area~~ City Park lands containing the earliest historic sites that precede the first larger development in Old Town San Diego, and the Serra Museum, which houses many artifacts of early San Diego and the Southwest; also offers both active and passive recreation facilities for use by local as well as City-wide residents, is also located in the Presidio Park area.



- (C) ~~County Heritage Park—County Park lands maintained as a preserve for a Victoria Era mini-community in a park-like setting.~~
- (D) ~~Public Parking~~
  - (i) ~~Public Parking A—located on Congress Street allows for continued and future use of the facility as a school (grades K-6) and for future redevelopment of a south-end parking area.~~
  - (ii) ~~Public Parking B—located on Rosecrans Street allows for future development of a north-end parking area, public park for active sports, and a transit center with accessory retail.~~
  - (iii) ~~Public Parking C—located on Taylor Street allows for future development of an expanded parking area, in conjunction with the State Historic park and a transit center with accessory retail.~~
  - (iv) ~~Public Parking D—located on Juan Street allows for maintenance of a surface parking area.~~
- (4) ~~Core—pedestrian-commercial subarea intended to compliment the Historic Park with small scale buildings and wide range of pedestrian-oriented commercial uses.~~
- (5) ~~Jefferson—mixed-use residential and commercial subarea intended to support the core with medium scale buildings and provide for~~

~~residential development, while limiting specific commercial use and location.~~

~~(6) **Hortensia**—commercial visitor oriented subarea, which allows residential development of a medium scale identical to the Jefferson subarea.~~

~~(7) **Rosecrans**—commercial visitor oriented subarea, intended to allow medium to large scale buildings and large open space areas, designed to recreate the original river environment.~~

~~(e) The Old Town San Diego Planned District Ordinance is in keeping with the objectives and proposals of the Old Town San Diego Community Plan and the City of San Diego General Plan.~~

**§ 1516.0102 Boundaries and Subareas**

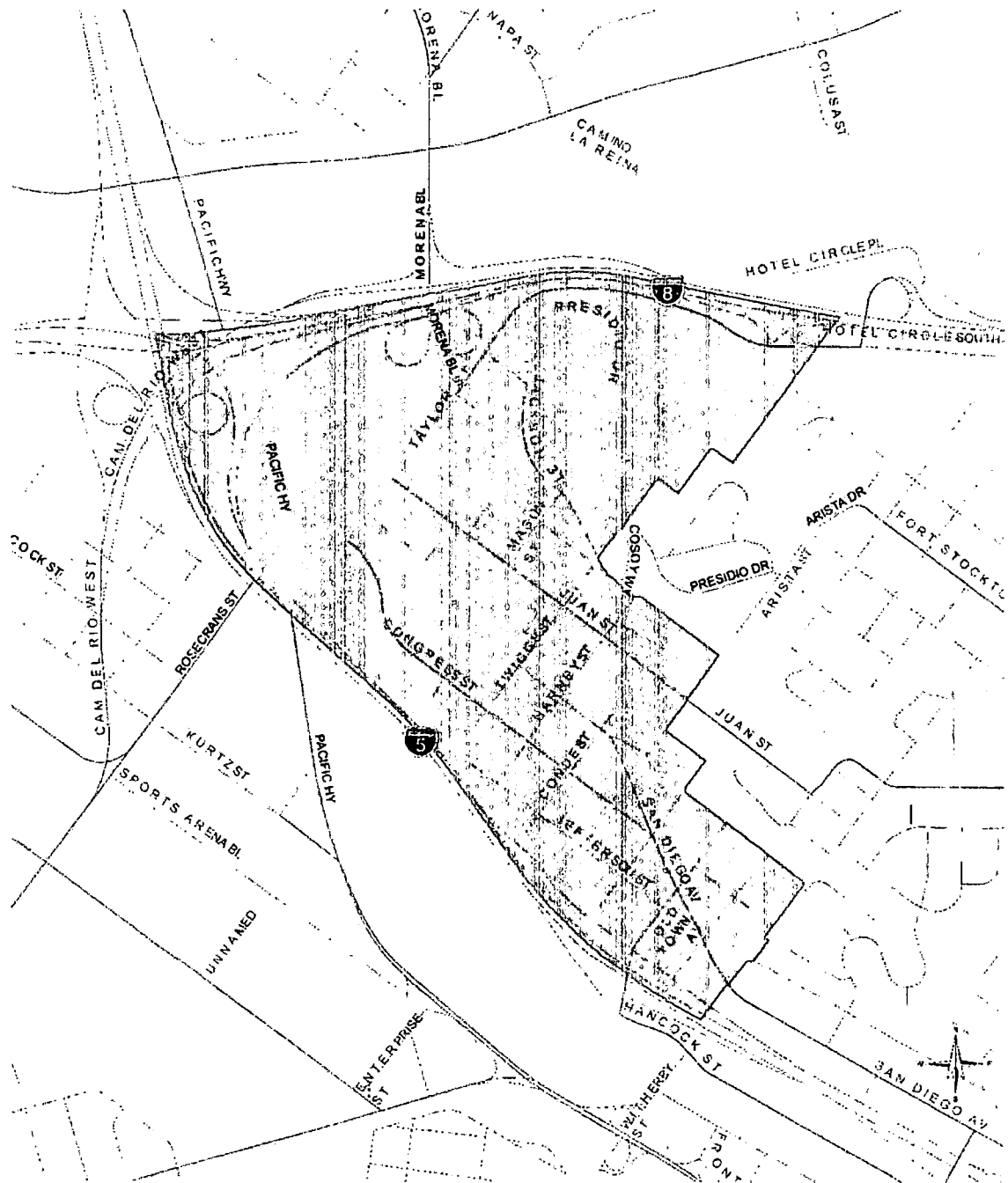
~~(a) Boundaries~~

~~The Old Town San Diego Planned District is within the boundaries of the Old Town San Diego Community Plan Area as designated on that certain Map Drawing No. C-289.4; filed in the office of the City Clerk under Document No. 767691 and as amended on that certain Map Drawing No. C-289.5; filed in the office of the City Clerk Document No. OO-16906.~~

~~(b) Subareas Defined~~

~~There shall be seven subareas known as Single family Residential, Multi family Residential, Public Properties, Core, Jefferson, Hortensia and Rosecrans. The boundaries of the seven Subareas are delineated on that certain map Drawing No. 289.5 located in the office of the City Clerk as Document No. OO-16906.~~

The regulations of this Division shall apply to the Old Town San Diego Planned District, as designated on Map No. C-993 and as shown generally on Diagram 1516-01A.



**DIAGRAM 1516-01A**  
**Old Town San Diego Planned District**  
This is a reproduction of Map No. C-993 for illustration purposes only.

**§ 1516.0103 Old Town San Diego Planned District Design Review Board**

(a) Appointments, Terms and Procedures

(1) The Old Town San Diego Planned District Design Review Board (hereafter referred to as the Board) shall be created to provide recommendations and advice as specified in Section 1516.0103(b).

The Board shall be composed of ~~7~~ five members who shall serve without compensation. The members shall be appointed by the Mayor and confirmed by the Council. The members shall serve four-year terms and each member shall serve until his successor is duly appointed and qualified. After a four-year term, members can be re-appointed, but no person may serve for more than eight consecutive years (two four-year terms). The members shall be appointed in such a manner that the terms of not more than ~~4~~ two members shall expire in any year. The expiration date shall be March 1. During March of each year, the Mayor may designate one member as Chairman; however, in the absence of such designation, the Board shall, on or after April 15, select a Chairman from among its members.

(2) All members shall be electors of the County of San Diego at the time of appointment. Members of the Board shall be persons who shall be specifically qualified by reason of training or experience in history, art, architecture, land development, landscape architecture, historic preservation, archaeology, tourism, planning, or other relevant business or profession able to judge the aesthetic effects of

a proposed development. ~~Three persons who are property owners in the Old Town San Diego Community Planning Area shall be appointed as members of the Board. At least one member of such Board shall be a registered architect in the State of California and at least two members shall be members of the Old Town San Diego Community Planning Committee. At least one member shall be a business licensee, and one member shall be a resident within the Old Town San Diego Community Planning area.~~ The composition of the Board shall be as follows: one seat for a registered architect or landscape architect; two seats for persons qualified by reason of training or experience in history, art, architecture, land development, landscape architecture, historic preservation, archaeology, tourism, planning, or other relevant business or profession; one seat for a member of the Old Town San Diego Community Planning Group; and one seat for a person who is a resident, property owner, or business licensee within the Old Town San Diego Community Planning area or a member of the Old Town San Diego Community Planning Group.

- (3) A Board member shall be replaced if the member has ~~3~~ three unexcused consecutive absences within the 12 month period of March through February each year.
- (4) ~~Four~~ Three members shall constitute a quorum for the transaction of business and a majority vote; and not less than ~~4~~ three affirmative votes shall be necessary to make any Board decision.

The Board may adopt rules of procedure to supplement those contained within this ~~Planned District Ordinance~~ Section 1516.0103.

- (5) The City Manager or designee shall serve as Secretary of the Board as an ex-officio member. The Board shall only hold a meeting when the Secretary is in attendance. The Secretary shall not be entitled to vote.
- (6) All officers of the City shall cooperate with the Board and render all reasonable assistance to it.
- (7) The Board shall render a report annually on December 1, or on request, to the Mayor and to the Old Town San Diego Community Planning ~~Committee~~ Group.

(b) Powers and Duties

- (1) ~~It is shall be~~ the duty of the Board to ~~provide advice on architectural design for development projects in compliance with the regulations and procedures contained within this Planned District Ordinance in the manner prescribed herein; to recommend to the Planning Commission any changes to the development regulations contained in this Planned District Ordinance, provided such changes are necessary for the proper execution of the adopted plan, and to adopt rules of procedure to supplement those contained within this Planned District Ordinance.~~ review and make recommendations to the appropriate decision-making authority on applications for permits, maps, or other matters within the Planned

District that require Process Three, Process Four, Process Five, and Process CIP-Five decisions, as specified in Table 1516-01A and Land Development Code Chapter 12, and to submit its recommendations or comments on these matters in writing within 30 calendar days to the City Manager or designee. The Board shall also provide advice on architectural and urban design requirements (architectural features, site design, streetscape, landscape, parking, accessory buildings, sign requirements, and supplemental regulations) in compliance with the regulations and procedures contained in this Division for applications for permits or other matters within the Old Town San Diego Planned District that require Process One or Process Two decisions, as specified in Table 1516-01A and Land Development Code Chapter 12, upon request of the City Manager or designee.

- (2) The Board may recommend that the City Manager approve, modify, or disapprove any application for a permit, map, or other matter based upon its condition of compliance or noncompliance with the adopted regulations and ~~approved standards and criteria requirements~~. The Board shall utilize the regulations and procedures contained in this Division, the purpose and intent of this Division, and the supplemental findings for development in the Planned District in evaluating the appropriateness of any development under this Division.
- (3) ~~Board members shall view the site before rendering a decision. It~~



shall also be the duty of the Board to recommend to the Planning Commission any changes to the development regulations contained in this Division, provided such changes are necessary for the proper execution of the purpose and intent of this Division and the adopted Old Town San Diego Community Plan, and to adopt rules of procedure to supplement those contained within this Division.

**§ 1516.0104 Applicable Regulations**

Unless otherwise specified in ~~the Old Town San Diego Planned District Ordinance~~ this Division, the following provisions of the Land Development Code apply in the Planned District:

Chapter 11 (Land Development Procedures);

Chapter 12 (Land Development Reviews); ~~except Article 6, Division 6 (Planned Development Permit Procedures);~~

Chapter 13 (Zones);

Chapter 14, Article 1 (Separately Regulated Use Regulations);

Chapter 14, Article 2, Division 1 (Grading Regulations);

Chapter 14, Article 2, Division 2 (Drainage Regulations);

Chapter 14, Article 2, Division 3 (Fence Regulations), except Section 142.0370 (Construction Materials for Fences and Retaining Walls);

Chapter 14, Article 2, Division 4 (Landscape Regulations);

Chapter 14, Article 2, Division 5 (Parking Regulations);

Chapter 14, Article 2, Division 6 (Public Facility Regulations);

Chapter 14, Article 2, Division 7 (Off-Site Development Regulations);

Chapter 14, Article 2, Division 8 (Refuse and Recyclable Materials Storage

Regulations);

Chapter 14, Article 3 (Supplemental Development Regulations); ~~except~~

~~Division 4 (Planned Development Permit Regulations);~~

Chapter 14, Article 4 (Subdivision Regulations);

Chapter 14, Article 5 (Building Regulations);

Chapter 14, Article 6 (Electrical Regulations); and

Chapter 14, Article 7 (Plumbing and Mechanical Regulations)

Where there is a conflict between these provisions of the Land Development Code and the Old Town San Diego Planned District Ordinance, the Planned District Ordinance, this Division, this Division applies.

**§ 1516.0105 Definitions**

~~As used in this Planned District Ordinance, “Standards and Criteria” means the Old San Diego Architectural and Site Development Standards adopted by the City Council on file in the office of the City Clerk as Document No. 742763.~~

The following definitions apply to this Division. Definitions in Chapter 11, Article 3, Division 1 of the Land Development Code also apply, unless they conflict with definitions in this Section 1516.0105, in which case definitions in this Section 1516.0105 shall apply.

*Architectural features* means the architectural elements embodying style, design, general arrangement and components of all of the outside surfaces of an improvement or structure, including the type of building materials and the type and style of all windows, doors, lights, signs, and other fixtures appurtenant to the improvement or structure.

Architectural style means the characteristic form and detail of buildings from a particular historical period or school of architecture.

Business operations sign means a sign that provides information about business operations or incidental business services on site and is visible from the public right-of-way, such as “Open/Closed”, hours of operation, credit cards accepted, and ATM available.

Directional sign means a sign that provides direction at the building or parcel level to commercial or residential properties or direction to elements of properties such as entrances or parking areas and includes address numbers.

Historical identification sign means a type of identification sign that is installed as part of the creation of a replica historical structure or restoration of a historical structure that existed prior to 1872, including recreations of signs that existed prior to 1872.

Identification sign means a sign that states the name of the business owner or occupant of the commercial premises upon which the sign is placed, or otherwise identifies such premises, or describes goods offered, manufactured or produced, or services rendered on the premises. Identification signs can be wall signs, ground signs, or hanging projecting signs.

Minor in scope means an alteration to an existing structure by an addition of floor area constituting 20 percent or less of the gross floor area of the structure; removal, destruction, demolition, or alteration of 20 percent or less of a structure’s exterior walls, on a cumulative basis; repair, renewal, or replacement of any exterior wall finish or material where the existing material type or color is altered; repair, renewal, or replacement of any building windows where the

existing window type, material, or color is altered; or removal, destruction, demolition, or alteration of 20 percent or less of the capacity of the lateral or vertical load resisting system of the structure, as determined by the Building Official or designee.

Major in scope means an alteration to an existing structure by an addition of floor area constituting more than 20 percent of the gross floor area of the structure; removal, destruction, demolition, or alteration of more than 20 percent of a structure's exterior walls, on a cumulative basis; or removal, destruction, demolition, or alteration of more than 20 percent of the capacity of the lateral or vertical load resisting system of the structure, as determined by the Building Official or designee.

Miscellaneous sign means pennants, flags, bulletin boards, and inflatable displays.

Pedestrian orientation means the characteristics of an area where the location and access to buildings, types of uses permitted on the street level, and storefront design cater to persons traveling by non-automobile modes of transportation.

Sidewalk directional sign means a freestanding, movable directional sign, such as A-frame and sandwich board signs, often placed near sidewalks.

Site design means the building orientation in relation to the site, sidewalks, and public right-of-way.

Temporary sign means a sign designed to be displayed for a specific purpose for a limited period of time, such as a sign announcing an event and banners.

Wayfinding sign means a sign that provides guidance at the block level to destinations, such as parking facilities; guides vehicular circulation; or defines pedestrian and bicycle routes.

**§ 1516.02040106 Administrative Regulations**

~~The Administrative regulations as specified in this section apply in the Old Town San Diego San Diego Planned District.~~

- (a) ~~Any permit or license issued or any work within the Old Town San Diego Planned District, including erection of any new building or structure, or repainting of exterior surfaces, remodeling or repair, alteration, addition to or demolition of any existing building or structure, or relocation of any structure into the Planned District regardless of whether it requires a permit, may be reviewed by the City Manager and the Old Town San Diego Planned District Design Review Board.~~
- (b) ~~Article 16, Division 2 (Old Town San Diego Planned District Permits and Procedures) does not supersede, change or amend, nor in any way alter the manner, method or requirements of the review procedures for any historical site designated by the Historical Resources Board. City projects within the Planned District that include the construction of new facilities, exterior modifications and additions to existing facilities, and improvements within the public right-of-way shall be subject to this Division.~~
- (c) ~~Nothing in this Division supersedes, changes, amends, or in any way alters the manner, method or requirements of the review procedures for any historical site designated by the Historical Resources Board.~~

**§ 1516.0107 Administration and Permits**

- (a) Required Permit Types and Decision Processes

Table 1516-01A shows the required permit, decision process, and applicable regulations that are unique to the Old Town Planned District for specific types of development proposals. For types of development proposals that are not listed in Table 1516-01A, refer to the regulations in Chapter 12 and Chapter 14 for required permits, decision processes, and applicable regulations. Permits shall be obtained prior to the commencement of any grading or development within the Planned District which requires a permit.

(b) Permit Application

Permit applications shall be made in accordance with the Development Services Department Project Submittal Manual and shall include the following:

- (1) Descriptions, illustrations, and samples for proposed exterior building materials and improvements that define and show the exterior appearance, color, and texture of materials; and
- (2) Submission of any other information the City Manager or designee deems necessary to evaluate the project for compliance with applicable laws and regulations.

(c) Supplemental Finding

A permit required in accordance with Section 1516.0107 may be approved or conditionally approved only if the decision maker makes, in addition to the findings for the applicable permit type and decision process, the supplemental finding that the proposed development is compatible with the purpose and intent of this Division and the special character of the Old

Town San Diego community, as defined in Section 156.0124,

Architectural and Urban Design Requirements and Section 1516.0125,

Architectural Periods and Features.

**Table 1516-01A**  
**Type of Development Proposal and Applicable Regulations**

	<b><u>Type of Development Proposal</u></b>	<b><u>Applicable Sections</u></b>	<b><u>Required Permit /Decision Process</u></b>
<u>1.</u>	<ul style="list-style-type: none"> <li>• <u>Interior building modifications or interior repairs</u></li> <li>• <u>Interior alterations that do not require any building permit</u></li> </ul>	<u>Exempt from this Division</u>	<u>No permit required by this Division</u>
<u>2.</u>	<ul style="list-style-type: none"> <li>• <u>Renewal of roof coverings of any building permitted by the California Building Code and the California Residential Code, where the existing roofing material, roof structure, or roof diaphragm is not altered</u></li> <li>• <u>Repair, renewal, or replacement of any exterior wall finish or material where the existing material type or color is not altered</u></li> <li>• <u>Repair, renewal, or replacement of any building windows where the existing window type, material, or color is not altered</u></li> </ul>	<u>Exempt from this Division</u>	<u>No permit required by this Division</u>
<u>3.</u>	<ul style="list-style-type: none"> <li>• <u>Re-roofing (where the existing roofing material, roof structure, or roof diaphragm is altered)</u></li> <li>• <u>Repainting or recoloring of exterior surfaces where the existing exterior building color is altered</u></li> <li>• <u>Any addition to or alteration of any non-historical structure which is <i>minor in scope</i></u></li> <li>• <u>New construction of any non-habitable accessory structure that does not exceed 100 square feet in gross floor area and</u></li> </ul>	<u>1516.0124, 1516.0125, 1516.0126, 1516.0131, 1516.0132, Appendix A, Appendix B, Appendix C, Appendix D, and Appendix F</u>	<u>Ministerial Permit/Process One</u>

	<u>Type of Development Proposal</u>	<u>Applicable Sections</u>	<u>Required Permit /Decision Process</u>
	<u>that would not be visible from the public right-of-way</u>		
<u>4.</u>	<ul style="list-style-type: none"> <li>• <u>New construction of any building or primary structure</u></li> <li>• <u>New construction of any habitable accessory structure</u></li> <li>• <u>New construction of any non-habitable accessory structure that exceeds 100 square feet in gross floor area</u></li> <li>• <u>New construction of any non-habitable accessory structure that would be visible from the public right-of-way</u></li> <li>• <u>Signs</u></li> <li>• <u>Walls or fences</u></li> <li>• <u>Any addition to or alteration of any non-historical structure which is <i>major in scope</i></u></li> </ul>	<u>1516.0124, 1516.0125, 1516.0126, 1516.0127, 1516.0128, 1516.0130-1516.0140, Appendix A, Appendix B, Appendix C, Appendix D, Appendix E, and Appendix F</u>	<u>Neighborhood Development Permit (NDP)/Process Two</u>
<u>5.</u>	<u>Development projects on locations where an archaeological site has been identified</u>	<u>1516.0108</u>	<u>Site Development Permit (SDP)/Process Three</u>
<u>6.</u>	<u>Grading or any improvement which could directly affect an archaeological resource, tribal cultural resource, or early San Diego descendant resource</u>	<u>143.0201-143.0280, 1516.0108</u>	<u>Varies</u>

**§ 1516.0108 Cultural and Historical Resources Procedures**

Within the Old Town San Diego Planned District, the identification, preservation and treatment of historical resources, which include historical buildings, historical structures, historical objects, historical landscapes, historical districts, important archaeological sites, traditional cultural properties, and designated historical



resources shall be consistent with the requirements of the Historical Resources Regulations in Chapter 14, Article 3, Division 2.

(a) Improvements to Historical Resources

Improvements to designated historical resources and historical resources identified in accordance with Section 143.0212 are not subject to the design requirements of this Division if the improvements have been determined to be consistent with the U.S. Secretary of the Interior's Standards for the Treatment of Historic Properties, as required by the Historical Resources Regulations.

(b) Important Archaeological Sites, Traditional Cultural Properties (Tribal Cultural Resources) and early San Diego descendant Resources

In addition to the Historical Resources Regulations, the following regulations are intended to protect and preserve the high cultural sensitivity of archaeological, tribal cultural, and early San Diego descendant resources within Old Town San Diego, and are required for all ground-disturbing activities within the Planned District.

(1) Prior to issuance of any permit for a project that could directly affect an archaeological, tribal cultural, or early San Diego descendant resource, the City shall determine the potential for the presence or absence of buried archaeological, tribal cultural or early San Diego descendant resources and the appropriate treatment in accordance with the adopted Old Town San Diego Community Plan Mitigation Framework, the Land Development Manual - Historical Resources Guidelines, or applicable best

practices for the treatment of archaeological, tribal and early San Diego descendant resources in place at the time of application submittal.

- (2) Treatment of archaeological, tribal cultural, or early San Diego descendant resources shall be in consultation with qualified City staff and comply with all applicable local, state, and federal requirements.

**§ 1516.0109 Intent of Zones in the Old Town San Diego Planned District**

Three types of zones within the Planned District are established.

- (a) Old Town San Diego Residential zones are intended to preserve and provide areas for residential development at various densities in specific areas of the community.
- (b) Old Town San Diego Commercial zones are intended to accommodate community and visitor-serving commercial services, residential, and retail uses.
- (c) Old Town San Diego Open Space-Park zones are intended to provide public parks and recreational facilities that preserve, protect, and enhance the community's natural, cultural, and historic resources.

**§ 1516.0110 Purpose of the Old Town San Diego Residential Zones (OTRS; OTRM)**

- (a) The purpose of the OTRS (Residential - Single Unit) zone is to accommodate single dwelling units with a neighborhood scale and orientation. OTRS-1-1 requires minimum 5,000-square-foot lots.
- (b) The purpose of the OTRM (Residential - Multiple Unit) zones is to provide for multiple dwelling unit development at varying densities with a

neighborhood scale and orientation.

- (1) OTRM-1-1 permits a maximum density of one dwelling unit for each 3,000 square feet of lot area.
- (2) OTRM-2-1 permits a maximum density of one dwelling unit for each 1,750 square feet of lot area.
- (3) OTRM-2-2 permits a maximum density of one dwelling unit for each 1,000 square feet of lot area.

**§ 1516.0111 Use Regulations for Old Town San Diego Residential Zones**

- (a) The uses permitted in Old Town San Diego residential zones may be further limited by the following:
  - (1) Use limitations applicable to the Airport Land Use Compatibility Overlay Zone (Chapter 13, Article 2, Division 15);
  - (2) The presence of environmentally sensitive lands, pursuant to Chapter 14, Article 3, Division 1 (Environmentally Sensitive Lands Regulations); and
  - (3) Any other applicable provision of the San Diego Municipal Code.
- (b) Within Old Town San Diego residential zones, no premises shall be used or maintained except for the purposes or activities listed in Table 1516-01B. It is unlawful to establish, maintain, or use any premises for any purpose or activity not listed in this Section 1516.0111 or Table 1516-01B.
- (c) All uses or activities permitted in the Old Town San Diego residential zones shall be conducted entirely within an enclosed building unless the use or activity is traditionally conducted outdoors.

- (d) Accessory uses in the Old Town San Diego residential zones may be permitted in accordance with Section 131.0125.
- (e) Temporary uses in the Old Town San Diego residential zones may be permitted with a Temporary Use Permit in accordance with Chapter 12, Article 3, Division 4.
- (f) For any use that cannot be readily classified, the City Manager shall determine the appropriate use category and use subcategory pursuant to Section 131.0110.

**§ 1516.0112 Use Regulations for Old Town San Diego Residential Zones**

**Legend for Table 1516-01B**

<b><u>Symbol in Table 1516-01B</u></b>	<b><u>Description of Symbol</u></b>
<u>P</u>	<u>Use or use category is permitted. Regulations pertaining to a specific use may be referenced.</u>
<u>L</u>	<u>Use is permitted with limitations, which may include location limitations or the requirement for a use or development permit. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).</u>
<u>N</u>	<u>Neighborhood Use Permit Required. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).</u>
<u>C</u>	<u>Conditional Use Permit Required. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).</u>
<u>=</u>	<u>Use or use category is not permitted.</u>

**Table 1516-01B**  
**Use Regulations for Old Town Residential Zones**

<u>Use Categories/Subcategories</u> [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone Designator</u>	<u>Zones</u>		
	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTRS-</u>	<u>OTRM-</u>	
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>1-</u>	<u>2-</u>
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>	<u>1</u>   <u>2</u>
<b><u>Open Space</u></b>				
<b><u>Active Recreation</u></b>		<u>P</u>	<u>P</u>	<u>P</u>
<b><u>Passive Recreation</u></b>		<u>P</u>	<u>P</u>	<u>P</u>
<b><u>Natural Resources Preservation</u></b>		<u>P</u>	<u>P</u>	<u>P</u>
<b><u>Park Maintenance Facilities</u></b>		::	::	::
<b><u>Agriculture</u></b>				
<b><u>Agricultural Processing</u></b>		::	::	::
<b><u>Aquaculture Facilities</u></b>		::	::	::
<b><u>Dairies</u></b>		::	::	::
<b><u>Horticulture Nurseries &amp; Greenhouses</u></b>		::	::	::
<b><u>Raising &amp; Harvesting of Crops</u></b>		::	::	::
<b><u>Raising, Maintaining &amp; Keeping of Animals</u></b>		::	::	::
<b><u>Separately Regulated Agriculture Uses</u></b>				
<b><u>Agricultural Equipment Repair Shops</u></b>		::	::	::
<b><u>Commercial Stables</u></b>		::	::	::
<b><u>Community Gardens</u></b>		<u>L</u>	<u>L</u>	<u>L</u>
<b><u>Equestrian Show &amp; Exhibition Facilities</u></b>		::	::	::
<b><u>Open Air Markets for the Sale of Agriculture- Related Products &amp; Flowers</u></b>		::	::	::
<b><u>Residential</u></b>				
<b><u>Mobilehome Parks</u></b>		::	::	::
<b><u>Multiple Dwelling Units</u></b>		::	<u>p<sup>(1)</sup></u>	<u>p<sup>(1)</sup></u>
<b><u>Rooming House [See Section 131.0112(a)(3)(A)]</u></b>		::	::	::
<b><u>Shopkeeper Units</u></b>		::	::	::
<b><u>Single Dwelling Units</u></b>		<u>p<sup>(2)(3)</sup></u>	<u>p<sup>(3)</sup></u>	<u>p<sup>(3)</sup></u>

<u>Use Categories/Subcategories</u> [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone Designator</u>	<u>Zones</u>			
	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTRS-</u>	<u>OTRM-</u>		
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>1-</u>	<u>2-</u>	
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>	<u>1</u>	<u>2</u>
<b><u>Separately Regulated Residential Uses</u></b>					
<u>Boarder &amp; Lodger Accommodations</u>		<u>N</u>	<u>N</u>	<u>L</u>	
<u>Companion Units</u>		<u>L</u>	<u>L</u>	<u>L</u>	
<u>Junior Units</u>		=	=	=	
<u>Employee Housing:</u>					
<u>6 or Fewer Employees</u>		=	=	=	
<u>12 or Fewer Employees</u>		=	=	=	
<u>Greater than 12 Employees</u>		=	=	=	
<u>Fraternities, Sororities and Student Dormitories</u>		=	=	=	
<u>Garage, Yard, &amp; Estate Sales</u>		<u>L</u>	<u>L</u>	<u>L</u>	
<u>Guest Quarters</u>		<u>L</u>	<u>L<sup>(4)</sup></u>	=	
<u>Home Occupations</u>		<u>L</u>	<u>L</u>	<u>L</u>	
<u>Housing for Senior Citizens</u>		<u>C</u>	<u>C</u>	<u>C</u>	
<u>Live/Work Quarters</u>		=	=	=	
<u>Residential Care Facilities:</u>					
<u>6 or fewer persons</u>		<u>P</u>	<u>P</u>	<u>P</u>	
<u>7 or more persons</u>		=	=	=	
<u>Transitional Housing:</u>					
<u>6 or fewer persons</u>		<u>P</u>	<u>P</u>	<u>P</u>	
<u>7 or more persons</u>		=	=	=	
<u>Watchkeeper Quarters</u>		=	=	=	
<b><u>Institutional</u></b>					
<b><u>Separately Regulated Institutional Uses</u></b>					
<u>Airports</u>		=	=	=	
<u>Botanical Gardens &amp; Arboretums</u>		=	=	=	
<u>Cemeteries, Mausoleums, Crematories</u>		=	=	=	
<u>Correctional Placement Centers</u>		=	=	=	

<u>Use Categories/Subcategories</u> [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone Designator</u>	<u>Zones</u>			
	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTRS-</u>	<u>OTRM-</u>		
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>1-</u>	<u>2-</u>	
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>	<u>1</u>	<u>2</u>
<u>Educational Facilities:</u>					
<u>Kindergarten through Grade 12</u>		=	=	=	
<u>Colleges / Universities</u>		=	=	=	
<u>Vocational / Trade School</u>		=	=	=	
<u>Energy Generation &amp; Distribution Facilities</u>		=	=	=	
<u>Exhibit Halls &amp; Convention Facilities</u>		=	=	=	
<u>Flood Control Facilities</u>		<u>L</u>	<u>L</u>	<u>L</u>	
<u>Historical Buildings Used for Purposes Not Otherwise Allowed</u>		<u>C</u>	<u>C</u>	<u>C</u>	
<u>Homeless Facilities:</u>					
<u>Congregate Meal Facilities</u>		=	=	=	
<u>Emergency Shelters</u>		=	=	=	
<u>Homeless Day Centers</u>		=	=	=	
<u>Hospitals, Intermediate Care Facilities &amp; Nursing Facilities</u>		=	=	=	
<u>Interpretive Centers</u>		<u>C</u>	<u>C</u>	<u>C</u>	
<u>Museums</u>		<u>C</u>	<u>C</u>	<u>C</u>	
<u>Major Transmission, Relay, or Communications Switching Stations</u>		=	=	=	
<u>Placemaking on Private Property</u>		<u>L<sup>(5)</sup></u>	<u>L<sup>(5)</sup></u>	<u>L<sup>(5)</sup></u>	
<u>Satellite Antennas</u>		<u>N<sup>(6)</sup></u>	<u>N<sup>(6)</sup></u>	<u>N<sup>(6)</sup></u>	
<u>Social Service Institutions</u>		=	=	=	

<u>Use Categories/Subcategories</u> [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone Designator</u>	<u>Zones</u>			
	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTRS-</u>	<u>OTRM-</u>		
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>1-</u>	<u>2-</u>	
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>	<u>1</u>	<u>2</u>
<u>Solar Energy Systems</u>		<u>L</u>	<u>L</u>	<u>L</u>	
<u>Wireless Communication Facility:</u>					
<u>Wireless communication facility in the public right-of-way with subterranean equipment adjacent to a non-residential use</u>		::	::	::	
<u>Wireless communication facility in the public right-of-way with subterranean equipment adjacent to a residential use</u>		::	::	::	
<u>Wireless communication facility in the public right-of-way with above ground equipment</u>		::	::	::	
<u>Wireless communication facility outside the public right-of-way</u>		::	::	::	
<u>Retail Sales</u>					
<u>Building Supplies &amp; Equipment</u>		::	::	::	
<u>Food, Beverages and Groceries</u>		::	::	::	
<u>Consumer Goods, Furniture, Appliances, Equipment</u>		::	::	::	
<u>Pets &amp; Pet Supplies</u>		::	::	::	
<u>Sundries, Pharmaceuticals, &amp; Convenience Sales</u>		::	::	::	
<u>Wearing Apparel &amp; Accessories</u>		::	::	::	
<u>Separately Regulated Retail Sales Uses</u>					
<u>Agriculture Related Supplies &amp; Equipment</u>		::	::	::	
<u>Alcoholic Beverage Outlets</u>		::	::	::	
<u>Farmers' Markets</u>		::	::	::	
<u>Weekly Farmers' Markets</u>		::	::	::	
<u>Daily Farmers' Market Stands</u>		::	::	::	
<u>Marijuana Outlets</u>		::	::	::	
<u>Plant Nurseries</u>		::	::	::	
<u>Retail Farms</u>		::	::	::	



<u>Use Categories/Subcategories</u> [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone Designator</u>	<u>Zones</u>			
	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTRS-</u>	<u>OTRM-</u>		
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>1-</u>	<u>2-</u>	
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>	<u>1</u>	<u>2</u>
<u>Retail Tasting Stores</u>		::	::	::	
<u>Swap Meets &amp; Other Large Outdoor Retail Facilities</u>		::	::	::	
<u>Commercial Services</u>					
<u>Building Services</u>		::	::	::	
<u>Business Support</u>		::	::	::	
<u>Eating &amp; Drinking Establishments</u>		::	::	::	
<u>Financial Institutions</u>		::	::	::	
<u>Funeral &amp; Mortuary Services</u>		::	::	::	
<u>Instructional Studios</u>		::	::	::	
<u>Maintenance &amp; Repair</u>		::	::	::	
<u>Off-Site Services</u>		::	::	::	
<u>Personal Services</u>		::	::	::	
<u>Radio &amp; Television Studios</u>		::	::	::	
<u>Tasting Rooms</u>		::	::	::	
<u>Visitor Accommodations</u>		::	::	::	
<u>Separately Regulated Commercial Services Uses</u>					
<u>Adult Entertainment Establishments:</u>		::	::	::	
<u>Adult Book Store</u>		::	::	::	
<u>Adult Cabaret</u>		::	::	::	
<u>Adult Drive-In Theater</u>		::	::	::	
<u>Adult Mini-Motion Picture Theater</u>		::	::	::	
<u>Adult Model Studio</u>		::	::	::	
<u>Adult Motel</u>		::	::	::	
<u>Adult Motion Picture Theater</u>		::	::	::	
<u>Adult Peep Show Theater</u>		::	::	::	
<u>Adult Theater</u>		::	::	::	

<u>Use Categories/Subcategories</u> [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone Designator</u>	<u>Zones</u>			
	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTRS-</u>	<u>OTRM-</u>		
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>1-</u>	<u>2-</u>	
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>	<u>1</u>	<u>2</u>
<u>Body Painting Studio</u>		::	::	::	
<u>Massage Establishment</u>		::	::	::	
<u>Sexual Encounter Establishment</u>		::	::	::	
<u>Assembly and Entertainment Uses, Including Places of Religious Assembly</u>		::	::	::	
<u>Bed &amp; Breakfast Establishments:</u>					
<u>1-2 Guest Rooms</u>		::	::	::	
<u>3-5 Guest Rooms</u>		::	::	::	
<u>6+ Guest Rooms</u>		::	::	::	
<u>Boarding Kennels / Pet Day Care</u>		::	::	::	
<u>Camping Parks</u>		::	::	::	
<u>Child Care Facilities:</u>					
<u>Child Care Centers</u>		::	::	::	
<u>Large Family Child Care Homes</u>		::	::	::	
<u>Small Family Child Care Homes</u>		<u>L</u>	<u>L</u>	<u>L</u>	
<u>Eating and Drinking Establishments with a Drive- in or Drive-through Component</u>		::	::	::	
<u>Fairgrounds</u>		::	::	::	
<u>Golf Courses, Driving Ranges, and Pitch &amp; Putt Courses</u>		::	::	::	
<u>Helicopter Landing Facilities</u>		::	::	::	
<u>Massage Establishments, Specialized Practice</u>		::	::	::	
<u>Medical Marijuana Consumer Cooperatives</u>		::	::	::	
<u>Mobile Food Trucks</u>		::	::	::	
<u>Nightclubs &amp; Bars over 5,000 square feet in size</u>		::	::	::	
<u>Parking Facilities as a Primary Use:</u>					
<u>Permanent Parking Facilities</u>		::	::	::	
<u>Temporary Parking Facilities</u>		::	::	::	

<u>Use Categories/Subcategories</u> [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone Designator</u>	<u>Zones</u>			
	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTRS-</u>	<u>OTRM-</u>		
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>1-</u>	<u>2-</u>	
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>	<u>1</u>	<u>2</u>
<u>Private Clubs, Lodges and Fraternal Organizations</u>	::	::	::		
<u>Privately Operated, Outdoor Recreation Facilities over 40,000 square feet in size</u>	::	::	::		
<u>Pushcarts:</u>					
<u>Pushcarts on Private Property</u>	::	::	::		
<u>Pushcarts in Public Right-of-Way</u>	::	::	::		
<u>Recycling Facilities:</u>					
<u>Large Collection Facility</u>	::	::	::		
<u>Small Collection Facility</u>	::	::	::		
<u>Large Construction &amp; Demolition Debris Recycling Facility</u>	::	::	::		
<u>Small Construction &amp; Demolition Debris Recycling Facility</u>	::	::	::		
<u>Drop-off Facility</u>	::	::	::		
<u>Green Materials Composting Facility</u>	::	::	::		
<u>Mixed Organic Composting Facility</u>	::	::	::		
<u>Large Processing Facility Accepting at Least 98% of Total Annual Weight of Recyclables from Commercial &amp; Industrial Traffic</u>	::	::	::		
<u>Large Processing Facility Accepting All Types of Traffic</u>	::	::	::		
<u>Small Processing Facility Accepting at Least 98% of Total Annual Weight of Recyclables From Commercial &amp; Industrial Traffic</u>	::	::	::		
<u>Small Processing Facility Accepting All Types of Traffic</u>	::	::	::		
<u>Reverse Vending Machines</u>	::	::	::		
<u>Tire Processing Facility</u>	::	::	::		

<u>Use Categories/Subcategories</u> [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone Designator</u>	<u>Zones</u>			
	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTRS-</u>	<u>OTRM-</u>		
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>1-</u>	<u>2-</u>	
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>	<u>1</u>	<u>2</u>
<u>Sidewalk Cafes</u>		::	::	::	
<u>Sports Arenas &amp; Stadiums</u>		::	::	::	
<u>Theaters That Are Outdoor or over 5,000 Square Feet in Size</u>		::	::	::	
<u>Urgent Care Facilities</u>		::	::	::	
<u>Veterinary Clinics &amp; Animal Hospitals</u>		::	::	::	
<u>Zoological Parks</u>		::	::	::	
<b><u>Offices</u></b>					
<b><u>Business &amp; Professional</u></b>		::	::	::	
<b><u>Government</u></b>		::	::	::	
<b><u>Medical, Dental, &amp; Health Practitioner</u></b>		::	::	::	
<b><u>Regional &amp; Corporate Headquarters</u></b>		::	::	::	
<b><u>Separately Regulated Office Uses</u></b>					
<u>Real Estate Sales Offices &amp; Model Homes</u>		::	::	::	
<u>Sex Offender Treatment &amp; Counseling</u>		::	::	::	
<b><u>Vehicle &amp; Vehicular Equipment Sales &amp; Service</u></b>					
<b><u>Commercial Vehicle Repair &amp; Maintenance</u></b>		::	::	::	
<b><u>Commercial Vehicle Sales &amp; Rentals</u></b>		::	::	::	
<b><u>Personal Vehicle Repair &amp; Maintenance</u></b>		::	::	::	
<b><u>Personal Vehicle Sales &amp; Rentals</u></b>		::	::	::	
<b><u>Vehicle Equipment &amp; Supplies Sales &amp; Rentals</u></b>		::	::	::	
<b><u>Separately Regulated Vehicle &amp; Vehicular Equipment Sales &amp; Service Uses</u></b>					
<u>Automobile Service Stations</u>		::	::	::	
<u>Outdoor Storage &amp; Display of New, Unregistered Motor Vehicles as a Primary Use</u>		::	::	::	
<b><u>Distribution and Storage</u></b>					
<b><u>Equipment &amp; Materials Storage Yards</u></b>		::	::	::	

<u>Use Categories/Subcategories</u> [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone Designator</u>	<u>Zones</u>			
	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTRS-</u>	<u>OTRM-</u>		
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>1-</u>	<u>2-</u>	
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>	<u>1</u>	<u>2</u>
<u>Moving &amp; Storage Facilities</u>		=	=	=	
<u>Distribution Facilities</u>		=	=	=	
<u>Separately Regulated Distribution and Storage Uses</u>					
<u>Impound Storage Yards</u>		=	=	=	
<u>Junk Yards</u>		=	=	=	
<u>Temporary Construction Storage Yards Located Off-Site</u>		<u>N</u>	<u>N</u>	<u>N</u>	
<u>Industrial</u>					
<u>Heavy Manufacturing</u>		=	=	=	
<u>Light Manufacturing</u>		=	=	=	
<u>Marine Industry</u>		=	=	=	
<u>Research &amp; Development</u>		=	=	=	
<u>Testing Labs</u>		=	=	=	
<u>Trucking &amp; Transportation Terminals</u>		=	=	=	
<u>Separately Regulated Industrial Uses</u>					
<u>Hazardous Waste Research Facility</u>		=	=	=	
<u>Hazardous Waste Treatment Facility</u>		=	=	=	
<u>Marijuana Production Facilities</u>		=	=	=	
<u>Marine Related Uses Within the Coastal Overlay Zone</u>		=	=	=	
<u>Mining and Extractive Industries</u>		=	=	=	
<u>Newspaper Publishing Plants</u>		=	=	=	
<u>Processing &amp; Packaging of Plant Products &amp; Animal By-products Grown Off-premises</u>		=	=	=	
<u>Very Heavy Industrial Uses</u>		=	=	=	
<u>Wrecking &amp; Dismantling of Motor Vehicles</u>		=	=	=	
<u>Signs</u>					
<u>Allowable Signs</u>		<u>P</u>	<u>P</u>	<u>P</u>	

<u>Use Categories/Subcategories</u> [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone Designator</u>	<u>Zones</u>			
	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTRS-</u>	<u>OTRM-</u>		
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>1-</u>	<u>2-</u>	
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>	<u>1</u>	<u>2</u>
<u>Separately Regulated Signs Uses</u>					
<u>Community Entry Signs</u>		<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	
<u>Comprehensive Sign Program</u>					
<u>Neighborhood Identification Signs</u>		<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	
<u>Revolving Projecting Signs</u>		<u>=</u>	<u>=</u>	<u>=</u>	
<u>Signs with Automatic Changing Copy</u>		<u>=</u>	<u>=</u>	<u>=</u>	
<u>Theater Marquees</u>		<u>=</u>	<u>=</u>	<u>=</u>	

**Footnotes for Table 1516-01B**

- <sup>1</sup> Non-owner occupants must reside on the premises for at least seven consecutive calendar days.
- <sup>2</sup> A Residential High Occupancy Permit is required in accordance with Section 123.0502 for a single dwelling unit when the occupancy of the dwelling unit would consist of six or more persons eighteen years of age and older residing in the dwelling unit for a period of 30 or more consecutive days.
- <sup>3</sup> Development of a small lot subdivision is permitted in accordance with Section 143.0365.
- <sup>4</sup> A guest quarter or habitable accessory building is permitted in accordance with Section 141.0307 only as an accessory use to a single dwelling unit.
- <sup>5</sup> Placemaking on private property in OTRS and OTRM zones shall not include commercial services or assembly and entertainment uses as accessory uses.
- <sup>6</sup> Only one exterior receiving antenna per dwelling unit is permitted. Any satellite antennas as described in Land Development Code Section 141.0405 shall be screened from view and are subject to review by the Design Review Board and approval by the City Manager.
- <sup>7</sup> Sign design and placement shall conform to the regulations in Sections 1516.0139 and 1516.0140.

**§ 1516.0113 Development Regulations for Old Town San Diego Residential Zones**

- (a) Within the Old Town San Diego residential zones, no structure or improvement shall be constructed, established, or altered, nor shall any premises be used unless the premises complies with Table 1516-01C, the regulations and standards in this Division, and any applicable development regulations in Chapter 13, Article 2 (Overlay Zones) and Chapter 14 (General and Supplemental Regulations).
- (b) A Neighborhood Development Permit or Site Development Permit is

required for the types of development identified in Table 143-03A.

- (c) The regulations in this Division apply to all development in the Old Town San Diego residential zones whether or not a permit or other approval is required, except where specifically identified.

**§ 1516.0114 Development Regulations Table for Old Town San Diego Residential Zones**

**Table 1516-01C**  
**Development Regulations for OTR Zones**

<u>Development Regulations</u>	<u>Zone Designator</u>	<u>Zones</u>			
	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTRS-</u>	<u>OTRM-</u>		
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>1-</u>	<u>2-</u>	<u>2-</u>
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>	<u>1</u>	<u>2</u>
<u>Max permitted density</u>		<u>1<sup>(1)</sup></u>	<u>3,000<sup>(2)</sup></u>	<u>1,750<sup>(2)</sup></u>	<u>1,000<sup>(2)</sup></u>
<u>Min lot area (sf)</u>		<u>5,000</u>	<u>3,000</u>	<u>2,500</u>	<u>2,500</u>
<u>Min lot dimensions</u>					
<u>Lot width (ft)</u>		<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
<u>Street frontage (ft)</u>		<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
<u>Lot width (corner) (ft)</u>		<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
<u>Lot depth (ft)</u>		<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
<u>Setback requirements</u>					
<u>Min Front setback (ft)</u>		<u>15<sup>(3)</sup></u>	<u>5</u>	<u>5</u>	<u>5</u>
<u>Min Side setback (ft)</u>		<u>4</u>	<u>5</u>	<u>5</u>	<u>5</u>
<u>Min Street side setback (ft)</u>		<u>10<sup>(3)</sup></u>	<u>15<sup>(3)</sup></u>	<u>15<sup>(3)</sup></u>	<u>15<sup>(3)</sup></u>
<u>Min Rear setback (ft)</u>		<u>4</u>	<u>5</u>	<u>5</u>	<u>5</u>
<u>Setback requirements for resubdivided corner lots [See Section 113.0246(f)]</u>		<u>applies</u>	<u>applies</u>	<u>applies</u>	<u>applies</u>
<u>Max structure height (ft)</u>		<u>30</u>	<u>30</u>	<u>30</u>	<u>40</u>
<u>Max number of building stories</u> [See also Section 1516.0125(d)]		<u>2</u>	<u>2</u>	<u>2</u>	<u>3</u>
<u>Maximum structure footprint (sf)</u>					
<u>1-story</u>		<u>6,000</u>	<u>6,000</u>	<u>6,000</u>	<u>6,000</u>
<u>2-story</u>		<u>8,000</u>	<u>8,000</u>	<u>8,000</u>	<u>8,000</u>
<u>3-story</u>		<u>12,000</u>	<u>12,000</u>	<u>12,000</u>	<u>12,000</u>
<u>Max lot coverage</u>		<u>=</u>	<u>=</u>	<u>=</u>	<u>=</u>

<b><u>Lot Coverage for sloping lots</u></b> [See Section 1516.0132]	<u>applies</u>	<u>=</u>	<u>=</u>	<u>=</u>
<b><u>Max floor area ratio</u></b>	<u>0.6</u>	<u>0.7</u>	<u>1.0</u>	<u>1.2</u>
<b><u>Max paving/hardscape</u></b>	<u>=</u>	<u>=</u>	<u>=</u>	<u>=</u>
<b><u>Accessory uses and structures</u></b> [See Section 1516.0131 and 141.0307]	<u>applies</u>	<u>applies</u>	<u>applies</u>	<u>applies</u>
<b><u>Ground-floor Heights</u></b>	<u>=</u>	<u>=</u>	<u>=</u>	<u>=</u>
<b><u>Pedestrian Paths</u></b>	<u>=</u>	<u>applies</u>	<u>applies</u>	<u>applies</u>
<b><u>Transparency</u></b> [See Section 1516.0127(b)]	<u>applies</u>	<u>applies</u>	<u>applies</u>	<u>applies</u>
<b><u>Lot consolidation regulations</u></b>	<u>=</u>	<u>=</u>	<u>=</u>	<u>=</u>
<b><u>Garage regulations</u></b>	<u>=</u>	<u>=</u>	<u>=</u>	<u>=</u>
<b><u>Building spacing</u></b> [See Section 1516.0133]	<u>applies</u>	<u>applies</u>	<u>applies</u>	<u>applies</u>
<b><u>Max third story dimensions</u></b>	<u>=</u>	<u>=</u>	<u>=</u>	<u>=</u>
<b><u>Storage requirements</u></b> [See Section 1516.0127(f)]	<u>applies</u>	<u>applies</u>	<u>applies</u>	<u>applies</u>
<b><u>Private exterior open space</u></b>	<u>=</u>	<u>=</u>	<u>=</u>	<u>=</u>
<b><u>Common open space</u></b> [See Section 1516.0127(c)]	<u>=</u>	<u>applies</u>	<u>applies</u>	<u>applies</u>
<b><u>Architectural projections and encroachments</u></b>	<u>=</u>	<u>=</u>	<u>=</u>	<u>=</u>
<b><u>Supplemental requirements</u></b>	<u>=</u>	<u>=</u>	<u>=</u>	<u>=</u>
<b><u>Bedroom regulations</u></b> <sup>(4)</sup>	<u>applies</u>	<u>=</u>	<u>=</u>	<u>=</u>
<b><u>Refuse and Recyclable Material Storage</u></b> [See Section 142.0805]	<u>applies</u>	<u>applies</u>	<u>applies</u>	<u>applies</u>
<b><u>Visibility Area</u></b> [See Section 113.0273]	<u>=</u>	<u>=</u>	<u>=</u>	<u>=</u>

**Footnotes for Table 1516-01C**

- <sup>1</sup> For the OTRS zone (Residential - Single Unit) the maximum permitted density is no more than one dwelling unit on a lot as determined in accordance with Section 113.0222.
- <sup>2</sup> For the OTRM zones (Residential - Multiple Unit) the maximum permitted density is one dwelling unit per specified square foot of lot area as determined in accordance with Section 113.0222.
- <sup>3</sup> For lots where at least one-half of the front 50 feet of the lot depth has a minimum slope gradient of 25 percent, the setback closest to the street frontage may be reduced to a minimum of 6 feet.
- <sup>4</sup> Single dwelling units on lots less than 10,000 square feet shall be limited to a maximum of six bedrooms.



**§ 1516.0115 Purpose of the Old Town San Diego Commercial Zones (OTCC; OTMCR)**

- (a) The OTCC-1-1 zone is intended to accommodate development with a pedestrian orientation and allows community-serving uses with no residential uses.
- (b) The following zones allow a mix of pedestrian-oriented community-serving commercial uses and residential uses:
  - (1) OTCC-2-1 is intended to accommodate development with a pedestrian orientation and permits a maximum density of one dwelling unit for each 1,750 square feet of lot area, with an active frontage requirement.
  - (2) OTCC-2-2 is intended to accommodate development with a pedestrian orientation and permits a maximum density of one dwelling unit for each 1,750 square feet of lot area.
  - (3) OTCC-2-3 is intended to accommodate development with a pedestrian orientation and permits a maximum density of one dwelling unit for each 1,200 square feet of lot area.
- (c) The following zones allow a mix of pedestrian-oriented community and visitor-serving commercial and residential uses:
  - (1) OTCC-3-1 is intended to accommodate development with a pedestrian orientation and permits a maximum density of one dwelling unit for each 1,750 square feet of lot area.
  - (2) OTCC-3-2 is intended to accommodate development with a pedestrian orientation and permits a maximum density of one dwelling unit for each 1,750 square feet of lot area.

(d) The following zones allow a mix of pedestrian-oriented community and visitor-serving commercial uses and residential uses, or stand-alone residential uses:

(1) OTMCR-1-1 is intended to accommodate development with a pedestrian orientation and permits a maximum density of one dwelling unit for each 1,000 square feet of lot area.

(2) OTMCR-1-2 is intended to accommodate development with a pedestrian orientation and permits a maximum density of one dwelling unit for each 800 square feet of lot area.

(3) OTMCR-1-3 is intended to accommodate development with a pedestrian orientation and permits a maximum density of one dwelling unit for each 600 square feet of lot area.

**§ 1516.0116 Use Regulations for Old Town San Diego Commercial Zones**

(a) The uses permitted in Old Town San Diego commercial zones may be further limited by the following:

(1) Use limitations applicable to the Airport Land Use Compatibility Overlay Zone (Chapter 13, Article 2, Division 15);

(2) The presence of environmentally sensitive lands, pursuant to Chapter 14, Article 3, Division 1 (Environmentally Sensitive Lands Regulations); and

(3) Any other applicable provision of the San Diego Municipal Code.

(b) Within the Old Town San Diego commercial zones, no premises shall be used or maintained except for one or more of the purposes or activities listed in Table 1516-01D. It is unlawful to establish, maintain, or use any

premises for any purpose or activity not listed in this Section 1516.0116 or Table 1516-01D.

- (c) All uses or activities permitted in the Old Town San Diego commercial zones shall be conducted entirely within an enclosed building unless the use or activity is traditionally conducted outdoors.
- (d) Accessory uses in the Old Town San Diego commercial zones may be permitted in accordance with Section 131.0125.
- (e) Temporary uses in the Old Town San Diego commercial zones may be permitted with a Temporary Use Permit in accordance with Chapter 12, Article 3, Division 4.
- (f) For any use that cannot be readily classified, the City Manager shall determine the appropriate use category and use subcategory pursuant to Section 131.0110.

**§ 1516.0117 Use Regulations Table for Old Town San Diego Commercial Zones**

**Legend for Table 1516-01D**

<u>Symbol in Table 1516-01D</u>	<u>Description of Symbol</u>
<u>P</u>	<u>Use or use category is permitted. Regulations pertaining to a specific use may be referenced.</u>
<u>L</u>	<u>Use is permitted with limitations, which may include location limitations or the requirement for a use or development permit. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).</u>
<u>N</u>	<u>Neighborhood Use Permit Required. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).</u>
<u>C</u>	<u>Conditional Use Permit Required. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).</u>
<u>=</u>	<u>Use or use category is not permitted.</u>

**Table 1516-01D**  
**Use Regulations for Old Town San Diego Commercial Zones**

<b>Use Categories/Subcategories</b> [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	<b>Zone Designator</b>	<b>Zones</b>								
	1st & 2nd >>	<b>OTCC-</b>						<b>OTMCR-</b>		
	3rd >>	1-	2-			3-		1		
	4th >>	<u>1</u>	<u>1</u>	<u>2</u>	<u>3</u>	<u>1</u>	<u>2</u>	<u>1</u>	<u>2</u>	<u>3</u>
<b>Open Space</b>										
<b>Active Recreation</b>	=	=	=	=	=	=	=	=	=	=
<b>Passive Recreation</b>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<b>Natural Resources Preservation</b>	=	=	=	=	=	=	=	=	=	=
<b>Park Maintenance Facilities</b>	=	=	=	=	=	=	=	=	=	=
<b>Agriculture</b>										
<b>Agricultural Processing</b>	=	=	=	=	=	=	=	=	=	=
<b>Aquaculture Facilities</b>	=	=	=	=	=	=	=	=	=	=
<b>Dairies</b>	=	=	=	=	=	=	=	=	=	=
<b>Horticulture Nurseries &amp; Greenhouses</b>	=	=	=	=	=	=	=	=	=	=
<b>Raising &amp; Harvesting of Crops</b>	=	=	=	=	=	=	=	=	=	=
<b>Raising, Maintaining &amp; Keeping of Animals</b>	=	=	=	=	=	=	=	=	=	=
<b>Separately Regulated Agriculture Uses</b>										
<b>Agricultural Equipment Repair Shops</b>	=	=	=	=	=	=	=	=	=	=
<b>Commercial Stables</b>	=	=	=	=	=	=	=	=	=	=
<b>Community Gardens</b>	<u>L</u>	<u>L</u>	<u>L</u>	<u>L</u>	<u>L</u>	<u>L</u>	<u>L</u>	<u>L</u>	<u>L</u>	<u>L</u>
<b>Equestrian Show &amp; Exhibition Facilities</b>	=	=	=	=	=	=	=	=	=	=
<b>Open Air Markets for the Sale of Agriculture-Related Products &amp; Flowers</b>	=	=	=	=	=	=	=	=	=	=
<b>Residential</b>										
<b>Mobilehome Parks</b>	=	=	=	=	=	=	=	=	=	=
<b>Multiple Dwelling Units</b>	=	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<b>Rooming House [See Section 131.0112(a)(3)(A)]</b>	=	=	=	=	=	=	=	=	=	=
<b>Shopkeeper Units</b>	=	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<b>Single Dwelling Units</b>	=	=	=	=	=	=	=	=	=	=
<b>Separately Regulated Residential Uses</b>										
<b>Boarder &amp; Lodger Accommodations</b>	=	<u>L</u>	<u>L</u>	<u>L</u>	<u>L</u>	<u>L</u>	<u>L</u>	<u>L</u>	<u>L</u>	<u>L</u>
<b>Companion Units</b>	=	=	=	=	=	=	=	=	=	=
<b>Employee Housing:</b>										
<b>6 or Fewer Employees</b>	=	=	=	=	=	=	=	=	=	=

<u>Use Categories/Subcategories</u> [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone</u>	<u>Zones</u>								
	<u>Designator</u>	<u>OTCC-</u>						<u>OTMCR-</u>		
	1st & 2nd >>	<u>1-</u>			<u>2-</u>			<u>3-</u>		<u>1</u>
	3rd >>	<u>1</u>	<u>2</u>	<u>3</u>	<u>1</u>	<u>2</u>	<u>1</u>	<u>2</u>	<u>3</u>	
4th >>	<u>1</u>	<u>1</u>	<u>2</u>	<u>3</u>	<u>1</u>	<u>2</u>	<u>1</u>	<u>2</u>	<u>3</u>	
<u>12 or Fewer Employees</u>		:	:	:	:	:	:	:	:	
<u>Greater than 12 Employees</u>		:	:	:	:	:	:	:	:	
<u>Fraternities, Sororities and Student Dormitories</u>		:	:	:	:	:	:	:	:	
<u>Garage, Yard, &amp; Estate Sales</u>		:	:	:	:	:	:	:	:	
<u>Guest Quarters</u>		:	:	:	:	:	:	:	:	
<u>Home Occupations</u>		:	L		L		L		L	
<u>Housing for Senior Citizens</u>		:	:		C		C		C	
<u>Junior Units</u>		:	:		:		:		:	
<u>Live/Work Quarters</u>		:	L		L		L		L	
<u>Residential Care Facilities:</u>										
<u>6 or Fewer Persons</u>		:	:		:		P		P	
<u>7 or More Persons</u>		:	:		:		C		C	
<u>Transitional Housing:</u>										
<u>6 or Fewer Persons</u>		:	:		:		:		:	
<u>7 or More Persons</u>		:	:		:		:		:	
<u>Watchkeeper Quarters</u>		L	:		:		:		:	
<b><u>Institutional</u></b>										
<b><u>Separately Regulated Institutional Uses</u></b>										
<u>Airports</u>		:	:		:		:		:	
<u>Botanical Gardens &amp; Arboretums</u>		:	:		:		:		:	
<u>Cemeteries, Mausoleums, Crematories</u>		:	:		:		:		:	
<u>Correctional Placement Centers</u>		:	:		:		:		:	
<u>Educational Facilities:</u>										
<u>Kindergarten through Grade 12</u>		:	:	C	C		C		C	
<u>Colleges / Universities</u>		C	:	:	P		:		C	
<u>Vocational / Trade School</u>		:	:				:		:	
<u>Energy Generation &amp; Distribution Facilities</u>		:	:		:		:		:	
<u>Exhibit Halls &amp; Convention Facilities</u>		:	:		:		:		:	
<u>Flood Control Facilities</u>		L	:	L	L		L		L	
<u>Historical Buildings Used for Purposes Not Otherwise Allowed</u>		C		C			C		C	
<u>Homeless Facilities:</u>										
<u>Congregate Meal Facilities</u>		:	:		:		:		:	
<u>Emergency Shelters</u>		:	:		:		:		:	
<u>Homeless Day Centers</u>		:	:		:		:		:	
<u>Hospitals, Intermediate Care Facilities &amp; Nursing Facilities</u>		:	:		:		:		:	
<u>Interpretive Centers</u>		P		P			P		P	

<u>Use Categories/Subcategories</u> [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone Designator</u>	<u>Zones</u>								
	1st & 2nd >>	<u>OTCC-</u>						<u>OTMCR-</u>		
	3rd >>	<u>1-</u>	<u>2-</u>			<u>3-</u>		<u>1</u>		
	4th >>	<u>1</u>	<u>1</u>	<u>2</u>	<u>3</u>	<u>1</u>	<u>2</u>	<u>1</u>	<u>2</u>	<u>3</u>
<u>Museums</u>		<u>P</u>	<u>P</u>			<u>P</u>		<u>P</u>		
<u>Major Transmission, Relay, or Communications Switching Stations</u>		=	=			=		=		
<u>Placemaking on Private Property</u>		<u>L<sup>(1)</sup></u>	<u>L<sup>(1)</sup></u>			<u>L<sup>(1)</sup></u>		<u>L<sup>(1)</sup></u>		
<u>Satellite Antennas</u>		<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>			<u>N<sup>(2)</sup></u>		<u>N<sup>(2)</sup></u>		
<u>Social Service Institutions</u>		=	=			=		=		
<u>Solar Energy Systems</u>		<u>L</u>	<u>L</u>			<u>L</u>		<u>L</u>		
<u>Wireless Communication Facility:</u>										
<u>Wireless communication facility in the public right-of-way with subterranean equipment adjacent to a non-residential use</u>		=	=			=		=		
<u>Wireless communication facility in the public right-of-way with subterranean equipment adjacent to a residential use</u>		=	=			=		=		
<u>Wireless communication facility in the public right-of-way with above ground equipment</u>		=	=			=		=		
<u>Wireless communication facility outside the public right-of-way</u>		=	=			=		=		
<b><u>Retail Sales</u></b>										
<b><u>Building Supplies &amp; Equipment</u></b>		=	=			=		=		
<b><u>Food, Beverages and Groceries</u></b>		<u>p<sup>(3)</sup></u>	<u>p<sup>(3)</sup></u>			<u>p<sup>(3)</sup></u>		<u>p<sup>(2)</sup></u>		
<b><u>Consumer Goods, Furniture, Appliances, Equipment</u></b>		<u>p<sup>(3)</sup></u>	<u>p<sup>(3)</sup></u>			<u>p<sup>(3)</sup></u>		<u>p<sup>(3,4)</sup></u>		
<b><u>Pets &amp; Pet Supplies</u></b>		<u>p<sup>(3)</sup></u>	=	<u>p<sup>(3)</sup></u>	<u>p<sup>(3)</sup></u>	<u>p<sup>(3)</sup></u>		<u>p<sup>(3)</sup></u>		
<b><u>Sundries, Pharmaceutical, &amp; Convenience Sales</u></b>		<u>p<sup>(3)</sup></u>	=	<u>p<sup>(3)</sup></u>	<u>p<sup>(3)</sup></u>	<u>p<sup>(2)</sup></u>		<u>p<sup>(3)</sup></u>		
<b><u>Wearing Apparel &amp; Accessories</u></b>		<u>p<sup>(3)</sup></u>	<u>p<sup>(3)</sup></u>			<u>p<sup>(3)</sup></u>		<u>p<sup>(3)</sup></u>		
<b><u>Separately Regulated Retail Sales Uses</u></b>										
<u>Agriculture Related Supplies &amp; Equipment</u>		=	=			=		=		
<u>Alcoholic Beverage Outlets</u>		<u>L</u>	<u>L</u>			=		=		
<u>Farmers' Markets</u>										
<u>Weekly Farmers' Markets</u>		<u>L</u>	<u>L</u>			<u>L</u>		<u>L</u>		
<u>Daily Farmers' Market Stands</u>		<u>L</u>	<u>L</u>			<u>L</u>		<u>L</u>		
<u>Marijuana Outlets</u>		=	=			=		=		
<u>Plant Nurseries</u>		=	=			=		=		
<u>Retail Farms</u>		=	=			=		=		
<u>Retail Tasting Rooms</u>		<u>L</u>	<u>L</u>			<u>L</u>		<u>L</u>		

<u>Use Categories/Subcategories</u> [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone</u>	<u>Zones</u>								
	<u>Designator</u>	<u>OTCC-</u>						<u>OTMCR-</u>		
	1st & 2nd >>									
	3rd >>	<u>1-</u>	<u>2-</u>		<u>3-</u>		<u>1</u>			
4th >>	<u>1</u>	<u>1</u>	<u>2</u>	<u>3</u>	<u>1</u>	<u>2</u>	<u>1</u>	<u>2</u>	<u>3</u>	
<u>Swap Meets &amp; Other Large Outdoor Retail Facilities</u>		=	=	=	=	=	=	=	=	
<b><u>Commercial Services</u></b>										
<b><u>Building Services</u></b>		=	=	=	=	=	=	=	=	
<b><u>Business Support</u></b>		=	=	=	P	P	P	P	P	
<b><u>Eating &amp; Drinking Establishments</u></b>		<u>p(5)</u>	<u>p(5)</u>	<u>p(5)</u>	<u>p(5)</u>	<u>p(5)</u>	<u>p(3,5)</u>	<u>p(3,5)</u>	<u>p(3,5)</u>	
<b><u>Financial Institutions</u></b>		P	P	P	P	P	P	P	P	
<b><u>Funeral &amp; Mortuary Services</u></b>		=	=	=	=	=	=	=	=	
<b><u>Instructional Studios</u></b>		P	P	P	P	P	P	P	P	
<b><u>Maintenance &amp; Repair</u></b>		=	=	=	=	=	=	=	=	
<b><u>Off-site Services</u></b>		=	=	=	=	=	=	=	=	
<b><u>Personal Services</u></b>		P	=	P	P	P	P	P	P	
<b><u>Radio &amp; Television Studios</u></b>		=	=	=	=	=	=	=	=	
<b><u>Tasting Rooms</u></b>		=	=	=	=	=	=	=	=	
<b><u>Visitor Accommodations</u></b>		P	=	=	P	P	P	P	P	
<b><u>Separately Regulated Commercial Services Uses</u></b>										
<b><u>Adult Entertainment Establishments:</u></b>										
<u>Adult Book Store</u>		=	=	=	=	=	=	=	=	
<u>Adult Cabaret</u>		=	=	=	=	=	=	=	=	
<u>Adult Drive-In Theater</u>		=	=	=	=	=	=	=	=	
<u>Adult Mini-Motion Picture Theater</u>		=	=	=	=	=	=	=	=	
<u>Adult Model Studio</u>		=	=	=	=	=	=	=	=	
<u>Adult Motel</u>		=	=	=	=	=	=	=	=	
<u>Adult Motion Picture Theater</u>		=	=	=	=	=	=	=	=	
<u>Adult Peep Show Theater</u>		=	=	=	=	=	=	=	=	
<u>Adult Theater</u>		=	=	=	=	=	=	=	=	
<u>Body Painting Studio</u>		=	=	=	=	=	=	=	=	
<u>Massage Establishment</u>		=	=	=	=	=	=	=	=	
<u>Sexual Encounter Establishment</u>		=	=	=	=	=	=	=	=	
<b><u>Assembly and Entertainment Uses, Including Places of Religious Assembly</u></b>		<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	
<b><u>Bed &amp; Breakfast Establishments:</u></b>										
<u>1-2 Guest Rooms</u>		=	=	=	P	P	P	P	P	
<u>3-5 Guest Rooms</u>		=	=	=	P	P	P	P	P	
<u>6+ Guest Rooms</u>		=	=	=	P	P	P	P	P	
<u>Boarding Kennels/Pet Day Care</u>		=	=	=	N	N	N	N	N	
<u>Camping Parks</u>		=	=	=	=	=	=	=	=	
<b><u>Child Care Facilities:</u></b>										

<u>Use Categories/Subcategories</u> [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone</u>	<u>Zones</u>								
	<u>Designator</u>	<u>OTCC-</u>						<u>OTMCR-</u>		
	<u>1st &amp; 2nd &gt;&gt;</u>	<u>1-</u>			<u>2-</u>			<u>3-</u>		
	<u>3rd &gt;&gt;</u>	<u>1</u>	<u>2</u>	<u>3</u>	<u>1</u>	<u>2</u>	<u>3</u>	<u>1</u>	<u>2</u>	<u>3</u>
<u>Child Care Centers</u>		:	:		<u>L</u>	<u>L</u>		<u>L</u>		
<u>Large Family Child Care Homes</u>		:	:		<u>L</u>	<u>L</u>		<u>L</u>		
<u>Small Family Child Care Homes</u>		:	:		<u>L</u>	<u>L</u>		<u>L</u>		
<u>Eating and Drinking Establishments with a Drive-in or Drive-through Component</u>		:	:		:			:		
<u>Fairgrounds</u>		:	:		:			:		
<u>Golf Courses, Driving Ranges, and Pitch &amp; Putt Courses</u>		:	:		:			:		
<u>Helicopter Landing Facilities</u>		:	:		:			:		
<u>Massage Establishments, Specialized Practice</u>		:	:			<u>L</u>		:		
<u>Medical Marijuana Consumer Cooperatives</u>		:	:					:		
<u>Mobile Food Trucks</u>		:	:		<u>L</u> <sup>(6)</sup>	<u>L</u> <sup>(6)</sup>		<u>L</u> <sup>(6)</sup>		
<u>Nightclubs &amp; Bars Over 5,000 Square Feet in Size</u>		:	:		:			:		
<u>Parking Facilities as a Primary Use:</u>										
<u>Permanent Parking Facilities</u>		<u>C</u>	:	<u>C</u>	<u>C</u>		<u>C</u>		<u>C</u>	
<u>Temporary Parking Facilities</u>		<u>C</u>	:	<u>C</u>	<u>C</u>		<u>C</u>		<u>C</u>	
<u>Private Clubs, Lodges and Fraternal Organizations</u>		:	:			<u>C</u>	:	:		
<u>Privately Operated, Outdoor Recreation Facilities Over 40,000 Square Feet in Size</u>		:	:					:		
<u>Pushcarts:</u>										
<u>Pushcarts on Private Property</u>		<u>L</u>	:			<u>L</u>		<u>L</u>		
<u>Pushcarts in Public Right-of-Way</u>		:	:					:		
<u>Recycling Facilities:</u>										
<u>Large Collection Facility</u>		:	:					:		
<u>Small Collection Facility</u>		:	:					:		
<u>Large Construction &amp; Demolition Debris Recycling Facility</u>		:	:					:		
<u>Small Construction &amp; Demolition Debris Recycling Facility</u>		:	:					:		
<u>Drop-off Facility</u>		:	:					:		
<u>Green Materials Composting Facility</u>		:	:					:		
<u>Mixed Organic Composting Facility</u>		:	:					:		
<u>Large Processing Facility Accepting at Least 98% of Total Annual Weight of Recyclables from Commercial &amp; Industrial Traffic</u>		:	:					:		



<u>Use Categories/Subcategories</u> [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone</u>	<u>Zones</u>								
	<u>Designator</u>	<u>OTCC-</u>						<u>OTMCR-</u>		
	<u>1st &amp; 2nd &gt;&gt;</u>	<u>1-</u>			<u>2-</u>			<u>3-</u>		
	<u>3rd &gt;&gt;</u>	<u>1</u>	<u>2</u>	<u>3</u>	<u>1</u>	<u>2</u>	<u>3</u>	<u>1</u>	<u>2</u>	<u>3</u>
<u>Large Processing Facility Accepting All Types of Traffic</u>		=	=	=	=	=	=	=	=	=
<u>Small Processing Facility Accepting at Least 98% of Total Annual Weight of Recyclables From Commercial &amp; Industrial Traffic</u>		=	=	=	=	=	=	=	=	=
<u>Small Processing Facility Accepting All Types of Traffic</u>		=	=	=	=	=	=	=	=	=
<u>Reverse Vending Machines</u>		=	=	=	=	=	=	=	=	=
<u>Tire Processing Facility</u>		=	=	=	=	=	=	=	=	=
<u>Sidewalk Cafes</u>		=	=	=	=	=	=	=	=	=
<u>Sports Arenas &amp; Stadiums</u>		=	=	=	=	=	=	=	=	=
<u>Theaters that are Outdoor or Over 5,000 Square Feet in Size</u>		<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>
<u>Urgent Care Facilities</u>		<u>N</u>	=	=	<u>N</u>	=	=	=	=	=
<u>Veterinary Clinics &amp; Animal Hospitals</u>		<u>L</u>	=	=	<u>L</u>	=	=	<u>N</u>	=	=
<u>Zoological Parks</u>		=	=	=	=	=	=	=	=	=
<b><u>Offices</u></b>										
<b><u>Business &amp; Professional</u></b>		<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<b><u>Government</u></b>		<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<b><u>Medical, Dental &amp; Health Practitioner</u></b>		<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<b><u>Regional &amp; Corporate Headquarters</u></b>		<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<b><u>Separately Regulated Office Uses</u></b>										
<u>Real Estate Sales Offices &amp; Model Homes</u>		<u>L</u>	<u>L</u>	<u>L</u>	<u>L</u>	<u>L</u>	<u>L</u>	=	=	=
<u>Sex Offender Treatment &amp; Counseling</u>		=	=	=	=	=	=	=	=	=
<b><u>Vehicle &amp; Vehicular Equipment Sales &amp; Service</u></b>										
<b><u>Commercial Vehicle Repair &amp; Maintenance</u></b>		=	=	=	=	=	=	=	=	=
<b><u>Commercial Vehicle Sales &amp; Rentals</u></b>		=	=	=	=	=	=	=	=	=
<b><u>Personal Vehicle Repair &amp; Maintenance</u></b>		=	=	=	=	=	=	=	=	=
<b><u>Personal Vehicle Sales &amp; Rentals</u></b>		=	=	=	=	=	=	=	=	=
<b><u>Vehicle Equipment &amp; Supplies Sales &amp; Rentals</u></b>		=	=	=	=	=	=	=	=	=
<b><u>Separately Regulated Vehicle &amp; Vehicular Equipment Sales &amp; Service Uses</u></b>										
<u>Automobile Service Stations</u>		=	=	=	=	=	=	=	=	=
<u>Outdoor Storage &amp; Display of New, Unregistered Motor Vehicles as a Primary Use</u>		=	=	=	=	=	=	=	=	=

<u>Use Categories/Subcategories</u> [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone</u>	<u>Zones</u>								
	<u>Designator</u>	<u>OTCC-</u>						<u>OTMCR-</u>		
	<u>1st &amp; 2nd &gt;&gt;</u>	<u>1-</u>			<u>2-</u>			<u>3-</u>		
	<u>3rd &gt;&gt;</u>	<u>1</u>	<u>2</u>	<u>3</u>	<u>1</u>	<u>2</u>	<u>3</u>	<u>1</u>	<u>2</u>	<u>3</u>
<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>	<u>2</u>	<u>3</u>	<u>1</u>	<u>2</u>	<u>1</u>	<u>2</u>	<u>3</u>	
<b><u>Distribution and Storage</u></b>										
<u>Equipment &amp; Materials Storage Yards</u>	:	:	:	:	:	:	:	:	:	:
<u>Moving &amp; Storage Facilities</u>	:	:	:	:	:	:	:	:	:	:
<u>Distribution Facilities</u>	:	:	:	:	:	:	:	:	:	:
<b><u>Separately Regulated Distribution and Storage Uses</u></b>										
<u>Impound Storage Yards</u>	:	:	:	:	:	:	:	:	:	:
<u>Junk Yards</u>	:	:	:	:	:	:	:	:	:	:
<u>Temporary Construction Storage Yards Located Off-site</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
<b><u>Industrial</u></b>										
<u>Heavy Manufacturing</u>	:	:	:	:	:	:	:	:	:	:
<u>Light Manufacturing</u>	:	:	:	:	:	:	:	:	:	:
<u>Marine Industry</u>	:	:	:	:	:	:	:	:	:	:
<u>Research &amp; Development</u>	:	:	:	:	:	:	:	:	:	:
<u>Testing Labs</u>	:	:	:	:	:	:	:	:	:	:
<u>Trucking &amp; Transportation Terminals</u>	:	:	:	:	:	:	:	:	:	:
<b><u>Separately Regulated Industrial Uses</u></b>										
<u>Hazardous Waste Research Facility</u>	:	:	:	:	:	:	:	:	:	:
<u>Hazardous Waste Treatment Facility</u>	:	:	:	:	:	:	:	:	:	:
<u>Marijuana Production Facilities</u>	:	:	:	:	:	:	:	:	:	:
<u>Marine Related Uses Within the Coastal Overlay Zone</u>	:	:	:	:	:	:	:	:	:	:
<u>Newspaper Publishing Plants</u>	:	:	:	:	:	:	:	:	:	:
<u>Processing &amp; Packaging of Plant Products &amp; Animal By-products Grown Off-premises</u>	:	:	:	:	:	:	:	:	:	:
<u>Very Heavy Industrial Uses</u>	:	:	:	:	:	:	:	:	:	:
<u>Wrecking &amp; Dismantling of Motor Vehicles</u>	:	:	:	:	:	:	:	:	:	:
<b><u>Signs</u></b>										
<u>Allowable Signs</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<b><u>Separately Regulated Signs Uses</u></b>										
<u>Community Entry Signs</u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>
<u>Neighborhood Identification Signs</u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>
<u>Comprehensive Sign Program</u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>	<u>N<sup>(2)</sup></u>
<u>Revolving Projecting Signs</u>	:	:	:	:	:	:	:	:	:	:
<u>Signs with Automatic Changing Copy</u>	:	:	:	:	:	:	:	:	:	:
<u>Theater Marquees</u>	:	:	:	:	:	:	:	:	:	:

**Footnotes for Table 1516-01D**

- <sup>1</sup> Placemaking projects in OTCC and OTMCR zones shall not include retail sales or commercial services uses except as accessory uses to serve the placemaking use, and shall operate only between the hours of 7:00 a.m. and 10:00 p.m., unless a separate Temporary Use Permit is obtained.
- <sup>2</sup> Only one exterior receiving antenna per dwelling unit is permitted. Any satellite antennas as described in Land Development Code Section 141.0405 shall be screened from view and are subject to review by the Design Review Board and approval by the City Manager.
- <sup>3</sup> Development of a large retail establishment is subject to Section 143.0302.
- <sup>4</sup> The sale of alcoholic beverages is not permitted as a primary use.
- <sup>5</sup> Eating and drinking establishments abutting residential development located in a residential zone may operate only between 6:00 a.m. and 12:00 midnight. All uses or activities shall be conducted entirely within an enclosed building and front onto the primary street with no uses or commercial activities conducted outdoors in the rear yard adjacent to residentially-zoned properties.
- <sup>6</sup> This use is only permitted as a limited use subject to a mobile food truck permit in accordance with Section 123.0603 and the separately regulated use regulations in Section 141.0612.
- <sup>7</sup> Sign design and placement shall conform to the regulations in Sections 1516.0139 and 1516.0140.

**§ 1516.0118 Development Regulations for Old Town San Diego Commercial Zones**

- (a) Within the Old Town San Diego commercial zones, no structure or improvement shall be constructed, established, or altered, nor shall any premises be used unless the premises complies with Table 1516-01E, the regulations and standards in this Division, and applicable development regulations in Chapter 13, Article 2 (Overlay Zones) and Chapter 14 (General and Supplemental Regulations).
- (b) A Neighborhood Development Permit or Site Development Permit is required for the types of development identified in Table 143-03A.
- (c) The regulations in this Division apply to all development in the Old Town San Diego commercial zones whether or not a permit or other approval is required, except where specifically identified.

**§ 1516.0119 Development Regulations Table for Old Town San Diego Commercial Zones**

**Table 1516-01E**  
**Development Regulations for OTCC and OTMCR Zones**

Development Regulations	Zone	Zones									
		1st & 2nd >> 3rd >>	OTCC-						OTMCR-		
			1-	2-	2-	2-	3-	3-	1-		
			<u>1</u>	<u>1</u>	<u>2</u>	<u>3</u>	<u>1</u>	<u>2</u>	<u>1</u>	<u>2</u>	<u>3</u>
<b>Max Permitted Residential Density<sup>(1)</sup></b>		==	<u>1,750</u>	<u>1,750</u>	<u>1,200</u>	<u>1,750</u>	<u>1,750</u>	<u>1,000</u>	<u>800</u>	<u>600</u>	
<b>Mixed-Use Requirement</b> [See Section 1516.0135]		==	applies	applies	applies	applies	applies	==	==	==	
<b>Active Ground Floor Use Requirement</b> [See Section 1516.0137]		applies	applies	applies	applies	applies	applies	==	applies	==	
<b>Lot Area</b>											
Min Lot Area (sq. ft.)		==	<u>2,500</u>	<u>2,500</u>	<u>2,500</u>	<u>2,500</u>	<u>2,500</u>	<u>2,500</u>	<u>2,500</u>	<u>2,500</u>	
Max Lot Area (ac)		==	==	==	==	==	==	==	==	==	
<b>Lot Dimensions</b>											
Min Lot Width (ft)		<u>50</u>	<u>50</u>	<u>50</u>	<u>100</u>	<u>100</u>	<u>100</u>	==	==	==	
Min Street Frontage (ft)		==	==	==	==	==	==	==	==	==	
Min Lot Depth (ft)		==	==	==	==	==	==	==	==	==	
Max Lot Depth (ft)		==	==	==	==	==	==	==	==	==	
<b>Setback Requirements<sup>(2)</sup></b>											
Min Front Setback (ft)		<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	
Max Front Setback (ft)		<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	
Min Side Setback (ft)		<u>5</u>	<u>5</u>	<u>5</u>	<u>5</u>	<u>5</u>	<u>5</u>	<u>5</u>	<u>5</u>	<u>5</u>	
Optional Side Setback (ft)		==	==	==	==	==	==	==	==	==	
Side Setback Abutting Residential		<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	
Min Street Side Setback (ft)		<u>10</u>	<u>0</u>	<u>0</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	
Max Front Setback (ft)		==	==	==	==	==	==	==	==	==	
Min Rear Setback (ft)		<u>5</u>	<u>5</u>	<u>5</u>	<u>5</u>	<u>5</u>	<u>5</u>	<u>5</u>	<u>5</u>	<u>5</u>	
Rear Setback Abutting Residential		<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	<u>10</u>	
<b>Max Structure Height (ft)</b>		<u>45</u>	<u>30</u>	<u>30</u>	<u>36</u>	<u>36</u>	<u>45</u>	<u>30</u>	<u>36</u>	<u>45</u>	
<b>Max Number of Stories</b> [See also Section 1516.0125(d)]		<u>3</u>	<u>2</u>	<u>2</u>	<u>3</u>	<u>3</u>	<u>3</u>	<u>2</u>	<u>3</u>	<u>4</u>	
<b>Min Lot Coverage (%)<sup>(2)</sup></b>		<u>35</u>	<u>35</u>	<u>35</u>	<u>35</u>	<u>35</u>	<u>35</u>	<u>35</u>	<u>35</u>	<u>35</u>	
<b>Max Floor Area Ratio</b>		<u>2.0</u>	<u>1.0</u>	<u>1.0</u>	<u>1.2</u>	<u>1.3</u>	<u>1.3</u>	<u>1.2</u>	<u>2.0</u>	<u>2.0</u>	
Floor Area Ratio Bonus for Residential Mixed Use [See Sections 1516.0136]		==	<u>0.2</u>	<u>0.2</u>	<u>0.2</u>	==	==	==	<u>0.2</u>	<u>1.0</u>	

Development Regulations	Zone	Zones								
		OTCC-						OTMCR-		
		1-	2-	2-	2-	3-	3-	1-		
1st & 2nd >> 3rd >>	<u>1</u>	<u>1</u>	<u>2</u>	<u>3</u>	<u>1</u>	<u>2</u>	<u>1</u>	<u>2</u>	<u>3</u>	
<u>Minimum Floor Area Ratio for Residential Use</u> [See Section 1516.0136]		==	<u>0.2</u>	<u>0.2</u>	<u>0.2</u>	==	==	==	==	<u>0.2</u>
<u>Floor Area Ratio Bonus for Structured Parking</u> [See Section 1516.0138]		<u>1.0</u>	==	==	==	==	==	==	==	<u>1.0</u>
<u>Ground-Floor Height</u> [See Section 1516.0134]		applies	==	==	==	==	applies	==	==	applies
<u>Building spacing</u> [See Section 1516.0133]		applies	applies	applies	applies	applies	applies	applies	applies	applies
<u>Pedestrian Paths</u> [See Section 1516.0127(d)]		applies	applies	applies	applies	applies	applies	applies	applies	applies
<u>Transparency</u> [See Section 1516.0127(b)]		applies	applies	applies	applies	applies	applies	applies	applies	applies
<u>Building Articulation</u> [See Section 1516.0127(a)]		applies	applies	applies	applies	applies	applies	applies	applies	applies
<u>Maximum Structure Footprint (sf)</u>										
<u>1-story</u>		<u>6,000</u>	<u>6,000</u>	<u>6,000</u>	<u>6,000</u>	<u>6,000</u>	<u>6,000</u>	<u>6,000</u>	<u>6,000</u>	<u>6,000</u>
<u>2-story</u>		<u>8,000</u>	<u>8,000</u>	<u>8,000</u>	<u>8,000</u>	<u>8,000</u>	<u>8,000</u>	<u>8,000</u>	<u>8,000</u>	<u>8,000</u>
<u>3-story</u>		<u>12,000</u>	<u>12,000</u>	<u>12,000</u>	<u>12,000</u>	<u>12,000</u>	<u>12,000</u>	<u>12,000</u>	<u>12,000</u>	<u>12,000</u>
<u>Common open space</u> [See Section 1516.0127(c)]		applies	applies	applies	applies	applies	applies	applies	applies	applies
<u>Parking Lot Orientation</u>		==	==	==	==	==	==	==	==	==
<u>Refuse and Recyclable Material Storage</u> [See Section 142.0805]		applies	applies	applies	applies	applies	applies	applies	applies	applies
<u>Loading Dock and Overhead Door Screening Regulations</u> [See Section 142.1030]		applies	applies	applies	applies	applies	applies	applies	applies	applies
<u>Visibility Area</u> [See Section 113.0273]		==	==	==	==	==	==	==	==	==

**Footnotes for Table 1516-01E**

- <sup>1</sup> One dwelling unit per specified minimum square feet of lot area as determined in accordance with Section 113.0222.
- <sup>2</sup> Placemaking on private property shall not be subject to setback or minimum lot coverage regulations in accordance with Section 141.0421.

**§ 1516.0120 Purpose of the Old Town San Diego Open Space-Park Zones (OTOP)**

The OTOP zones are differentiated based on the uses allowed as follows:

- (a) OTOP 1-1 allows parks for passive uses with some active uses.
- (b) OTOP 2-1 allows parks for passive uses with some active uses that cater to visitors.

**§ 1516.0121 Use Regulations for Old Town San Diego Open Space-Park Zones**

- (a) The uses permitted in the Old Town San Diego Open Space-Park zones may be further limited by the following:
  - (1) Use limitations applicable to the Airport Land Use Compatibility Overlay Zone (Chapter 13, Article 2, Division 15);
  - (2) The presence of environmentally sensitive lands, pursuant to Chapter 14, Article 3, Division 1 (Environmentally Sensitive Lands Regulations); and
  - (3) Any other applicable provision of the San Diego Municipal Code.
- (b) Within the Old Town San Diego Open Space-Park zones, no structure or improvement, or portion thereof, shall be constructed, established, or altered, nor shall any premises be used or maintained, except for one or more of the purposes or activities listed in Table 1516-01F. It is unlawful to establish, maintain, or use any premises for any purpose or activity not listed in this Section 1516.0121 or Table 1516-01F.
- (c) All uses or activities permitted in Old Town San Diego Open Space-Park zones shall be conducted entirely within an enclosed building unless the use or activity is traditionally conducted outdoors.
- (d) Accessory uses in Old Town San Diego Open Space-Park zones may be permitted in accordance with Section 131.0125.
- (e) Temporary uses in Old Town San Diego Open Space-Park zones may be

permitted with a Temporary Use Permit in accordance with Chapter 12,

Article 3, Division 4.

- (f) For any use that cannot be readily classified, the City Manager shall determine the appropriate use category and use subcategory pursuant to Section 131.0110.

**§ 1516.0122 Use Regulations Table for Old Town San Diego Open Space-Park Zones**

**Legend for Table 1516-01F**

<u>Symbol in Tables 1516-01F</u>	<u>Description of Symbol</u>
<u>P</u>	<u>Use or use category is permitted. Regulations pertaining to a specific use may be referenced.</u>
<u>L</u>	<u>Use is permitted with limitations, which may include location limitations or the requirement for a use or development permit. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).</u>
<u>N</u>	<u>Neighborhood Use Permit Required. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).</u>
<u>C</u>	<u>Conditional Use Permit Required. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).</u>
<u>=</u>	<u>Use or use category is not permitted.</u>

**Table 1516-01F**

**Use Regulations for Old Town San Diego Open Space-Park Zones**

<u>Use Categories/ Subcategories</u>	<u>Zone Designator</u>	<u>Zones</u>	
<u>[See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]</u>	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTOP-</u>	
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>2-</u>
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>
<b><u>Open Space</u></b>			
<b><u>Active Recreation</u></b>		<u>P<sup>(1)</sup></u>	<u>P<sup>(1)</sup></u>
<b><u>Passive Recreation</u></b>		<u>P</u>	<u>P</u>
<b><u>Natural Resources Preservation</u></b>		<u>P</u>	<u>P</u>

<u>Use Categories/ Subcategories</u> [See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone Designator</u>	<u>Zones</u>	
	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTOP-</u>	
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>2-</u>
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>
<b><u>Park Maintenance Facilities</u></b>		::	::
<b><u>Agriculture</u></b>			
<b><u>Agricultural Processing</u></b>		::	::
<b><u>Aquaculture Facilities</u></b>		::	::
<b><u>Dairies</u></b>		::	::
<b><u>Horticulture Nurseries &amp; Greenhouses</u></b>		::	::
<b><u>Raising &amp; Harvesting of Crops</u></b>		::	::
<b><u>Raising, Maintaining &amp; Keeping of Animals</u></b>		::	::
<b><u>Separately Regulated Agriculture Uses</u></b>			
<u>Agricultural Equipment Repair Shops</u>		::	::
<u>Commercial Stables</u>		::	::
<u>Community Gardens</u>		<u>N</u>	<u>N</u>
<u>Equestrian Show &amp; Exhibition Facilities</u>		::	::
<u>Open Air Markets for the Sale of Agriculture- Related Products &amp; Flowers</u>		::	::
<b><u>Residential</u></b>			
<b><u>Mobilehome Parks</u></b>		::	::
<b><u>Multiple Dwelling Units</u></b>		::	::
<b><u>Rooming House [See Section 131.0112(a)(3)(A)]</u></b>		::	::
<b><u>Shopkeeper Units</u></b>		::	::
<b><u>Single Dwelling Units</u></b>		::	::
<b><u>Separately Regulated Residential Uses</u></b>			
<u>Boarder &amp; Lodger Accommodations</u>		::	::
<u>Companion Units</u>		::	::
<u>Employee Housing:</u>			



<u>Use Categories/ Subcategories</u> [See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone Designator</u>	<u>Zones</u>	
	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTOP-</u>	
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>2-</u>
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>
<u>6 or Fewer Employees</u>		="	="
<u>12 or Fewer Employees</u>		="	="
<u>Greater than 12 Employees</u>		="	="
<u>Fraternities, Sororities and Student Dormitories</u>		="	="
<u>Garage, Yard, &amp; Estate Sales</u>		="	="
<u>Guest Quarters</u>		="	="
<u>Home Occupations</u>		="	="
<u>Housing for Senior Citizens</u>		="	="
<u>Junior Units</u>		="	="
<u>Live/Work Quarters</u>		="	="
<u>Residential Care Facilities:</u>			
<u>6 or fewer persons</u>		="	="
<u>7 or more persons</u>		="	="
<u>Transitional Housing:</u>			
<u>6 or fewer persons</u>		="	="
<u>7 or more persons</u>		="	="
<u>Watchkeeper Quarters</u>		="	="
<b><u>Institutional</u></b>			
<b><u>Separately Regulated Institutional Uses</u></b>			
<u>Airports</u>		="	="
<u>Botanical Gardens &amp; Arboretums</u>		<u>P</u>	<u>P</u>
<u>Cemeteries, Mausoleums, Crematories</u>		="	="
<u>Correctional Placement Centers</u>		="	="
<u>Educational Facilities:</u>			
<u>Kindergarten through Grade 12</u>		="	="
<u>Colleges / Universities</u>		="	="
<u>Vocational / Trade School</u>		="	="
<u>Electric Vehicle Charging Stations</u>		<u>N</u>	<u>N</u>

<u>Use Categories/ Subcategories</u> [See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone Designator</u>	<u>Zones</u>	
	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTOP-</u>	
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>2-</u>
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>
<u>Energy Generation &amp; Distribution Facilities</u>		=	=
<u>Exhibit Halls &amp; Convention Facilities</u>		=	=
<u>Flood Control Facilities</u>		=	=
<u>Historical Buildings Used for Purposes Not Otherwise Allowed</u>		<u>C</u>	<u>C</u>
<u>Homeless Facilities:</u>			
<u>Congregate Meal Facilities</u>		=	=
<u>Emergency Shelters</u>		=	=
<u>Homeless Day Centers</u>		=	=
<u>Hospitals, Intermediate Care Facilities &amp; Nursing Facilities</u>		=	=
<u>Interpretive Centers</u>		<u>p<sup>(1)</sup></u>	<u>p<sup>(1)</sup></u>
<u>Museums</u>		<u>p<sup>(1)</sup></u>	<u>p<sup>(1)</sup></u>
<u>Major Transmission, Relay, or Communications Switching Stations</u>		=	=
<u>Placemaking on Private Property</u>		<u>L<sup>(2)</sup></u>	<u>L<sup>(2)</sup></u>
<u>Satellite Antennas</u>		<u>N<sup>(3)</sup></u>	<u>N<sup>(3)</sup></u>
<u>Social Service Institutions</u>		=	=
<u>Solar Energy Systems</u>		<u>L</u>	<u>L</u>
<u>Wireless Communication Facility:</u>			
<u>Wireless communication facility in the public right-of- way with subterranean equipment adjacent to a non- residential use</u>		=	=
<u>Wireless communication facility in the public right-of- way with subterranean equipment adjacent to a residential use</u>		=	=

<u>Use Categories/ Subcategories</u>	<u>Zone Designator</u>	<u>Zones</u>	
<u>[See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]</u>	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTOP-</u>	
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>2-</u>
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>
<u>Wireless communication facility in the public right-of- way with above ground equipment</u>		=	=
<u>Wireless communication facility outside the public right-of-way</u>		=	=
<b><u>Retail Sales</u></b>			
<b><u>Building Supplies &amp; Equipment</u></b>		=	=
<b><u>Food, Beverages and Groceries</u></b>		=	<u>p(l)</u>
<b><u>Consumer Goods, Furniture, Appliances, Equipment</u></b>		=	<u>p(l)</u>
<b><u>Pets &amp; Pet Supplies</u></b>		=	=
<b><u>Sundries, Pharmaceuticals, &amp; Convenience Sales</u></b>		=	=
<b><u>Wearing Apparel &amp; Accessories</u></b>		=	<u>p(l)</u>
<b><u>Separately Regulated Retail Sales Uses</u></b>			
<b><u>Agriculture Related Supplies &amp; Equipment</u></b>		=	=
<b><u>Alcoholic Beverage Outlets</u></b>		=	=
<b><u>Farmers' Markets</u></b>			
<b><u>Weekly Farmers' Markets</u></b>		=	<u>p(l)</u>
<b><u>Daily Farmers' Market Stands</u></b>		=	<u>p(l)</u>
<b><u>Marijuana Outlets</u></b>		=	=
<b><u>Plant Nurseries</u></b>		=	=
<b><u>Retail Farms</u></b>		=	=
<b><u>Retail Tasting Stores</u></b>		=	<u>p(l)</u>
<b><u>Swap Meets &amp; Other Large Outdoor Retail Facilities</u></b>		=	=
<b><u>Commercial Services</u></b>			
<b><u>Building Services</u></b>		=	=

<u>Use Categories/ Subcategories</u> [See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone Designator</u>	<u>Zones</u>	
	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTOP-</u>	
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>2-</u>
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>
<u>Business Support</u>		::	::
<u>Eating &amp; Drinking Establishments</u>		::	<u>p(1)</u>
<u>Financial Institutions</u>		::	::
<u>Funeral &amp; Mortuary Services</u>		::	::
<u>Instructional Studios</u>		::	<u>p(1)</u>
<u>Maintenance &amp; Repair</u>		::	::
<u>Off-Site Services</u>		::	::
<u>Personal Services</u>		::	<u>p(1)</u>
<u>Radio &amp; Television Studios</u>		::	::
<u>Tasting Rooms</u>		::	::
<u>Visitor Accommodations</u>		::	<u>p(1)</u>
<u>Separately Regulated Commercial Services Uses</u>			
<u>Adult Entertainment Establishments:</u>			
<u>Adult Book Store</u>		::	::
<u>Adult Cabaret</u>		::	::
<u>Adult Drive-In Theater</u>		::	::
<u>Adult Mini-Motion Picture Theater</u>		::	::
<u>Adult Model Studio</u>		::	::
<u>Adult Motel</u>		::	::
<u>Adult Motion Picture Theater</u>		::	::
<u>Adult Peep Show Theater</u>		::	::
<u>Adult Theater</u>		::	::
<u>Body Painting Studio</u>		::	::
<u>Massage Establishment</u>		::	::
<u>Sexual Encounter Establishment</u>		::	::
<u>Assembly and Entertainment Uses, Including Places of Religious Assembly</u>		::	<u>p(1)</u>

<u>Use Categories/ Subcategories</u> [See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone Designator</u>	<u>Zones</u>	
	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTOP-</u>	
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>2-</u>
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>
<u>Bed &amp; Breakfast Establishments:</u>			
<u>1-2 Guest Rooms</u>	::		<u>p(1)</u>
<u>3-5 Guest Rooms</u>	::		<u>p(1)</u>
<u>6+ Guest Rooms</u>	::		<u>p(1)</u>
<u>Boarding Kennels/ Pet Day Care</u>	::		::
<u>Camping Parks</u>	::		::
<u>Child Care Facilities:</u>			
<u>Child Care Centers</u>	::		::
<u>Large Family Child Care Homes</u>	::		::
<u>Small Family Child Care Homes</u>	::		::
<u>Eating and Drinking Establishments with a Drive-in or Drive-through</u>	::		::
<u>Fairgrounds</u>	::		::
<u>Golf Courses, Driving Ranges, and Pitch &amp; Putt Courses</u>	<u>C</u>		::
<u>Helicopter Landing Facilities</u>	::		::
<u>Massage Establishments, Specialized Practice</u>	::		::
<u>Medical Marijuana Consumer Cooperatives</u>	::		::
<u>Mobile Food Trucks</u>	::		::
<u>Nightclubs &amp; Bars over 5,000 square feet in size</u>	::		::
<u>Parking Facilities as a Primary Use:</u>			
<u>Permanent Parking Facilities</u>	::		::
<u>Temporary Parking Facilities</u>	::		::
<u>Private Clubs, Lodges and Fraternal Organizations</u>	::		::
<u>Privately Operated, Outdoor Recreation Facilities over 40,000 square feet in size</u>	<u>C(1)</u>		<u>C(1)</u>
<u>Pushcarts:</u>			
<u>Pushcarts on Private Property</u>		<u>L</u>	<u>L</u>

<u>Use Categories/ Subcategories</u> [See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]	<u>Zone Designator</u>	<u>Zones</u>	
	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTOP-</u>	
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>2-</u>
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>
<u>Pushcarts in Public Right of Way</u>		:-	:-
<u>Recycling Facilities:</u>			
<u>Large Collection Facility</u>		:-	:-
<u>Small Collection Facility</u>		:-	:-
<u>Large Construction &amp; Demolition Debris Recycling</u>		:-	:-
<u>Small Construction &amp; Demolition Debris Recycling</u>		:-	:-
<u>Drop-off Facility</u>		:-	:-
<u>Green Materials Composting Facility</u>		:-	:-
<u>Mixed Organic Composting Facility</u>		:-	:-
<u>Large Processing Facility Accepting at Least 98% of Total Annual Weight of Recyclables from Commercial &amp; Industrial</u>		:-	:-
<u>Large Processing Facility Accepting All Types of Traffic</u>		:-	:-
<u>Small Processing Facility Accepting at Least 98% of Total Annual Weight of Recyclables From Commercial &amp; Industrial</u>		:-	:-
<u>Small Processing Facility Accepting All Types of Traffic</u>		:-	:-
<u>Reverse Vending Machines</u>		:-	:-
<u>Tire Processing Facility</u>		:-	:-
<u>Sidewalk Cafes</u>		:-	:-
<u>Sports Arenas &amp; Stadiums</u>		:-	:-
<u>Theaters That Are Outdoor or over 5,000 Square Feet in Size</u>		<u>p(1)</u>	<u>p(1)</u>
<u>Urgent Care Facility</u>		:-	:-
<u>Veterinary Clinics &amp; Animal Hospitals</u>		:-	:-
<u>Zoological Parks</u>		:-	:-
<u>Offices</u>			
<u>Business &amp; Professional</u>		:-	<u>p(1)</u>

<u>Use Categories/ Subcategories</u>	<u>Zone Designator</u>	<u>Zones</u>	
[See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTOP-</u>	
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>2-</u>
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>
<u>Government</u>			<u>p(1)</u>
<u>Medical, Dental, &amp; Health Practitioner</u>			<u>p(1)</u>
<u>Regional &amp; Corporate Headquarters</u>			
<u>Separately Regulated Office Uses</u>			
<u>Real Estate Sales Offices &amp; Model Homes</u>			
<u>Sex Offender Treatment &amp; Counseling</u>			
<u>Vehicle &amp; Vehicular Equipment Sales &amp; Service</u>			
<u>Commercial Vehicle Repair &amp; Maintenance</u>			
<u>Commercial Vehicle Sales &amp; Rentals</u>			
<u>Personal Vehicle Repair &amp; Maintenance</u>			
<u>Personal Vehicle Sales &amp; Rentals</u>			
<u>Vehicle Equipment &amp; Supplies Sales &amp; Rentals</u>			
<u>Separately Regulated Vehicle &amp; Vehicular Equipment Sales &amp; Service Uses</u>			
<u>Automobile Service Stations</u>			
<u>Outdoor Storage &amp; Display of New, Unregistered Motor Vehicles as a Primary Use</u>			
<u>Distribution and Storage</u>			
<u>Equipment &amp; Materials Storage Yards</u>			
<u>Moving &amp; Storage Facilities</u>			
<u>Distribution Facilities</u>			
<u>Separately Regulated Distribution and Storage Uses</u>			
<u>Impound Storage Yards</u>			
<u>Junk Yards</u>			

<u>Use Categories/ Subcategories</u>	<u>Zone Designator</u>	<u>Zones</u>	
[See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTOP-</u>	
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>2-</u>
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>
<u>Temporary Construction Storage Yards Located off-site</u>		::	::
<b><u>Industrial</u></b>			
<u>Heavy Manufacturing</u>		::	::
<u>Light Manufacturing</u>		::	::
<u>Marine Industry</u>		::	::
<u>Research &amp; Development</u>		::	::
<u>Testing Labs</u>		::	::
<u>Trucking &amp; Transportation Terminals</u>		::	::
<b><u>Separately Regulated Industrial Uses</u></b>			
<u>Hazardous Waste Research Facility</u>		::	::
<u>Hazardous Waste Treatment Facility</u>		::	::
<u>Marijuana Production Facilities</u>		::	::
<u>Marine Related Uses Within the Coastal Overlay Zone</u>		::	::
<u>Mining and Extractive Industries</u>		::	::
<u>Newspaper Publishing Plants</u>		::	::
<u>Processing &amp; Packaging of Plant Products &amp; Animal By-products Grown Off-premises</u>		::	::
<u>Very Heavy Industrial Uses</u>		::	::
<u>Wrecking &amp; Dismantling of Motor Vehicles</u>		::	::
<b><u>Signs</u></b>			
<u>Allowable Signs</u>		<u>p(4)</u>	<u>p(4)</u>
<b><u>Separately Regulated Signs Uses</u></b>			
<u>Community Entry Signs</u>		::	::
<u>Neighborhood Identification Signs</u>		::	::
<u>Comprehensive Sign Program</u>		::	::
<u>Revolving Projecting Signs</u>		::	::



<u>Use Categories/ Subcategories</u>	<u>Zone Designator</u>	<u>Zones</u>	
<u>[See Section 131.0112 for Use Categories, Subcategories, and Separately Regulated Uses]</u>	<u>1st &amp; 2nd &gt;&gt;</u>	<u>OTOP-</u>	
	<u>3rd &gt;&gt;</u>	<u>1-</u>	<u>2-</u>
	<u>4th &gt;&gt;</u>	<u>1</u>	<u>1</u>
<u>Signs with Automatic Changing Copy</u>		<u>=</u>	<u>=</u>
<u>Theater Marquees</u>		<u>=</u>	<u>=</u>

**Footnotes for Table 1516-01F**

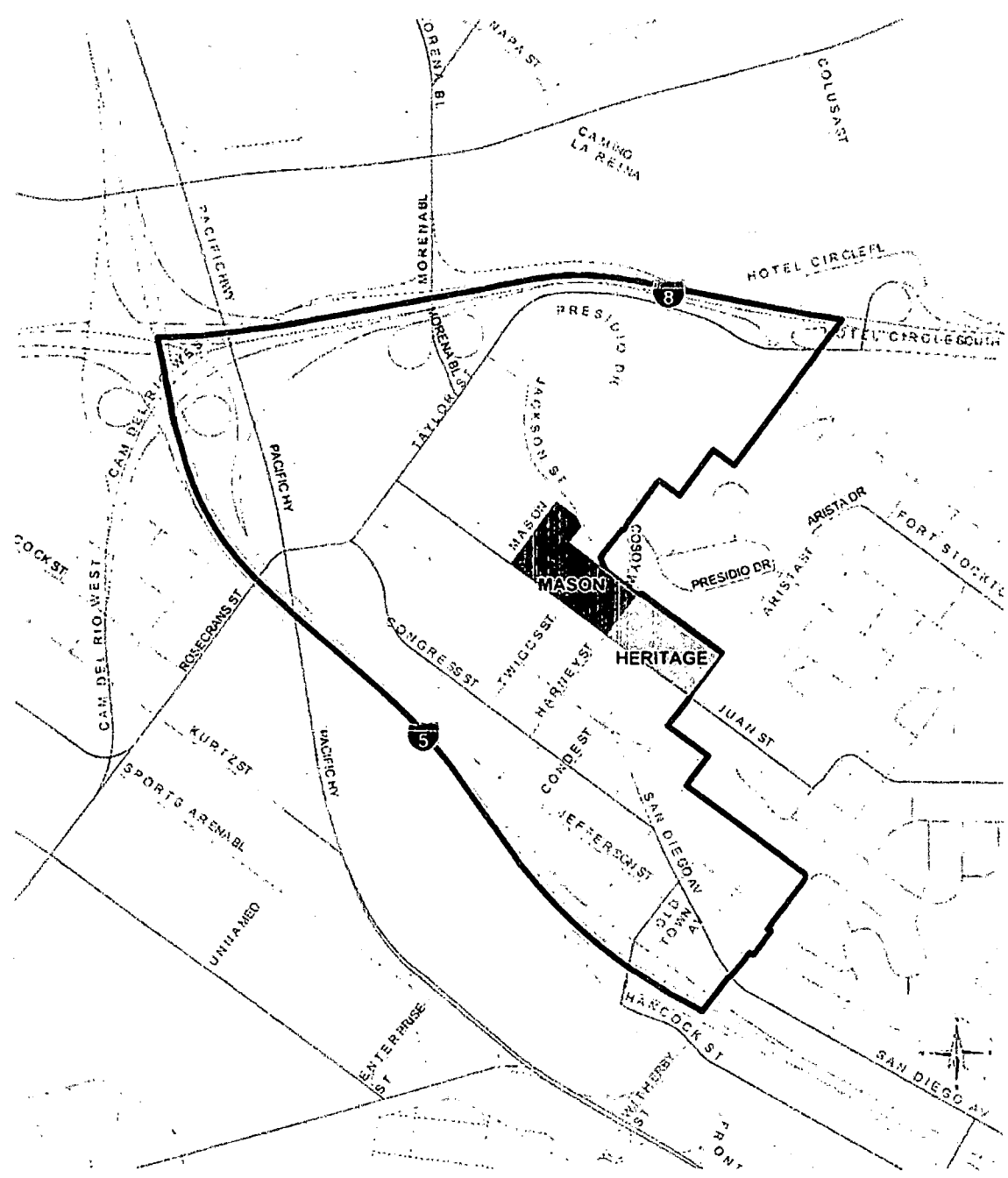
- <sup>1</sup> This use is permitted only if consistent with an approved park general development plan or master plan and is subject to any requirements identified in the plan. Vending in certain public places must comply with the provisions of Sections 63.0102(b)(13) and 63.0102(b)(14).
- <sup>2</sup> Placemaking on private property in OTOP zones at locations adjacent to residentially zoned property shall not include commercial services or assembly and entertainment uses as accessory uses.
- <sup>3</sup> Only one exterior receiving antenna per dwelling unit is permitted. Any satellite antennas as described in Land Development Code Section 141.0405 shall be screened from view and are subject to review by the Design Review Board and approval by the City Manager.
- <sup>4</sup> Sign design and placement shall conform to the regulations in Sections 1516.0139 and 1516.0140.

**§ 1516.0123 Development Regulations for Old Town San Diego Open Space-Park Zones**

- (a) Within the Old Town San Diego Open Space-Park zones, no structure or improvement shall be constructed, established, or altered, nor shall any premises be used, unless the premises comply with an approved park general development plan or master plan, the Old Town San Diego Community Plan, and any applicable development regulations in Chapter 13, Article 2 (Overlay Zones) and Chapter 14 (General and Supplemental Regulations).
- (b) A Neighborhood Development Permit or Site Development Permit is required for the types of development identified in Table 143-03A.
- (c) The regulations in this Division apply to all development in Old Town San Diego Open Space-Park zones whether or not a permit or other approval is required, except where specifically identified.

**§ 1516.0124 Architectural and Urban Design Requirements**

- (a) All development within the Planned District shall comply with the requirements of this Division regarding architectural features, site design, streetscape, landscape, parking, accessory buildings, sign requirements, and the supplemental regulations to ensure the preservation and enhancement of the distinctive character and atmosphere of Old Town San Diego prior to 1872.
- (b) The accepted architectural periods are pre-1872 Spanish, Mexican, and Early American. The architectural periods and their representative features are described in Section 1516.0125 and in the following Appendices:
- (1) Appendices A, B, and C provide visual references and descriptions of architectural features, site design, and streetscape features.
  - (2) Appendix D provides the lists of acceptable plant and tree species for landscaping.
  - (3) Appendix E provides visual references and descriptions related to sign design.
  - (4) Appendix F provides the list of acceptable exterior building colors.
- (c) Development within the Mason and Heritage Sub-Districts, as designated in Diagram 1516-01B, shall be exempt from the architectural and urban design requirements in Section 1516.0124 and the architectural periods and features requirements in Section 1516.0125 that conflict with the predominant period of development reflected in existing structures in each Sub-District (for the Mason Sub-District, 1938 to 1955, and for the Heritage Sub-District, 1837 to 1901).



**DIAGRAM 1516-01B**  
**Old Town San Diego Sub-Districts**  
This is a reproduction of Map No. C-993 for illustration purposes only.

**§ 1516.0125 Architectural Periods and Features**

(a) All development within the Planned District shall conform to the architectural features of one of the three following architectural periods that characterized Old Town San Diego prior to 1872:

- (1) Spanish Period (1769-1821),
- (2) Mexican Period (1821-1846), or
- (3) Early American Period (1846-1872).

(b) All development within the Planned District shall include all of the following defining architectural features from the particular architectural period:

- (1) Spanish Period (1769-1821)
  - (A) rectangular building forms,
  - (B) gable roofs with a low to medium pitch (minimum pitch of 3 ½ inches; 12 inches),
  - (C) terracotta tile roofs or composite shingles that simulate the appearance of wood shingles,
  - (D) extended eaves with option for porticos,
  - (E) board and batten doors or paneled doors (with inset rectangular panels) of wood or other material with wooden appearance, with optional minimal glazing,
  - (F) inset windows (minimum depth of 6 inches) of casement type with divided lights and window height that is greater than width, and
  - (G) exterior walls that have a period-appropriate texture,

including smooth or textured plastered finish, smooth or textured stucco finish, or other materials that evoke a smooth or textured plaster finish.

(2) Mexican Period (1821-1846)

- (A) rectangular building forms, arcade(s), and courtyard(s),
- (B) gable roofs with a low to medium pitch (minimum pitch of 3 ½ inches: 12 inches),
- (C) terracotta tile or simulated wood shingle roof covering,
- (D) extended eaves with option for balconies, balconies with portico, or portico,
- (E) board and batten doors or paneled doors (with inset rectangular panels) of wood or other material with wooden appearance, with optional glazing,
- (F) inset windows (minimum depth of 6 inches) of casement, or single-hung, or double-hung sash type, with divided lights and window height that is greater than width, and
- (G) exterior walls that have a period-appropriate texture, including smooth or textured plastered finish, smooth or textured stucco finish, or other materials that evoke a smooth or textured plaster finish.

(3) Early American Period (1846-1872)

- (A) rectangular building forms,
- (B) symmetrical gable roof, exposed or concealed by a flat false front, or hip roof with simulated wood shingle roof

covering, or flat roof with parapet.

(C) exterior finish in horizontal or vertical board siding (wood or simulated wood), brick, or other characteristic exterior building materials,

(D) paneled doors (with inset rectangular panels) of wood or other material with wooden appearance, with optional glazing featuring rectangular divided lights,

(E) molded frames around doors and windows, and

(F) single-hung or double-hung sash windows with divided lights and window height that is greater than width.

(c) Maximum Structure Footprint

Structures shall not exceed the maximum structure footprint identified in Tables 1516-01C and 1516-01E.

(d) Maximum Number of Stories

Structures shall not exceed the maximum number of stories identified in Tables 1516-01C and 1516-01E.

(e) Exterior Building Colors

All exterior building colors shall be selected from among those listed in Appendix F, or be a tint (color plus white) or shade (color plus black) of those permitted colors. All exterior building walls shall be painted or colored a single primary color. One or more accent colors may be used to highlight building features such as eaves, lintels, and door and window frames. Accent colors used on Spanish Period or Mexican Period buildings shall be limited to two per building.

(f) Eclectic Architectural Periods and Features Prohibited

Use of architectural designs, forms, materials, textures and colors from different architectural periods for any single structure is prohibited, unless a clear historical precedent in Old Town San Diego can be documented.

**§ 1516.0126 Previously Conforming Buildings and Structures**

Previously conforming buildings and structures shall conform with the requirements of this Division regarding acceptable architectural periods and features as follows:

- (a) Non-historic structures with architectural features that are not consistent with one of the three acceptable architectural periods described in Section 1516.0125 shall be brought into conformance if proposed development would remove, destroy, demolish, or alter 50 percent or more of the structure's building facade, on a cumulative basis, or remove, destroy, demolish, or alter 30 percent or more of the capacity of the lateral or vertical load resisting system of the structure, as determined by the Building Official.
- (b) Remodels, additions, and alterations that include street frontage along San Diego Avenue and that would remove, destroy, demolish, or alter 20 percent or more of a structure's exterior walls, on a cumulative basis, or remove, destroy, demolish, or alter 20 percent or more of the capacity of the lateral or vertical load resisting system of the structure as determined by the Building Official, shall be designed to be consistent with one of the three acceptable architectural periods described in Section 1516.0125.
- (c) Remodels, additions, and alterations that involve only a portion of non-

historic structures with architectural features that are not consistent with one of the three acceptable architectural periods described in Section 1516.0125 and that are not visible from the public right-of-way shall be designed to be consistent with the architectural style of the existing structure.

- (d) Development within the Mason and Heritage Sub-Districts, as designated in Diagram 1516-01B, shall be exempt from the architectural periods conformance requirements of this Section 1516.0126.
- (e) Nothing in this Section 1516.0126 shall be construed to supersede the City's Historical Resources Regulations (Chapter 14, Article 3, Division 2).

**§ 1516.0127 Site and Building Design**

Site design encompasses the building orientation in relation to the site, sidewalks, and public right-of-way. Appendix B provides a visual reference and descriptions of Old Town San Diego site design features. All development shall conform to the site design requirements in Section 1516.0127.

- (a) Pedestrian-Oriented Building Design
  - (1) Structures shall be oriented toward the public right-of-way.
  - (2) Street walls of buildings within the OTCC-1-1, OTCC-2-1, OTCC-2-2, OTCC-2-3, OTCC-3-1, OTCC-3-2, OTMCR-1-2, and OTMCR-1-3 zones that are oriented to the street corridors specified in Section 1516.0127(a)(3) shall incorporate design features to promote pedestrian activity, such as prominent and visible entrances; high-quality building materials that convey



historical authenticity, such as brick, wood door frames, wood window frames, exposed wood lintels at window and door heads, wood window shutters, exposed wooden posts, beams, purlins, rafters, and rafter tails; decorative building elements that convey historical authenticity, such as exterior stairs with stepped low wall, brackets supporting architectural elements, cornice molding, cornice molding supported on brackets, window grills, architectural period-appropriate railings, wood fences, and adobe-style walls; porches, arcades, or other building projections that highlight pedestrian entrances; and publicly accessible pedestrian spaces, such as sidewalk cafes or plazas.

(3) The following street corridors shall incorporate design features to promote pedestrian activity:

(A) San Diego Avenue between Twiggs Street and Ampudia Street,

(B) Congress Street between the Old Town San Diego Transit Center and Ampudia Street,

(C) Twiggs Street between Congress Street and Juan Street,

(D) Harney Street between Congress Street and Juan Street,

(E) Taylor Street between Juan Street and Presidio Drive,

(F) Juan Street between Taylor Street and Wallace Street,

(G) Old Town Avenue between Moore Street and San Diego Avenue, and

(H) Rosecrans Street between Interstate 5 and Pacific Highway.

- (4) Development shall reduce the perceived scale of buildings by utilizing building modulation, facade articulation, offsetting planes, “altito” roof effect, overhangs, porticos, or porches.

(b) Transparency

- (1) For residential developments, a minimum of 20 percent of street wall area shall be transparent with clear glass visible into a residential use. Windows or other transparent materials that provide visibility into a garage or similar area do not count toward the required transparency.
- (2) For commercial and mixed-use developments, a minimum of 40 percent of street wall area shall be transparent with clear glass visible into a commercial or residential use. Windows or other transparent materials that provide visibility into a garage or similar area do not count toward the required transparency.

(c) Common Open Space

- (1) Development within all zones, except for OTRS and OTOP zones, shall provide a common open space area either at grade, podium, or roof level by the incorporation of one or more of the following:
- (A) courtyards,
  - (B) plazas,
  - (C) patios,
  - (D) paseos, or
  - (E) porches.

- (2) Common open space areas shall follow the design style that is consistent with the architectural period, as described in Section 1516.0125, of the existing or proposed development on the premises.
- (3) Common open space areas shall be provided as a percentage of the lot area in accordance with Table 1516-01G.
- (4) All common open space areas shall:

  - (A) have a minimum width of 6 feet.
  - (B) contain a combination of hardscape and landscape features.
  - (C) be accessible to all users of the development through a common corridor, and
  - (D) contain no enclosed buildings.
- (5) Commercial development projects shall incorporate a plaza or courtyard as part of the required common open space as specified in Table 1516-01G. Courtyards or plazas shall be accessible to the public from the street during business hours.
- (6) Paving materials in common open spaces shall meet accessibility requirements and be consistent with or simulate those used in the architectural period, described in Section 1516.0125, of the existing or proposed development on the premises.



**Table 1516-01G**  
**Common Open Space**

<u>Lot Size (sf)</u>	<u>Common Open Space (Percentage of Lot Area)</u>	<u>Plaza or Courtyard (Percentage of Common Open Space)<sup>1</sup></u>
<u>Less than 5,000</u>	<u>N/A</u>	<u>N/A</u>
<u>5,001 to 7,500</u>	<u>5</u>	<u>N/A</u>
<u>7,501 to 10,000</u>	<u>10</u>	<u>50</u>
<u>10,001 to 30,000</u>	<u>15</u>	<u>50</u>
<u>&gt;30,000</u>	<u>20</u>	<u>50</u>

**Footnote for Table 1516-01G**

- <sup>1</sup> The requirement for a plaza or courtyard as a percentage of common open space applies only to commercial zones. (Section 1516.0127(c)(5)). Lots with street frontages less than 75 feet are exempt from this requirement.

**(d) Pedestrian Paths and Walkways**

- (1) Each residential entrance and each commercial tenant space shall be accessible from an abutting public street by a pedestrian path that is at least 4 feet wide.
- (2) The path shall be continuous, clear of obstructions, easily identifiable as a pedestrian path, and visually distinguishable from other hardscaping.
- (3) Pedestrian paths shall be separated from vehicular access areas by wheelstops, curbs, landscaping, or other physical barriers, except when crossing driveways or aisles.
- (4) Building entrances located at the front or street side property line, where the building setback is zero, qualify as a required pedestrian path.

(5) Paving materials in paths and walkways shall meet accessibility requirements and be consistent with or simulate those used in the architectural period, described in Section 1516.0125, of the existing or proposed development on the premises.

(e) Fences and Walls

(1) Fences and walls shall be compatible with the design style of the existing or proposed development on the premises.

(2) Walls shall be made of brick or contemporary building materials simulating adobe, and fences shall be made of wood, wrought iron, or contemporary building materials simulating wood or wrought iron.

(3) Fences and walls shall not exceed a height of 4 feet on:

(A) San Diego Avenue between Twiggs Street and Ampudia Street,

(B) Congress Street between the Taylor Street and Ampudia Street,

(C) Twiggs Street between Congress Street and Juan Street,

(D) Harney Street between Congress Street and Juan Street,

(E) Taylor Street between Congress Street and Presidio Drive,

(F) Juan Street between Taylor Street and Wallace Street, and

(G) Old Town Avenue between Moore Street and San Diego Avenue.

(f) Mechanical Equipment, Utilities, and Storage

(1) All mechanical equipment, such as cooling or heating units, utility

meters, transformers, communications equipment, and building service areas shall be screened from the public right-of-way to the maximum extent feasible. Screening shall be consistent with the architectural period, described in Section 1516.0125, of the existing or proposed development on the premises.

(2) Satellite antennas shall be screened from view. All screening shall be consistent with the architectural period, described in Section 1516.0125, of the existing or proposed development on the premises.

(3) Storage of merchandise, material or equipment shall be permitted only as an accessory use in accordance with Section 131.0125 and shall be completely enclosed within a structure that is architecturally integrated with the primary buildings so as not to be visible from the public right-of-way. Enclosures shall be consistent with the architectural period, described in Section 1516.0125, of the existing or proposed development on the premises.

(g) Building and Site Lighting

Building and site lighting shall be French Quarter lantern, millhouse, or gooseneck style, as illustrated in Appendices B and E. Building and site lighting shall be installed along street frontages and pedestrian paths, and shall not exceed a height of 12 feet.

**§ 1516.0128 Streetscape**

All development within the Planned District shall conform to the following streetscape requirements.

(a) Streetscape improvements shall be consistent with Old Town San Diego's pre-1872 character and shall support the community's pedestrian orientation. Appendix C provides a visual reference and examples of appropriate streetscape elements.

(b) Driveways and Curb Cuts

(1) Driveways shall be perpendicular to the street and shall not exceed a width of 14 feet for projects with less than six residential units or 20 feet for all other projects, to be measured at the property line.

There shall be no less than 75 feet of lot frontage, measured at the property line, between driveways serving the same premises.

(2) One existing driveway and curb cut per lot may be maintained; the remaining driveways shall be removed and the sidewalk and curbs reconstructed to match the adjacent sidewalk and curb areas.

(3) Driveway entrances across the sidewalk shall continue the paving pattern utilized in the adjacent sidewalk areas.

(4) No building encroachments into the public right-of-way shall be permitted including underground parking garages.

(c) Sidewalks

(1) All existing and new sidewalks shall maintain or expand their present width.

(2) All new or replaced sidewalks shall meet the following requirements:

(A) The minimum sidewalk width along San Diego Avenue shall be 8 feet.



(B) The minimum sidewalk width along all streets, except San Diego Avenue, shall be 6 feet.

(3) The minimum clear path of travel along all sidewalks shall be 4 feet wide. A clear path, free of all obstructions to the flow of pedestrian traffic, shall be provided in the public right-of-way and shall be maintained at all times. Obstructions include traffic signals or signs, light standards, parking meters, phone booths, newspaper stands, bus stops, trash receptacles, benches, trees, and similar objects.

(4) Sombrero Buff-colored concrete with a broom finish shall be utilized for sidewalks, curbs and gutters.

(5) Sidewalks shall be scored with a rectangular scoring pattern.

(d) Street Lighting

(1) Pedestrian-scale lighting in the French Quarter lantern style, as shown in Appendix C, shall be required every 75 to 95 feet on Congress Street, San Diego Avenue, and Taylor Street.

(2) Pedestrian-scale lighting shall be required on every diagonal corner of an intersection.

(e) Street Furniture

Street furniture shall support the scale and design context of Old Town San Diego's pre-1872 character and allow for a clear pedestrian path of travel.

(1) Planters and pots shall be made of cast stone, glazed or unglazed clay, wood, or masonry.

- (2) Benches shall be made of wrought iron, cast iron, wood, or a combination of these materials.
- (3) Newspaper and magazine corrals shall be made of wrought iron, cast iron, wood, or a combination of these materials.
- (4) Trash receptacles shall resemble wood barrels.

**§ 1516.0129 Landscaping**

- (a) Landscaping and street trees shall incorporate elements typical of early California natural landscapes and pre-1872 Spanish, Mexican, and early American gardens as specified in Appendix D.
- (b) Land Development Code Chapter 14, Article 2, Division 4 (Landscape Regulations) shall apply with the following exceptions:
  - (1) Plant materials shall utilize the species included in Appendix D, Tables 1 and 2. The use of native drought-tolerant species and species that were introduced to California prior to 1872 is preferred.
  - (2) Existing street trees shall be preserved, unless the tree poses a potential danger to persons or property due to age, disease, storm, fire, or other injury. New street trees shall be selected from the corridor-specific street tree species listed in Appendix D, Table 3.
  - (3) The removal of any tree over 50 feet tall or over 50 years old requires prior approval from the City Manager, unless the tree poses a potential danger to persons or property due to age, disease, storm, fire, or other injury.

**§ 1516.0130** **Parking**

- (a) Off-street parking spaces and facilities shall be provided before the use requiring such parking spaces and facilities commences operation and shall be maintained in good condition. Parking shall be provided in accordance with Land Development Code Chapter 14, Article 2, Division 5 (Parking Regulations).
- (b) Parking Requirement Exemptions
  - (1) Property that has frontage on San Diego Avenue and does not have secondary street access shall not be required to provide parking on-site.
  - (2) Lots of 6,250 square feet or less in Old Town San Diego commercial zones shall be exempt from all parking requirements.
- (c) Parking Orientation
  - (1) Surface parking shall be located behind buildings or at the interior of the block, except when such an orientation is infeasible due to unique topography or physical constraints.
  - (2) Below grade parking and partially below grade parking is permitted within any of the sub-districts, and is exempt from the floor area ratio calculation.
  - (3) Above grade parking structures are permitted only within the Taylor District, and are exempt from the floor area ratio calculation. Above grade parking structures must be enclosed on all sides by facades that are consistent with one of the three acceptable architectural periods described in Section 1516.0125.

(d) Parking Access

All required parking facilities shall have convenient access to a public street or alley.

**§ 1516.0131 Accessory Buildings for Old Town San Diego Residential Zones**

(a) Accessory buildings shall be designed to be consistent with one of the three acceptable architectural periods described in Section 1516.0125.

(b) Multiple accessory buildings are permitted on the premises. However, the square footage of all non-habitable accessory buildings excluding garages shall not exceed 25 percent of the allowable gross floor area of the premises.

(c) Non-habitable accessory buildings or garages shall not be used for living or sleeping purposes. A non-habitable accessory building or garage may have electrical, gas, water, and sewer connections for the following purposes:

(1) lighting, washing machines, dryers, laundry tubs, and hot water heaters,

(2) a one-half bathroom, limited to a water closet and a lavatory sink, and

(3) a shower, provided the property owner signs an agreement processed through the City Manager stating that the building will not be used for living or sleeping purposes and recorded with the County Recorder.

(d) Non-habitable accessory buildings or garages may encroach into a required side or rear yard if the lot size does not exceed 10,000 square feet

and the accessory building or garage meets all the following conditions:

- (1) does not share a common wall with the primary dwelling unit (but may be attached via a non-structural design element),
- (2) complies with setback requirements above the first story,
- (3) does not exceed a maximum length of 30 feet within any given setback, and
- (4) does not exceed 525 square feet in gross floor area.

(e) Habitable accessory buildings may be permitted:

- (1) to a single dwelling unit in accordance with Sections 141.0302 or 141.0307, or
- (2) to a multiple dwelling unit to provide common area facilities for the property owners, tenants, and their guests in accordance with the underlying base zone.

**§ 1516.0132 Lot Coverage for Sloping Lots**

The maximum permitted lot coverage is 50 percent on any premises where more than 50 percent of the premises contains steep hillsides.

**§ 1516.0133 Building Spacing**

Development involving multiple buildings on any premises shall have a minimum separation of 6 feet between the exterior walls of the separate buildings and a minimum separation of 9 feet where the buildings are greater than one story.

**§ 1516.0134 Ground-Floor Height**

Structures with commercial uses on the ground floor shall have a minimum ground-floor height of an average of 15 feet, but not be less than 13 feet, measured from the average grade of the adjoining sidewalks, in increments of no

more than 100 feet along a development frontage, to the finished elevation of the second floor.

**§ 1516.0135 Mixed Use Requirement**

Residential development within the commercial zones indicated in Table 1516-01E is permitted only when a commercial structure exists on the premises or is a part of the proposed development.

**§ 1516.0136 Floor Area Ratio Bonus for Mixed Use**

For residential uses that are developed as part of a mixed-use development in certain OTCC and OTMCR zones, a floor area ratio bonus is provided as shown in Table 1516-01E, which also specifies the minimum floor area ratio that must be applied to residential use.

**§ 1516.0137 Active Ground Floor Use Requirement**

Within the commercial zones indicated in Table 1516-01E, uses that are accessible to the general public and that generate a high level of pedestrian activity shall meet the following ground floor requirements:

- (a) Within the OTCC-2-1 zone, Retail Sales, Eating & Drinking Establishments, Financial Institutions, Interpretive Centers, and Museums uses shall be in the front 30 percent of the lot.
- (b) Within the OTCC-1-1, OTCC-2-2, OTCC-2-3, OTCC-3-1, and OTCC-3-2 zones, Retail Sales, Commercial Services, Offices, Educational Facilities, Interpretive Centers, and Museums uses shall be in the front 30 feet of the lot.
- (c) Within the OTMCR-1-2 zone, for lots with frontage on Congress Street, Retail Sales, Commercial Services, Offices, Educational Facilities,

Interpretive Centers, and Museums uses shall be within 30 feet of the property line along Congress Street.

**§ 1516.0138 Floor Area Ratio Bonus for Parking Structure**

For sites in the OTCC-1-1 and OTMCR-1-3 zones where at least 80 percent of the number of the proposed on-site parking spaces is provided in a parking structure that is below grade, above grade, or a combination thereof, and the parking structure is shielded from view from the public right-of-way by other structures or by facades that are consistent with the architectural periods described in Section 1516.0125, a floor area ratio bonus is provided as indicated in Table 1516-01E.

**§ 1516.0139 Sign Requirements**

**(a) Purpose and Intent**

It is the purpose and intent of the sign requirements of Sections 1516.0139 and 1516.0140 (hereafter Old Town San Diego Sign Requirements) to establish a coherent, unifying design theme reflective of Old Town San Diego's pre-1872 historical character and to limit visual clutter by regulating the type, location, size, design, and operation of signs. Signs located on buildings or sites and visible from the public right-of-way shall complement existing signs and shall be consistent with the *architectural style* of the buildings or sites where they are placed.

**(b) Applicability and Boundaries**

**(1) The Old Town San Diego Sign Requirements apply to the Planned District, except Presidio Regional Park and Old Town San Diego State Historic Park.**

**(2) Officially adopted and recognized national, state and local flags,**

flags of international organizations, official military flags and historically significant flags are exempt from the Old Town San Diego Sign Requirements.

(c) Supplemental Regulations

The following sign regulations from Land Development Code Chapter 14, Article 2, Division 12 shall also apply:

- (1) Locational Regulations, Sections 142.1210(b)(1) through 142.1210(b)(3) and 142.1210(b)(5);
- (2) Structural Regulations, Section 142.1210(c); and
- (3) Sign Maintenance Regulations, Section 142.1210(d).

(d) Permit Application Requirements

- (1) All proposed signs, except *temporary signs* and *business operations signs*, require a Neighborhood Development Permit (Process Two).
- (2) Plans required as part of the sign permit application shall include the following, in addition to the application requirements of Land Development Code Chapter 11, Article 2, Division 1:
  - (A) street front elevational drawing or photo-simulation at 1/4" or 1/8" = 1'-0" scale, showing the sign in its context and showing all dimensions, and for projecting signs, dimensioned side views at 1/4" or 1/8" = 1'-0" scale,
  - (B) detailed drawings of the sign to adequately describe its construction and method of attachment to the building,
  - (C) color and material information, either shown on the



drawings specified above or on a color board keyed to the drawings, and

(D) color photomontage “mock-up” (minimum 8-1/2” x 11” sheet) showing the proposed sign in context with the building.

(e) Types of Permitted Signs

The types of signs permitted are *identification signs, historical identification signs, business operations signs, directional signs, sidewalk directional signs, wayfinding signs, community entry signs and neighborhood identification signs, temporary signs, and miscellaneous signs.*

(f) Maximum Size, Number, and Placement Requirements for Signs

Signs shall comply with the maximum size, number, and placement requirements in Table 1516-01H.

(g) General Sign Placement Requirements

Signs shall not obstruct or adversely affect the architectural or historical features of buildings or sites.

(1) Signs affixed to building facades shall not project above the nearest parapet or eave of the building.

(2) Signs affixed parallel to building facades shall not project more than 12 inches from the building facades.

(3) Signs affixed to a building shall not project into the public right-of-way.

- (4) Signs affixed to the underside of covered walkways or verandas shall be affixed to the framework of the walkway or veranda in a way that does not allow movement by wind or passerby and shall remain out of the public right-of-way.

**Table 1516-01H**  
**Sign Maximum Size, Maximum Number, and Placement Requirements**

<u>Sign Type</u>	<u>Maximum Size</u>	<u>Maximum Number Allowed<sup>(1)</sup></u>	<u>Placement</u>
<u>Primary identification sign</u>	<u>16 square feet</u>	<u>1</u>	<u>Front or primary facade of a building</u>
<u>Secondary identification sign</u>	<u>12 square feet</u>	<u>3</u>	<u>Side or rear wall of establishment</u>
<u>Historical identification sign</u>	<u>Proposed size must be supported with documentation of identification sign of same size that existed prior to 1872</u>	<u>2</u>	<u>Proposed placement must be supported with documentation of identification sign of same placement that existed prior to 1872</u>
<u>Hanging projecting sign</u>	<u>6 square feet</u>	<u>1</u>	<u>Front or primary facade of a building</u>
<u>Freestanding identification sign<sup>(2)</sup></u>	<u>1 1/2 square feet for each individual business, up to a total of 12 square feet</u>	<u>1</u>	<u>No higher than 5 feet above the average adjacent grade and securely attached to ground; individual signs on the freestanding identification sign must be securely attached to the sign's framework</u>
<u>Business operations sign</u>	<u>1 square foot</u>	<u>4</u>	<u>Within building against exterior window or on door</u>

<u>Directional sign</u>	<u>6 square feet</u>	<u>2 per building;</u> <u>1 per business</u>	<u>On the building facade no more than 8 feet above adjacent grade</u>
<u>Wayfinding sign</u>	<u>12 square feet</u>	<u>2 per parcel</u>	<u>Shall not obstruct public right-of-way; not to exceed 10 feet in height when located on a separate freestanding ground structure; no greater than 8 feet above the finished grade when located on buildings or structures; may be permitted in public right-of-way with appropriate City permits</u>
<u>Sidewalk directional sign</u>	<u>6 square feet</u>	<u>1</u>	<u>Along the primary frontage of a building where the primary facade of the building is set back 2 feet or more from the property line; prohibited in the public right-of-way</u>
<u>Community entry sign</u>	<u>See Section 141.1101</u>	<u>See Section 141.1101</u>	<u>See Section 141.1101</u>
<u>Neighborhood identification sign</u>	<u>See Section 141.1102</u>	<u>See Section 141.1102</u>	<u>See Section 141.1102</u>
<u>Temporary sign</u>	<u>4 square feet; larger signs subject to review by Design Review Board and approval based on consistency with Section 1516.0139(a)</u>	<u>4</u>	<u>May be permitted in public right-of-way with appropriate City permits</u>
<u>Miscellaneous sign</u>	<u>24 square feet</u>	<u>1 per facade</u>	<u>Prohibited in public right-of-way</u>

Footnote for Table 1516-01H<sup>1</sup> Number allowed per building unless otherwise noted.<sup>2</sup> Limited to buildings that house more than one business.(h) Sign ShapeSigns shall take one of the following basic shapes. Examples of the signshapes can be found in Appendix E.

- (1) Rectangular
  - (A) Horizontal rectangular shapes that have a minimum length to width ratio of 4:1 and as the sign increases in length, the height remains the same, as in 6:1, 8:1, 10:1, and 12:1; ornate left and right edge designs may be incorporated;
  - (B) Horizontal rectangular shapes with an integrated upper cap or arch that have a minimum length to width ratio of 4:1 and as the sign increases in length, the height remains the same, as in 6:1, 8:1, 10:1, and 12:1;
  - (C) Horizontal rectangular shapes that follow a length to height ratio of 2:1 and as the sign increases in length, the height changes proportionally, as in 2:1, 4:2;
  - (D) Vertical rectangular shapes that follow a minimum height to width ratio of 2:1 where, as the sign increases in height, the width remains the same, as in 3:1, 4:1, and 5:1; ornate designs may be incorporated on top or bottom edge, or both;
- (2) Tombstone shapes which are vertical and generally rectangular with an arched top;
- (3) Square shapes, limited to hanging projecting signs;
- (4) Arched or curved shapes, with or without integrated upper cap;
- (5) Shield shapes, limited to signs smaller than 6 square feet;
- (6) Oval shapes, limited to signs smaller than 6 square feet; or

(7) Representative shapes, such as two-dimensional cutouts in the shape or symbol of a good or service offered on the premises, or an arrow for a directional sign or wayfinding sign.

(i) Sign Formats, Materials, and Supporting Structures

The body of a sign and its supporting structure shall comply with the following format and material restrictions.

(1) Sign bodies shall be limited to the following formats and materials:

(A) re-sawn timber or rough-sawn timber planks or panel, or a material with the appearance of timber planks or panel, with painted background and lettering and molding frame, if any, composed of smooth wood or material with wood appearance mitered with a 45 degree or 90 degree angle;

(B) signs directly painted on building facades or windows;

(C) flat vinyl, acrylic, or painted metal panel that simulates the appearance of a timber panel, limited to wayfinding signs, community entry signs, and neighborhood identification signs;

(D) wrought iron, or material with the appearance of wrought iron, limited to community entry signs; or

(E) cardboard, paper, canvas, sailcloth, or material of similar appearance, limited to temporary signs.

(2) Mounting formats and supporting structure materials for signs shall be limited to the following;

- (A) attached to a building or canopy structure directly or with use of metal straps in a manner that prevents the movement of the sign by wind or passerby;
  - (B) suspension from a wrought-iron support, limited to hanging projecting signs, directional signs, and wayfinding signs;
  - (C) suspension from or mounting on a wood sign post, limited to freestanding identification signs and directional signs;
  - (D) mounting on a wood frame, limited to sidewalk directional signs;
  - (E) mounting on a frame made of painted cast-iron, painted cast-metal, or other painted metal that simulates the appearance of cast-metal fixtures common pre-1872, limited to sidewalk directional signs;
  - (F) mounting on a sign post made of painted cast-iron, painted cast-metal, or other painted metal that simulates the appearance of cast-metal fixtures common pre-1872, limited to wayfinding signs and neighborhood identification signs; or
  - (G) mounting on a column with plaster, wood, or masonry, limited to wayfinding signs and community entry signs.
- (3) All metal wire cables, supports, straps, braces, and bolts used in mounting or attaching signs shall be galvanized steel. Metal straps and braces shall be at least 1/8" thick.
- (i) Unpermitted Sign Formats, Materials, and Supporting Structures

The following formats and materials for the body of a sign and its supporting structure are not permitted:

- (1) contemporary finish materials, including those made of exposed unpainted plastics, exposed unpainted aluminum, porcelain enamel, stainless steel, PVC piping, or sheet metal; and
- (2) reflecting or retroreflecting surfaces except for automobile-oriented wayfinding signs.

(k) Colors for Sign Backgrounds, Lettering, and Details

Sign colors shall be consistent with those used pre-1872 as shown in Tables 1516-01I and 1516-01J.

- (1) Background, lettering, and detail colors shall be limited to those listed in Table 1516-01I.
- (2) Background and lettering color combinations shall be limited to those listed in Table 1516-01J. Tints and shades of those color combinations are also permitted. A tint is created by adding white to a color. For example, red plus white makes pink, carnation, or salmon, depending on how much white is added. A shade is created by adding black to a color. For example, red plus black makes dark red.
- (3) Colored lettering shall be separated from colored backgrounds by means of gold, black, or white outline at the perimeter of the letters. Signs using white or black backgrounds do not require letter outlines.

- (4) Fluorescent paint, reflective paint, or luminous paint are prohibited.
- (l) Sign Lettering Typefaces and Design, Symbols, and Graphical Designs
- (1) Lettering and symbols shall cover the majority of a sign's surface area.
- (2) With the exception of hanging projecting signs, lettering shall constitute the primary content of the sign based on a sign's surface area.
- (3) Typefaces shall be from the Roman, sans serif, and block letter families. Examples of the typeface families are shown in Appendix E.
- (4) Each line of text shall use a different typeface. Differentiation in typeface can be achieved by:
- (i) adding serifs to plain block styles, varying letter weight, italicizing, using three-dimensional effects, and by using lower case type styles;
  - (ii) varied scale of words between lines;
  - (iii) change in words direction and alignment such as rotation, arching, curving, or "S" curving;
  - (iv) utilization of letter blocking and letter shadow. Letter blocking is a method of depicting flat letters on a painted sign that creates the appearance of depth. Letter shadow is a component of letter blocking and is the use of painted shadows that simulate the shadows that would be cast by



three dimensional letters. Letter blocking shall be limited to a single line of text and shall be developed in only one direction of the line of type.

(5) Graphical designs may be used as embellishment to complement lettering and fill empty space around lettering. Symbols and graphical designs shall constitute secondary content, except for hanging projecting signs. The area covered by symbols and graphical designs shall not exceed 30 percent of a sign's surface area and 2 1/4 square feet.

(i) Symbols shall be limited to common symbols used on signs pre-1872. Refer to Table 1516-01K. Additional symbols may be permitted with a recommendation from the Design Review Board.

(ii) Business or corporate logos are permitted, provided that they represent a business establishment that occupies the premises where the sign is located and, with the exception of registered trademarks, they are redesigned with the permitted colors specified in Table 1516-01L.

(iii) Use of two-dimensional cutouts of wood or a material with the appearance of wood as features on signs is permitted but shall be limited to common symbols used on signs pre-1872. Refer to Table 1516-01K. Additional symbols may be permitted with a recommendation from the Design Review Board.

(iv) Pin striping or curvilinear accent lines may be used to fill empty space on a sign.

(m) Sign Illumination

(1) Sign lighting shall be indirect, using a light source separate from the sign.

(2) The primary source of sign lighting shall be a period-appropriate lighting fixture.

(i) Period-appropriate lighting fixtures are French Quarter lanterns (building-mounted or post-mounted, and gas-lit or electric bulb-lit), millhouse lamps, and gooseneck lamps. Illustrations of French Quarter lanterns, millhouse lamps, and gooseneck lamps can be found in Appendices B and E.

(ii) Modern lighting components, except for bulbs, shall not be visible.

(3) Supplemental sources of sign lighting shall be hidden from view, such as by placing the lighting source underneath the eaves of a building.

(n) Unpermitted Sign Illumination

(1) Use of internal illumination of any type, including light emitting diodes (LED), fluorescent tubing, and neon, is prohibited, except such use may be permitted for community entry signs with a recommendation from the Design Review Board.

(2) Use of fluctuating external illumination, including light that flashes, blinks, or changes hue, color, or intensity, is prohibited.

**§ 1516.0140 Specific Sign Design Requirements by Sign Type**

Additional design and material requirements apply to the following sign types.

(a) Identification signs

- (1) Identification signs shall not identify goods or services not available on the premises upon which the sign is placed.
- (2) Identification signs printed on awnings are permitted if the text and images are consistent with a pre-1872 historical character. Refer to Table 1516-01K for permitted non-text symbols.

(b) Business operations signs

Brand names, logos, and symbols, with the exception of registered trademarks, on business operations signs shall be redesigned with the permitted colors specified in Table 1516-01L.

(c) Directional signs

- (1) Directional signs shall not contain advertising content, including brand names, logos, and symbols, unless commonly used prior to 1872. Refer to Table 1516-01K for permitted non-text symbols. However, when incorporated into directional signs, building identification nameplates, building occupant nameplates, and address numbers may include pictorial and decorative designs.
- (2) Directional signs shall be in the representative shape of an arrow or incorporate a hand symbol.
- (3) Plastic sidewalk directional signs are prohibited.

(d) Wayfinding signs

(1) Wayfinding signs shall not contain advertising content, including brand names, logos, and symbols, unless commonly used prior to 1872. Refer to Table 1516-01K for permitted non-text symbols.

(2) Wayfinding signs shall be in the representative shape of an arrow or incorporate a hand symbol.

(e) Temporary signs

Temporary signs shall be posted no earlier than three weeks prior to the advertised event, and shall be removed no later than one week after the event.

(f) Miscellaneous signs

Inflatable displays are prohibited.

**Table 1516-01I**

**Permitted Sign Colors for Backgrounds, Lettering, and Details**

<u>Color<sup>(1)</sup></u>	<u>Associated Pantone Color</u>	<u>CMYK Code (Approximate)</u>
<u>Bronze Green</u>	<u>5815</u>	<u>0 / 0 / 91 / 79</u>
<u>Burnt Sienna</u>	<u>1675</u>	<u>0 / 67 / 100 / 28 or</u> <u>0 / 91 / 100 / 23</u>
<u>Burnt Umber</u>	<u>469</u>	<u>0 / 52 / 100 / 62</u>
<u>Carmine Red</u>	<u>188</u>	<u>0 / 97 / 100 / 50</u>
<u>Carnation</u>	<u>486</u>	<u>0 / 47 / 41 / 0</u>
<u>Chrome Yellow</u>	<u>116</u>	<u>0 / 16 / 100 / 0</u>
<u>Crimson Lake Red</u>	<u>186</u>	<u>0 / 100 / 81 / 4</u>
<u>Emerald Green</u>	<u>347</u>	<u>100 / 0 / 86 / 3</u>
<u>French Ultramarine</u>	<u>72</u>	<u>100 / 88 / 0 / 5</u>
<u>Gold (Gold Leaf or Gilt)</u>	<u>871</u>	<u>10 / 20 / 100 / 25</u>
<u>Gray<sup>(2)</sup></u>	<u>Tints of Black 3 or</u> <u>Black 6</u>	<u>Tints of 60 / 0 / 60 / 91 or</u> <u>100 / 35 / 0 / 100</u>
<u>Indian Red</u>	<u>1817</u>	<u>0 / 90 / 100 / 66</u>
<u>Ivory Black</u>	<u>Black 3</u>	<u>60 / 0 / 60 / 91</u>
<u>Lead (Flake) White</u>	<u>P 1-1</u>	<u>0 / 0 / 2 / 0</u>
<u>Light Red</u>	<u>1795</u>	<u>0 / 94 / 100 / 0</u>
<u>Prussian Blue</u>	<u>288</u>	<u>100 / 67 / 0 / 23</u>
<u>Purple (Violet)</u>	<u>2685</u>	<u>96 / 100 / 0 / 0</u>

<u>Purple-Brown (Caput Mortuum)</u>	<u>5185</u>	<u>80 / 100 / 85 / 25</u>
<u>Raw Sienna</u>	<u>145</u>	<u>0 / 47 / 100 / 8</u>
<u>Rose Madder Red</u>	<u>193</u>	<u>0 / 100 / 66 / 13</u>
<u>Scarlet Lake Red</u>	<u>185</u>	<u>0 / 91 / 76 / 0</u>
<u>Stone (Gray-Yellow)</u>	<u>452</u>	<u>24 / 18 / 42 / 0</u>
<u>Vandyke Brown</u>	<u>1405</u>	<u>0 / 36 / 100 / 63</u>
<u>Vegetable Black</u>	<u>Black 6</u>	<u>100 / 35 / 0 / 100</u>
<u>Venetian Red</u>	<u>174</u>	<u>0 / 70 / 100 / 36</u>
<u>Vermillion Red</u>	<u>179</u>	<u>0 / 79 / 100 / 0</u>
<u>Yellow Ochre</u>	<u>131</u>	<u>0 / 32 / 100 / 9</u>
<u>Zinc White</u>	<u>179-1</u>	<u>0 / 0 / 0 / 0 or 0 / 0 / 0 / 2</u>

**Footnotes for Table 1516-01I**

- <sup>1</sup> Tints and shades of the listed colors are also permitted.  
<sup>2</sup> Permitted for letter shadow only.

**Table 1516-01J****Permitted Sign Background and Lettering Color Combinations**

<b><u>Background Color</u></b>	<b><u>Letter Color</u></b>
<u>Black<sup>(1)</sup></u>	<ul style="list-style-type: none"> <li>• <u>White (most common)</u></li> <li>• <u>Gold</u></li> <li>• <u>Emerald green with white outline</u></li> <li>• <u>Carnation</u></li> <li>• <u>Purple with white outline</u></li> </ul>
<u>Black gold marble (painted surface simulating marble stone)</u>	<ul style="list-style-type: none"> <li>• <u>White</u></li> </ul>
<u>Blue (any permitted, untinted)</u>	<ul style="list-style-type: none"> <li>• <u>White. A black letter shadow can add strength to the lettering</u></li> </ul>
<u>Bronze Green</u>	<ul style="list-style-type: none"> <li>• <u>Gold with a vermilion or emerald green letter blocking</u></li> </ul>
<u>Green marble (painted surface simulating marble stone)</u>	<ul style="list-style-type: none"> <li>• <u>Carnation lettering with gilt outline, with gilt or yellow letter blocking and black letter shadow</u></li> </ul>
<u>Indian Red</u>	<ul style="list-style-type: none"> <li>• <u>Any permitted color that is complementary and contrasts with the background color. Letter blocking and shadow recommended.</u></li> </ul>
<u>Light tints of permitted colors</u>	<ul style="list-style-type: none"> <li>• <u>Blue with gilt letter blocking and gilt outline</u></li> </ul>
<u>Light-colored wood (painted surface simulating wood)</u>	<ul style="list-style-type: none"> <li>• <u>Any permitted color that is legible against both the light and dark colors used in the painted wood graining.</u></li> </ul>

<u>Non-green or black gold marble (painted surface simulating marble stone)</u>	<ul style="list-style-type: none"> <li>• <u>Emerald green letters with carnation letter blocking</u></li> <li>• <u>Vermillion lettering and purple-brown undersides on letter blocking; gold outline</u></li> </ul>
<u>Purple (Violet)</u>	<ul style="list-style-type: none"> <li>• <u>Any permitted color that is complementary and contrasts with the background color. Letter blocking and shadow recommended.</u></li> </ul>
<u>Red (any permitted)</u>	<ul style="list-style-type: none"> <li>• <u>Gold leaf letters with black letter blocking with carmine letter shadow</u></li> </ul>
<u>Rosewood (painted surface simulating wood)</u>	<ul style="list-style-type: none"> <li>• <u>Gold, with yellow ochre and white letter blocking and letter shadow</u></li> </ul>
<u>Stone</u>	<ul style="list-style-type: none"> <li>• <u>Any permitted color except yellow</u></li> <li>• <u>With black lettering, the letter blocking should be white on the illuminated side and stone color (shade darker than the background) on the bottom. The letter shadow should be created using burnt umber (for background areas shaded from imaginary light source), yellow ochre (for background areas with some illumination from imaginary light source), and white (for background areas directly lit by imaginary light source).</u></li> </ul>
<u>Vandyke Brown</u>	<ul style="list-style-type: none"> <li>• <u>Any permitted color that is complementary and contrasts with the background color. Letter blocking and shadow recommended.</u></li> </ul>
<u>White</u>	<ul style="list-style-type: none"> <li>• <u>Black (most common)</u></li> <li>• <u>Any permitted color except yellow. Letter blocking may be red, green, or blue.</u></li> <li>• <u>Gold. Letter blocking may be any permitted color except yellow (blue, red, and green most common).</u></li> <li>• <u>Red</u></li> </ul>

**Footnote for Table 1516-01J**

<sup>1</sup> Letter blocking and shadow not permitted on black backgrounds.

**Table 1516-01K****Permitted Non-Text Symbols for Use on Signs<sup>(1)</sup>**

<b><u>Business Type</u></b>	<b><u>Symbol</u></b>
<u>Auction House</u>	<u>Elephant</u>
<u>Barbershop</u>	<u>Barber Pole</u>
<u>Book and Stationery Store</u>	<u>Book</u>
<u>Boot/Shoe Dealer</u>	<u>Mens Boot</u>
<u>Broom Maker/Dealer</u>	<u>Broom and Brushes</u>
<u>Carpet Dealer</u>	<u>Rugs</u>
<u>China Dealer</u>	<u>Pitcher</u>
<u>Cigar Dealer</u>	<u>Wooden Indian</u>
<u>Cooper</u>	<u>Barrel</u>

<u>Dry Goods</u>	<u>Blankets</u>
<u>Fire Department</u>	<u>Fire Fighting Equipment</u>
<u>Fresh Produce</u>	<u>Fruit and Vegetables</u>
<u>Furniture</u>	<u>Furniture</u>
<u>Gunsmith</u>	<u>Rifle</u>
<u>Haberdasher</u>	<u>Top Hat</u>
<u>Hardware Dealer</u>	<u>Agriculture Implements/Hardware</u>
<u>Hospitality Related Businesses</u>	<u>Deer or Elk Horns</u>
<u>Leather Goods</u>	<u>Glove</u>
<u>Meat Store</u>	<u>Steer</u>
<u>Newspaper/Post Office</u>	<u>Writing Desk</u>
<u>Optician/Optomtrist</u>	<u>Eye Glasses</u>
<u>Perfume/Lamp Oil</u>	<u>Whale or Pig</u>
<u>Pharmacist</u>	<u>Mortar with Pestle</u>
<u>Photographer</u>	<u>Camera</u>
<u>Saloon</u>	<u>Pitcher or Elephant</u>
<u>Sewing Machines</u>	<u>Sewing Machine</u>
<u>Stable</u>	<u>Horse</u>
<u>Stage Office</u>	<u>Stage Coach</u>
<u>Star Themed Businesses</u>	<u>Five-Pointed Star</u>
<u>Stone Cutter</u>	<u>Stone Monuments</u>
<u>Tack and Harness Shop</u>	<u>Saddle</u>
<u>Tailor</u>	<u>Mens Coat or Shirt</u>
<u>Tinsmith</u>	<u>Tinware</u>
<u>Watchmaker/Jeweler</u>	<u>Pocket Watch</u>

**Footnote for Table 1516-01K**

- <sup>1</sup> Per Section 1516.0139(1)(5), additional symbols may be permitted with a recommendation from the Design Review Board.

**§1516.0202 Project Review Administration**

(a) **Application**

Application for a Planned District Permit shall be made in accordance with Land Development Code Section 112.0102, prior to commencement of any work in the erection of any new building or structure, or repainting of exterior surfaces, remodeling or repair, alteration, addition to or demolition of any existing building or structure within the Planned District

~~or any building which is relocated into the Planned District. The application shall include the following:~~

- ~~(1) A deposit as indicated on the current fee schedule maintained in the office of the City Clerk shall be paid when application is made for any Planned District Permit.~~
- ~~(2) All submittals shall illustrate the following:
  - ~~(A) The purpose for which the proposed building, structure or improvement is intended to be used;~~
  - ~~(B) Site plans, floor plans, elevations and sections including datum points indicating grade and measurements of dwelling unit density, number of bedrooms (floor plan), lot area, lot coverage, floor area ratio, setbacks, height (elevations), off-street parking and landscaping;~~
  - ~~(C) Site Plans, floor plans, elevations and sections including datum points and measurements, photos and samples, for the building and improvements which show the exterior appearance, color and texture of materials, and architectural design of all exterior features, and the relationship to adjacent structures;~~
  - ~~(D) Site plans, elevations and sections, including datum points and measurements for any outbuilding, party walls, courtyards, fences, setbacks, signs, lighting, traffic safety, or other dependency thereof; and~~~~



~~(E) Any other information deemed necessary by the City Manager or Board to evaluate the project for compliance with the regulations contained herein and other applicable laws and regulations.~~

(b) Decision Process

- ~~(1) An application for a planned district permit for signs, re-roofing; repainting of exterior surfaces and any addition to or alteration of any structure which is minor in scope may be approved or denied, in accordance with Process One, by the City Manager without being referred to the Board for recommendation. Notwithstanding the foregoing provision, the City Manager may in his discretion refer such application to the Board for their recommendation prior to taking action on the application. (Minor in scope shall constitute an addition or alteration of 20 percent or less and conforms to all applicable regulations.)~~
- ~~(2) Other than provided by Section 1516.0202(b)(1), an application for a Planned District Permit shall first be referred to the Board for their review and recommendation. The application may be approved, conditionally approved or denied by a Hearing Officer in accordance with Process Three, after receiving the Board's recommendation or comments. The decision of the Hearing Officer may be appealed to the Planning Commission in accordance with Land Development Code Section 112.0506.~~

- (3) ~~Within 60 calendar days after the submission of a complete Building Permit application for development of a site for which a Planned District Permit has been issued which shall include completed environmental review, the City Manager shall issue a decision in writing, except when the applicant requests and receives approval from the City Manager or an extension of time.~~
- (4) ~~Issuance. A Building Permit may be issued after the City Manager's approval. The City Manager shall conduct a site inspection before issuance of the certificate of occupancy or the final inspection.~~

(e) ~~Permit Time Limits~~

- (1) ~~No building permits shall be issued for any projects for which a building permit is not on file within 180 days from the effective date of Ordinance No. O 16906 N.S., for projects which received an approval from the Old Town San Diego Planned District Review Board, or City Council on appeal prior to the effective date of Ordinance No. O 16906 N.S. Written notice of the content of this provision shall be given within 60 days of the effective date of Ordinance No. O 16906 N.S. to all permittees to which this provision applies.~~
- (2) ~~A valid Planned District Permit shall expire and become void 36 months after the "Date of Final Action of the Permit", if the permit is not utilized in the manner set forth in Land Development Code Section 126.0108 and Section 126.0109.~~

(3) ~~The expiration date of a valid Planned District Permit may be extended in the manner provided within Land Development Code Section 126.0111. To initiate the request for an extension of time, the property owner or owners shall file a written request in accordance with Land Development Code Section 126.0111. The extension of time may be granted if both of the following requirements are met:~~

(A) ~~The applicant submits documentation showing that due to unusual economic hardship or processing delays beyond his/her control, necessary permits could not be obtained, therefore, the permit option could not be exercised in a timely fashion; and~~

(B) ~~Development and community conditions have not changed, so that the prior approval is still consistent with now existing conditions.~~

(4) ~~The City Manager shall notify the Board and the Old Town Community Planning Committee of any extension of time requests. Any request that may be affected by changed conditions shall be brought to the attention of the Board for recommendation.~~

**§1516.0203 Special Permits**

~~The following types of permits are unique in their complexity and therefore require special review by the City Manager and the Board. The permit may be approved, conditionally approved or denied by a Hearing Officer in accordance with Process Three. The Hearing Officer's decision may be appealed to the~~

~~Planning Commission in accordance with Land Development Code Section  
112.0506.~~

~~(a) Public Facilities, Structures and Areas~~

~~All open spaces, streets, sidewalks, street furniture, street signs, lighting installations, and any incidental structures or monuments, shall conform to the intent of the Old Town Planned District Ordinance which is designed to recreate the history of the character of Old Town San Diego in general accord with the period prior to 1871 and shall be subject to the same regulations, conditions and standards established herein, and shall be reviewed by the Board for their recommendation.~~

~~(b) Historic and Architecturally Significant Structures~~

~~The provisions contained herein are intended to permit and encourage in Old Town San Diego the preservation and restoration of buildings, structures and sites having historic, archaeological, or architectural value for the benefit of the people of San Diego, the State of California and all those interested in the record of the progress of western civilization. Such structures shall be designated historical resources in the City of San Diego.~~

~~(1) Relocation of Historic Buildings~~

~~Designated historical structures of the City of San Diego may be relocated into the Old Town San Diego area. Upon receipt of an application for permit to relocate such a building, the City Manager shall refer the application to the Historical Resources Board for review as provided in Section 1516.0202. Any building~~

approved for relocation into the District by the Historical Resources Board shall be referred to the Board for review.

(2) Exceptions

(A) The Hearing Officer may grant an exception to any development regulation within this Planned District Ordinance including permitted uses, and parking regulations only when such exception is necessary to permit the preservation or restoration of a designated historic or architecturally significant building, structure or site. Such exception is subject to the following conditions:

- (i) The subject building, structure or site must be a designated historical resource.
- (ii) The proposed exception shall be referred to the Historical Resources Board for a report and recommendation.

(B) In approving or conditionally approving an exception, the Hearing Officer shall find that the exception is necessary to permit the preservation or restoration of a designated historical resource; that strict application of the provisions contained within this Planned District Ordinance would result in economic or other practical difficulties in securing the preservation or restoration of a designated historical resource; and that the granting of an exception will not be injurious to the community or detrimental to the public

welfare; and, the Historical Resources Board and the Old Town San Diego Design Review Board have made consistent recommendations for granting the exception.

- (C) In approving or conditionally approving any exception the Hearing Officer shall make a written finding specifying facts relied upon in rendering its decision. A copy of this written finding, together with all evidence presented, including plans required elsewhere in this Planned District Ordinance shall be filed in the Office of the City Clerk.

(3) ~~Historical Resources Board Review~~

~~Any application to remodel, restore, alter or move a designated historical resource shall first be referred to the Historical Resources Board for review pursuant to Land Development Code Section 143.0250.~~

(4) ~~Removal of Damaged Historic Structures~~

~~If any designated historical resource shall be damaged by earthquake, fire or act of God, and a permit for demolition or removal of the property is applied for, the permit shall be referred to the Historical Resources Board pursuant to Land Development Code Section 143.0250 unless an emergency condition exists in which a specified action must be taken based on factual circumstances.~~

(e) ~~Archaeological and Historical Site Review, Designation, and Preservation~~

- (1) ~~Archaeological review by an archaeologist certified by the Society of Professional Archaeologists or equivalent acceptable to the City Manager is required for any project which disturbs the ground.~~
  - (2) ~~For any site that is identified as having archaeological or recorded evidence of a preexisting historical structure, settlement or event, application shall be made to the Historical Resources Board for designation and to the Board for determination on an acceptable manner of commemorating the historical value of the site. This might include a reconstruction if adequate plans remain, a partial reconstruction or monument.~~
  - (3) ~~A special permit shall be required for those projects where an archaeological site has been identified. Efforts should be made to preserve the site for public view; this preservation (total or partial) shall be a part of the special permit proposal.~~
  - (4) ~~The Historical Resources Board shall review the application and provide information to the Hearing Officer on the site's historical or archaeological significance and methods to preserve or commemorate the site. The exemptions for historic buildings shall be also applicable, where appropriate, to these projects.~~
- (d) ~~Conditional Use Permits, Variances and Other Permits~~
- ~~Any use allowable under a Conditional Use Permit as provided in Section 151.0401 shall be subject to a special permit. The development standards shall be those specified in this Planned District Ordinance, the "Standards~~

and Criteria," and the regulations in Land Development Code Chapter 14, Article 1 (Separately Regulated Use Regulations).

(e) ~~Sidewalk Cafes and Pushearts~~

~~A special permit is required for these activities in accordance with Section 151.0401 and the provisions of this Planned District Ordinance.~~

(f) ~~Public Parking Subareas~~

~~A special permit shall be required for any project within the public parking subarea in order to assure consistency with the intent of the neighboring subareas, the overall goals of the District and consistency with the Community Plan. For a public parking facility, the permit should be consistent with the following guidelines:~~

~~(1) The maximum building coverage should not exceed 80 percent.~~

~~(2) A minimum number of 1000 parking spaces should be provided.~~

~~(3) The maximum height of building should not exceed 26 feet.~~

~~(4) Landscaping~~

~~(A) 15-foot fully landscaped street yards should be provided.~~

~~(B) Interior landscaping: 10 percent of the structure should be landscaped and open to the sky. Landscaped areas should be generally located in the center of the structure adjacent to auto and pedestrian access, to provide visual and environmental relief.~~

~~(C) Rooftop landscaping: The rooftop perimeter should be lined with a 2-foot minimum wide landscaped strip.~~

(5) Supportive Uses



The special permit shall assure that only the following uses be permitted on the public property sites identified (as identified on Map C-289.5):

(A) ~~PARCEL A/School Use (Congress/Ampudia):~~

~~School (K-9), and playground activities are permitted uses.~~

~~Location of school/playground uses either as primary or incidental shall be required on this site. These may be~~

~~located on grade or on top of the parking structure. If~~

~~located on grade, school buildings should be located on the~~

~~high elevation of the site. Any new school building facility~~

~~shall be designed to replicate historical public structures of~~

~~the pre-1871 period.~~

(B) ~~PARCEL B/Transit Use (Congress/Taylor):~~

~~A transit center, with related transit support retail and~~

~~offices may be permitted, provided that these support retail~~

~~and office uses shall not exceed an area of 10 percent of the~~

~~site, nor shall any one establishment exceed 700 square~~

~~feet.~~

~~The building setback shall be a minimum of 50 feet from~~

~~Taylor Street property line, of this, a 30-foot landscaped~~

~~strip adjacent to the property line shall be maintained along~~

~~Taylor Street.~~

(C) ~~PARCEL C/Transit Use (Rosecrans/Gaines):~~

~~Sports fields and playgrounds are encouraged to develop adjacent to or on the roof of parking structures, to replace facilities in other areas of the Old Town San Diego Community Plan.~~

~~A transit center, with related transit support retail and offices may be permitted, provided that these support retail and office uses shall not exceed an area of 10 percent of the site, nor shall any one establishment exceed 700 square feet.~~

~~(D) PARCEL D/Parking (Juan Harney):~~

~~Surface parking shall be maintained consistent with the standards for surface parking lots incorporated in this Planned District Ordinance.~~

~~§1516.0204 Previously Conforming Uses~~

~~The determination and regulation of previously conforming uses within the District shall be consistent with Land Development Code, Chapter 12, Article 7, Division 1 (Previously Conforming Premises and Uses).~~

~~§1516.0301 Permitted Uses~~

~~It is the purpose of this section to specify certain groupings of uses to be encouraged or emphasized based on each subarea's physical, historical, and functional conditions.~~

- ~~(a) In the following subareas, no building or improvement or portion thereof shall be erected, constructed, converted, established, altered or enlarged,~~

nor shall any premises be used except for one or more of the following purposes:

- (1) ~~Single Family. One single family residence for each lot at a density of one dwelling unit per 5,000 square feet, provided there is no more than one dwelling unit per lot.~~
- (2) ~~Multi family. Dwelling units at a density of one dwelling unit per 1,750 square feet of net lot area.~~
- (3) ~~Core.
  - (A) The following uses are permitted provided the ground floor area of any one establishment does not exceed 6,000 square feet:
    - (i) ~~Antique shops~~
    - (ii) ~~Art stores, art galleries and incidental art studios~~
    - (iii) ~~Barber and beauty shops~~
    - (iv) ~~Banks (drive in or drive thru prohibited)~~
    - (v) ~~Bicycle shops with incidental repair permitted~~
    - (vi) ~~Confectionary and bake shops~~
    - (vii) ~~Clothing stores, dress shops and haberdasheries~~
    - (viii) ~~Custom shops for curtains, draperies, floor covering and upholstery~~
    - (ix) ~~Drug stores~~
    - (x) ~~Dry cleaning and laundry services~~
    - (xi) ~~Florists (incidental outdoor display permitted)~~
    - (xii) ~~Food market (incidental outdoor display permitted)~~~~

- (xiii) General and variety stores and gift shops
- (xiv) Handicraft shops, including woodcraft, leathercraft and metalcraft
- (xv) Hardware stores
- (xvi) Home furnishing shops and interior design studios
- (xvii) Import shops
- (xviii) Jewelry stores
- (xix) Liquor stores
- (xx) Locksmith
- (xxi) Museums
- (xxii) Music stores
- (xxiii) Pet shops
- (xxiv) Photographic studios and shops and picture frame shops
- (xxv) Restaurants, sidewalk cafes, bars, coffee houses, ice cream parlors and snack bars (incidental outdoor seating and live entertainment are permitted, drive in or drive through establishments are prohibited)
- (xxvi) Shoe sales and repair shops
- (xxvii) Sporting good stores
- (xxviii) Stationers book stores (excluding adult book stores), newspaper and magazine shops
- (xxix) Tailors and dressmakers

~~(xxx) Theaters—(excluding adult entertainment)~~

~~(xxxi) Tobacco shops~~

~~(xxxii) Travel agencies, ticket agencies, and telegraph  
offices~~

~~(xxxiii) Wineries~~

~~(B) The following uses are permitted provided that they do not  
occupy ground floor frontage and are located above or  
behind a permitted use designated in Section 1516.0301(e).~~

~~(i) Dwelling units at a density of 1 unit per 1,750  
square feet of net lot area~~

~~(ii) Boarding and lodging houses provided that there are  
not more than two lodgers per dwelling unit~~

~~(iii) Offices, provided each establishment does not  
exceed 2,000 square feet in size~~

~~(iv) Art, drama, music, dancing and language schools~~

~~(v) Shopkeeper Units (See Section 113.0103)~~

(4) Jefferson

(A) Any use permitted in the "Core", provided however, that  
any commercial or office use may only be located on the  
ground floor.

(B) No commercial and office permitted use shall begin  
operating business prior to 6:00 a.m. nor continue later than  
midnight of any day.

~~(C) Dwelling units at a density of unit per 1,750 square feet of net lot area.~~

~~(5) Hortensia~~

~~(A) Hotels and motels, provided they do not exceed a density of 80 guest rooms per net acre.~~

~~(B) Offices, provided each use establishment does not exceed 4,000 square feet in size.~~

~~(C) Business services customarily catering to hotel and motel guest and office users, provided such accessory uses shall be located in the same complex as the hotel or motel or office and provided the combined gross floor area of all accessory uses shall not exceed 25 percent of the gross floor area of all uses on the premises. These accessory uses may include sales of newspapers and magazines, barber and beauty shops, florists and gift shops, agencies for laundering and dry cleaning, travel and car rental agencies and ticket sales.~~

~~(D) Restaurants (accessory bar and incidental entertainment and dancing permitted).~~

~~(E) Theaters (excluding adult entertainment).~~

~~(F) Cultural centers (including museums and libraries).~~

~~(G) Meeting halls.~~

~~(H) Dwelling units at a density of one unit per 1,750 square feet of net lot area.~~

(6) Rosecerans

(A) Any use permitted in the "Core" provided that the ground floor of any one establishment does not exceed 6,000 square feet.

(B) Any use permitted in the "Hortensia" zone.

(7) Classification of Use

Any other use which the Planning Commission may find, in accordance with Process Four, to be similar in character to the uses, including accessory uses, enumerated in this Section, and consistent with the purpose and intent of the Old Town San Diego Planned District, is permitted. The adopted resolution embodying such finding shall be filed in the Office of the City Clerk.

(b) Uses Not Permitted

The following types of uses are not considered compatible with the development goals of Old Town San Diego and are therefore not permitted:

- (1) Auto parts stores
- (2) Auto repair garages
- (3) Auto sales, new or used
- (4) Auto service stations
- (5) Auto or trailer parks
- (6) Boat sales
- (7) Contractors yards
- (8) Drive in or through facilities

- (9) Factories
- (10) Hospitals
- (11) Printing plants
- (12) Lumber yards
- (13) Machine shops
- (14) Mortuaries
- (15) Warehouses and wholesale distributors

**§1516.0302 Property Development Regulations**

(a) ~~Lot Area~~

- (1) ~~No building or portion thereof shall be erected, constructed, established, altered, enlarged, nor shall any premises be used unless the lot has a minimum area of 3,000 square feet. An exception shall be for any lot which qualifies under the definition of a lot as set forth in the Land Development Code Section 113.0103 and which does not comply with the minimum lot area specified herein may nevertheless be used as permitted and other regulated by the provisions of this Planned District Ordinance.~~
- (2) ~~The maximum lot area permitted shall be 5,000 square feet. The only subarea excepted from this regulation shall be the Rosecrans subarea.~~

(b) ~~Floor Area Ratio (FAR) and Lot Coverage~~

~~The maximum FAR and lot coverage shall be as indicated in Table 1516-03A.~~



**Table 1516-03A**

**FAR and Lot Coverage**

<b>Subarea</b>	<b>FAR</b>	<b>Coverage</b>
Single Family	60.0	—
Multi-family, Hortensia, Jefferson, Core	.60	60%
Rosecrans <sup>(+)</sup>	1.00	60%

**Footnote for Table 1516-03A**

<sup>+</sup> Enclosed parking may be excluded from the calculation of FAR and coverage in the Rosecrans Subarea.

**(e) Maximum Building Size**

Except within the Rosecrans Subarea, no single structure, above preexisting natural grade, shall exceed the sizes as indicated in Table 1516-03B.

**Table 1516-03B**

**Maximum Building Size**

<b>No. of Stories</b>	<b>Maximum Size</b>
One	6,000 square feet
Two	8,000 square feet
Three	10,000 square feet

**(d) Separation Between Buildings**

A minimum separation of 6 feet shall be required between the development's exterior building walls, when separate buildings are proposed for any one project. If both buildings are greater than one story an additional 3-foot separation shall be required.

(e) Maximum Height

The maximum height of any building or structure shall be as indicated in Table 1516-03C below, except that within 150 feet of Taylor Street, building height shall be limited to 24 feet.

Table 1516-03C

Maximum Height

Subarea	Maximum Height (ft)
Single-Family, Multiple-Family	30
Rosecrans	45 <sup>(+)</sup>
Jefferson, Hortensia	30 <sup>(+)(2)</sup>
Core	24 <sup>(+)</sup>

Footnotes for Table 1516-03C

<sup>+</sup> An additional 6 feet in height is permitted for uninhabitable space necessary for a pitched roof, towers, or other architectural appurtenances, provided however, that the additional area of height does not exceed 10 percent of the total building footprint, measured in plan view.

<sup>2</sup> No more than 25 percent of the site area, measured in plan view, may be covered by building which exceeds 26 feet in height.

(f) Yard and Setbacks

(1) The minimum yard and setback requirements shall be as indicated in Table 1516-03D.

- (2) ~~Street Wall Continuity: Along the minimum setback, paralleling the public right of way, 65 percent of this area shall be building wall.~~

**Table 1516-03D**  
**Yards and Setbacks**

Subarea	Front Yard <sup>(2)</sup> (ft)	Street Yard <sup>(1)</sup> (linear ft)	Side Yard <sup>(3)(4)</sup> (ft)	Rear Yard <sup>(4)</sup> (ft)
Single Family	15	10	4	4
Multi Family	5	15	1-story 5	1-story 5
			2-story 10	2-story 10
			3-story 15	3-story 15
Rosecrans	15	20	1-story 5	1-story 5
			2-story 10	2-story 10
			3-story 15	3-story 15
Jefferson, Hortensia	10	0	1-story 5	1-story 5
			2-story 10	2-story 10
			3-story 15	3-story 15
Core	0 <sup>(5)</sup>	0 <sup>(5)</sup>	1-story 5	1-story 5
			2-story 10	2-story 10
			3-story 15	3-story 15

**Footnotes for Table 1516-03D**

- <sup>1</sup> ~~Street Yard Defined: The street yard is that area of a lot which lies between the property line abutting a dedicated public street and the street wall line. The street wall line is drawn along the first building wall that parallels the street frontage. The street yard area is calculated by multiplying the street frontage times the linear foot requirement specified herein.~~
- <sup>2</sup> ~~Additional Corridor Front Yard: From property lines which abut the following streets the following front yard requirement shall prevail:  
Taylor—30 feet.  
Juan (between Taylor and Witherby)—15 feet.  
Congress (between the railroad tracks and Old Town Avenue)—10 feet  
Old Town Avenue (between San Diego Avenue and I-5)—15 feet.~~
- <sup>3</sup> ~~Side Yard Exemption: For properties 50 feet or less in width the side yard requirement shall be:  
1-story—3 feet, 2-story—6 feet, 3-story—9 feet.~~
- <sup>4</sup> ~~Parking: In the side and rear yards, parking shall be permitted provided a five-foot-wide landscaped area separation is provided between the property line and the parking area.~~
- <sup>5</sup> ~~Street Wall Continuity: Along the minimum setback, paralleling the public right of way, 65 percent of this area shall be building wall.~~

**(g) Hillsides/bluffs**

~~No building shall be located on an existing grade 30 percent or greater.~~

~~Hillsides 30 percent or greater in slope shall not be disturbed by~~

~~construction nor obstructed by building, within 15 feet of the toe of the~~

~~slope, of more than 20 feet in height. Development on slopes between 25~~

~~and 30 percent may be permitted consistent with Land Development Code~~

~~Chapter 14, Article 3, Division 1 (Environmentally Sensitive Lands~~

~~Regulations).~~

**§1516.0303 Specific Architectural Controls**

~~In addition to the other regulations contained in the Old Town Planned District, the following specific architectural control regulations shall apply in order to insure the development of the distinctive character and atmosphere of Old Town San Diego prior to 1871.~~

**(a) Architectural Styles/Historic Period**

- ~~(1) The accepted architectural styles and historic periods, as specified in the "Standards and Criteria," are pre-1871 Spanish, Mexican and~~

~~American. Spanish style uses adobe materials and structure with tiled roofs. Mexican style uses adobe bearing walls with tile roofs and shingle roof coverings. American style is wood structure throughout. All new development shall conform to the requirements, as illustrated "Standards and Criteria" of these styles.~~

~~(2) Eclectic designs borrowing from different styles are not acceptable, unless a clear historical precedent in Old Town San Diego can be documented.~~

~~(b) Forms, Materials, Textures and Colors~~

~~(1) To assure that each structure in the Planned District shall reflect the appearance of structures built or remodeled during the historic period, forms, materials, textures and colors of structures shall be in general accord with the appearance of structures built in Old Town San Diego prior to 1871. To this end, they shall be in general accord with the designs prevailing during the recognized Old Town San Diego historical periods as described in the "Standards and Criteria."~~

~~(2) Any change to a structures form, material, texture or color shall be reviewed by the City Manager and/or the Board.~~

~~(e) Courtyards~~

~~On any lot with a street frontage greater than 75 linear feet, a courtyard with a minimum dimension of 20 feet shall be required. Said courtyard may be located in the center of the project and/or between two or more~~

~~buildings. Entrances to the courtyard from the public right-of-way shall not be less than 10 feet in width and 20 feet in height or open to the sky.~~

(d) ~~Fences and Walls~~

(1) ~~Design. Fences, as defined in Land Development Code Section 113.0103, shall be designed in accordance with the "Standards and Criteria" and must be reviewed by the City Manager. Fence materials shall be wood, adobe, masonry, or forged iron.~~

(2) ~~Residential Buffer. A six-foot fence shall be required on any property line abutting a residential property, with the exception of the front and street yards.~~

(e) ~~Transparency~~

~~A minimum percentage (20 percent for residential projects, 40 percent for commercial) of any building wall abutting a dedicated public street, shall be transparent, either by open archways and/or windows of a light transmittance no less than 40 percent.~~

**§1516.0401 Landscaping**

(a) ~~Land Development Code Chapter 14, Article 2, Division 4 (Landscape Regulations) shall apply with the following exception:~~

(1) ~~100 percent of the street yard shall be required to be landscaped with the exception of approved areas for vehicular ingress and egress.~~

(2) ~~Rosecrans Zone—40 percent of the property shall be landscaped. Vegetation should include riparian species as specified in the "Standards and Criteria."~~

- (b) ~~Parking: All surface parking areas, both the perimeter and the interior, shall be landscaped consistent with Land Development Code Chapter 14, Article 2, Division 4 (Landscape Regulations).~~
- (c) ~~Hillsides/Bluffs: All bluffs, defined as areas of 30 percent and greater slope, shall be revegetated with native vegetation. All 25 percent hillsides shall be revegetated. A 10-foot wide fire break area shall be provided adjacent to any structure with fire resistant native vegetation. Said fire break area shall not encroach on the bluffs as defined.~~
- (d) ~~The plant materials shall be as specified in the "Standards and Criteria."~~
- (e) ~~City Manager approval must be obtained for removal of all trees over 50 feet tall and/or over 50 years old.~~
- (f) ~~Street Trees~~
  - (1) ~~Existing street trees shall be preserved to maintain the established design character of existing streets. New street trees shall match the species of existing trees, and be taken from the list of historical tree species included in the "Standards and Criteria."~~
  - (2) ~~Trees shall be planted in the ground, the minimum size of trees at planting shall be 24 inch box or greater. Spacing between trees shall be no greater than 30 feet.~~

**§1516.0402 Parking**

~~Off-street parking spaces and facilities required in any area shall be provided before the use requiring such parking facilities commences to operate and shall be maintained in good condition so long as the use for which it is provided exists.~~



~~Parking shall be provided in accordance with Land Development Code Chapter 14, Article 2, Division 5 (Parking Regulations).~~

~~(a) Parking Requirement Exemptions~~

~~(1) San Diego Avenue. Any property which has frontage on San Diego Avenue and does not have secondary street access and shall not provide parking on-site.~~

~~(2) Small Lots. Lots of 6,250 square feet or less shall be exempt from any parking requirements.~~

~~(b) Existing Parking~~

~~Notwithstanding any other provisions of this Planned District Ordinance, existing off-street parking facilities in any area which were provided on the same premises and maintained before the adoption of this ordinance and which serve a use now requiring off-street parking shall not be reduced in number, dimension or any other manner below the requirements of the use.~~

~~(c) Rehabilitation and Additions~~

~~Whenever an existing building is rehabilitated or enlarged, there shall be provided concurrently with such enlargement a minimum of twice the number of parking spaces as would be necessitated by the magnitude of said enlargement, provided, however, the total of the existing parking spaces and those required by this paragraph need not exceed the number of parking spaces required for the enlarged development computed at the rate required by Land Development Code Chapter 14, Article 2, Division 5~~

~~(Parking Regulations). Tandem parking spaces may be permitted to satisfy this requirement.~~

(d) Access

~~All required parking facilities shall have convenient access to a public street or alley. Driveways shall be perpendicular to the street and shall not exceed a width of 12 feet for projects with less than six residential units or 16 feet, for all other projects, to be measured at the property line and there shall be no less than 75 feet of lot frontage, measured at the property line, between driveways serving the same premises.~~

(e) ~~Parking Improvement Area or In-lieu Fees~~

- ~~(1) If a parking improvement area is formed in accordance with Municipal Code Chapter 6, Article 1, Division 18, the number of off-street parking spaces required for properties within the parking and business improvement area shall decrease commensurate with the project's participation in the improvement program.~~
- ~~(2) In-lieu fees for the provision of parking may be levied at a future date, in conjunction with a Parking Improvement Program assessment. The incorporation of this program will be subject to the future approval by the City Council. The option of using this in-lieu fee program shall not be available until the program's details are approved by the City Council in conjunction with the establishment of a parking improvement program.~~

~~§1516.0403—Signs~~

~~(a) Standards and Criteria~~

~~The structure, content, lettering, location, size, number, illumination, color, projection and other characteristics of all signs, public and private, in the Old San Diego Planned District shall be subject to the "Standards and Criteria." The purpose being that signs are to be clearly subordinate to the building design.~~

~~(b) Sizes~~

~~(1) Identification Signs~~

- ~~(A) Signs are permitted on the faces of each business establishment provided that no such sign shall project above the nearest parapet or eave of the building and signs parallel to the face of a building shall not project more than 12 inches from the building to which the signs are attached.~~
- ~~(B) One identification sign shall be permitted on the front or primary face of a business establishment. Said sign shall not exceed one square foot for each linear foot of frontage or 24 square feet, whichever is smaller, provided that said sign need not be less than 10 square feet in area.~~
- ~~(C) One identification sign on the side or rear wall of an establishment shall not exceed 16 square feet or one half square foot for each linear foot of street or dedicated walkway frontage along those walls, whichever~~

~~is smaller, provided that said sign need not be less than 8 square feet in area.~~

~~(D) One perpendicular (30 degrees or greater) projecting and/or hanging trade identification sign not to exceed 6 square feet per side shall be permitted on the front or primary face of each establishment provided however that the sign face is, either designed as a graphic representation of the goods or services provided at the particular establishment, e.g. a boot to advertise a shoe repair shop, or designed to include a graphic presentation on the sign.~~

~~(E) No free standing or roof top identifications signs shall be permitted with the following exceptions:~~

~~(i) For establishments located within arcade, court, office building or similar structure not fronting on the public right of way, a single free standing sign at the entrance to said court or arcade to identify the establishments within.~~

~~(ii) Maximum height of such signs shall not exceed 4 feet above average adjacent natural grade.~~

~~(iii) Maximum size for identification of each individual establishment shall not exceed 2.0 square feet for office and 3 square feet for retail.~~

~~(F) In lieu of a primary identification sign, 1 freestanding or hanging perpendicular sign, not to exceed 6 feet in height,~~

~~with a total surface area on both sides not exceeding one-half the area of the permitted primary identification sign, shall be permitted. Only 1 such sign shall be permitted per establishment.~~

(2) Directional Signs

~~(A) Directional signs are permitted on the faces of buildings or structures provided that such signs shall not be placed higher than 8 feet above the immediately adjacent natural ground level or above the eave line whichever is the lesser.~~

~~(B) Directional signs are permitted to locate on a separate freestanding ground structure provided that the structure and/or sign affixed to same does not exceed 6 feet in height above natural grade.~~

~~(C) Maximum size for any directional sign shall be that which is necessary to convey the necessary information, not to exceed a maximum of 4 square feet.~~

~~(D) Total number of signs to be used for this purpose shall not exceed 4 per establishment.~~

~~(E) Residence and establishment name signs, occupant's name plates and address numbers are those signs which, by their nature and working, or lettering identify and locate either the house, establishment, or its occupant, or both. Such signs may include pictorial and decorative designs as well~~

~~as words and numbers, and may be in any shape or form,  
but shall not exceed 2 square feet in area.~~

(3) Historical Signs

~~All request for signs not conforming to these regulations, shall be accompanied by documentary evidence that signs of such size and advertising such business were in use prior to 1871. Signs must conform in size, shape and design, material, coloring, lighting and location to the pre-1871 period. Documentary evidence must be approved by the City of San Diego Historical Resources Board.~~

(4) Sign Program

~~On those properties which have street frontage exceeding 150 linear feet, a comprehensive sign program shall be submitted by the property owner in accordance with Land Development Code Chapter 11, Article 2, (Required Steps in Processing).~~

~~Comprehensive Sign programs may be approved, conditionally approved or denied by a Hearing Officer in accordance with Process Three, after receiving~~

~~comments and recommendations from the Board. The Hearing Officer's decision may be appealed in accordance with Land~~

~~Development Code Section 112.0506. Size, design and location shall be considered to assure compatibility with the size and~~

~~location of the development structures and establishments. In no~~

~~case shall any one establishment be denied an identification sign of~~

~~the minimum sizes identified in Section 1516.0403(b), however,~~

~~larger signs may be permitted if they are in accord with the purpose and intent of this District and the "Standards and Criteria."~~

(e) ~~Previously Conforming Signs~~

~~By January 1, 1989, all signs in the Old Town San Diego Planned District which do not conform to said approved regulations, standards and criteria shall be altered to comply or shall be removed. This provision shall also apply to any changes or additions to the sign regulations of the District.~~

(d) ~~Extension of Time~~

~~The owner of any sign may apply to the Director for an extension of time in accordance with Land Development Code Chapter 12, Article 9, Division 8 (Sign Permit Procedures).~~

**§1516.0405 Special Regulations**

(a) ~~Outdoor Storage~~

~~Storage of merchandise, material or equipment shall be permitted only when incidental to a permitted use located on the same premises and shall be completely enclosed with an approved building that consists of walls and a roof. No outdoor storage shall be permitted unless otherwise specified in this Planned District Ordinance.~~

(b) ~~Mechanical Equipment~~

~~All mechanical equipment such as air conditioning or heating units and meters shall be completely enclosed within a structure so as not to be visible. All manner of enclosure shall be consistent with the design standards as set forth in the "Standards and Criteria."~~

(c) ~~Antennas~~

~~Only one exterior receiving antenna per building will be permitted. Any satellite antenna as described in Land Development Code Section 141.0405 shall be screened from view and shall be reviewed by the Board and approved by the Director. All manners of screening shall be consistent with the design standards as set forth in the "Standards and Criteria."~~

(d) ~~Lighting~~

~~All outdoor lighting shall be screened and directed so as not to fall on adjacent properties. All forms of lighting standards shall be consistent with the architectural styles specified in the "Standards and Criteria."~~



Article 16: Old Town San Diego Planned District

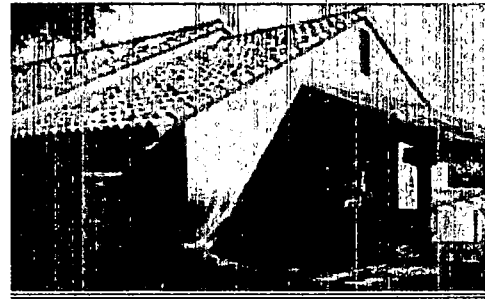
APPENDIX A: Architectural Features

SPANISH PERIOD (1769-1821)

Massing and Building Forms



- Simple rectangular forms
- One story in height, sometimes with taller towers



- Pitched roofs with a low gable
- Varied roofline heights

Roofs



- Exposed rafter, purlins, and rafter tails

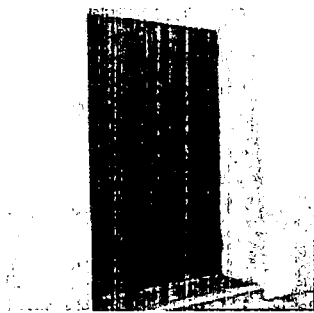


- "Altito" effect, when roofs of different levels adjoin

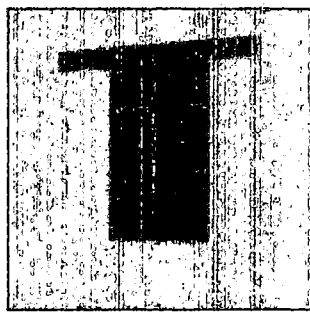


- Built with wood beams and rafters, clad in round clay tiles

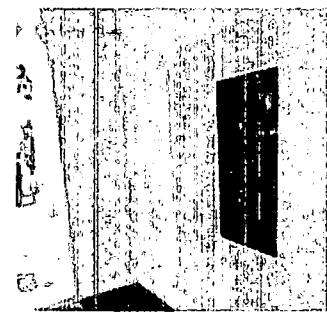
Doors and Windows



- Carved wood panel doors



- Exposed wood lintels



- Openings substantial in depth

### Arcades

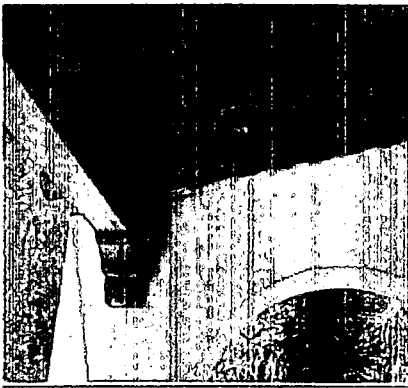


- Elaborate arch treatment, support is provided by rectangular columns of sturdy proportion



- The columns' uppermost molding serves as impost mold from which the arches spring

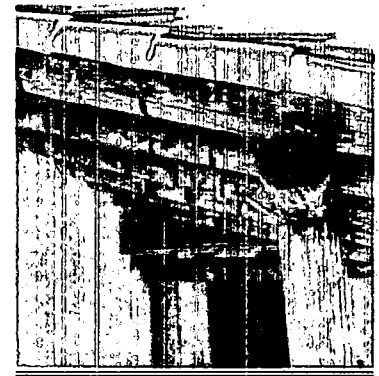
### Porticos



- Plastered adobe columns and wood beams and rafters

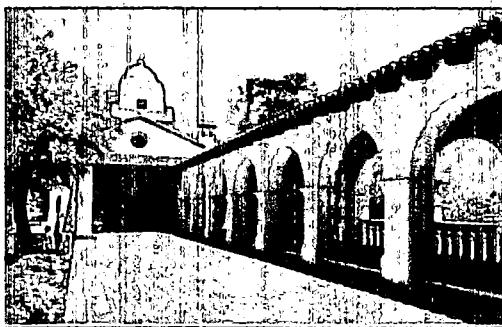


- Porticos formed by extension of roof plane over patio

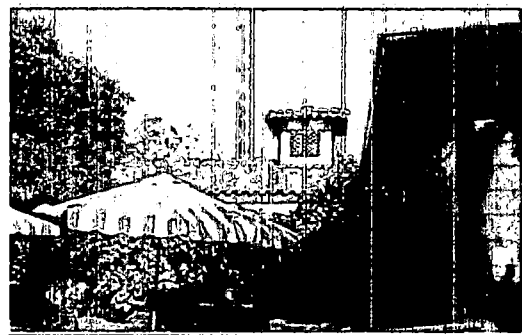


- Hand-hewn wood support posts, beams and rafters

### Towers



- Towers used to anchor a corner building



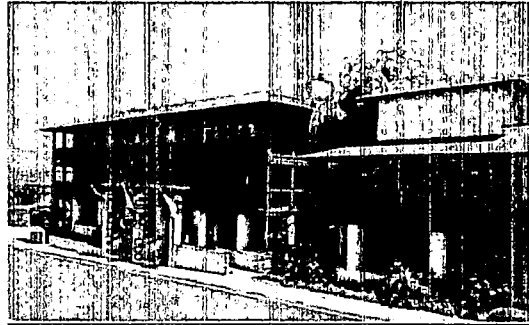
- Towers used to provide a central element

## MEXICAN PERIOD (1821-1846)

### Massing and Building Forms



- Second story may be less than full width of first story
- Can enclose a private or semi-private courtyard

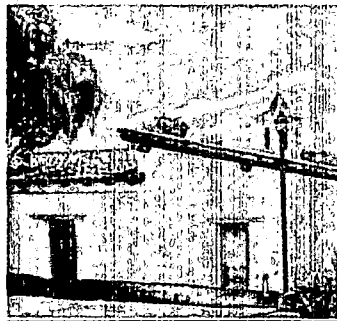


- Simple rectangular forms

### Roofs



- Extended eaves, sometimes forming porticos



- "Altito" effect, when roofs of different levels adjoin

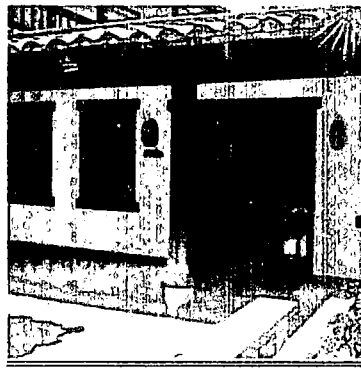


- Exposed rafters, purlins and rafter tails, clad with clay tiles

### Doors and Windows



- Opening substantial in depth



- Molded wood frames

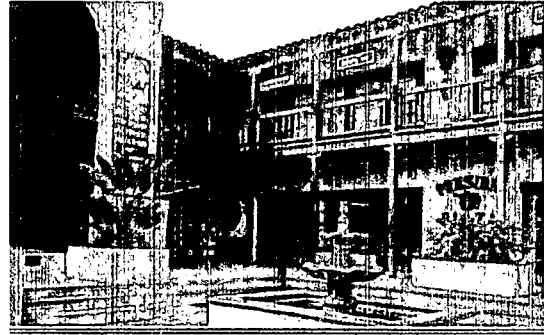


- Exposed wood lintels; wood bars

**Porticos**



- Porticos formed by a separate roof plane adjoined to wall creating "altito" effect



- Simple, heavy structure with wood support posts, beams and rafters, clad with clay tiles

**Balconies**



- Wood railings of plain design



- Standalone balconies



- Balconies combined with porticos

**Exterior Stairs**



- Built with adobe-type materials



- Used as accent elements



- Integrated stepped handrails

## EARLY AMERICAN PERIOD (1846-1872)

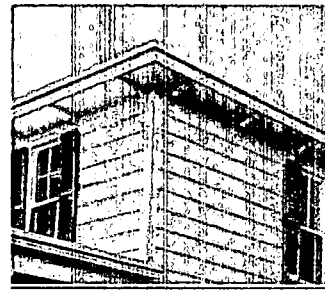
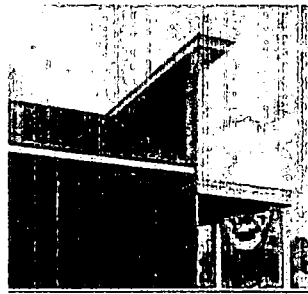
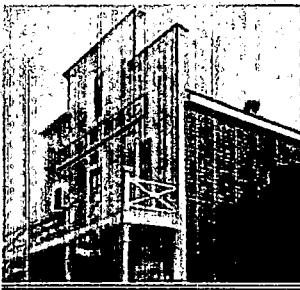
### Massing and Building Forms



- Simple rectangular forms
- Buildings of one and two stories in height

- Symmetrical composition
- Wooden lap siding

### Roofs

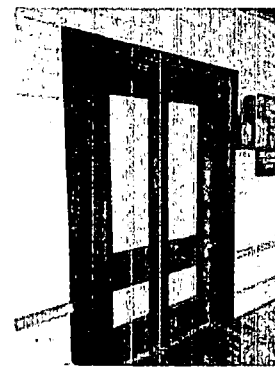
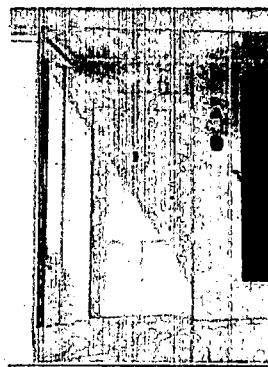


- Flat false front in commercial buildings

- Concealed gable roof

- Extended eaves; cornice moldings supported on brackets

### Doors



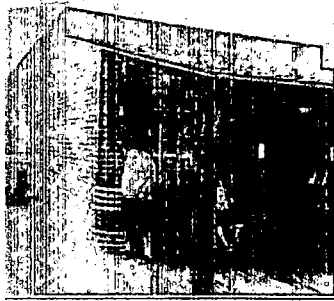
- Wood-paneled doors

- Molded frames around door and windows

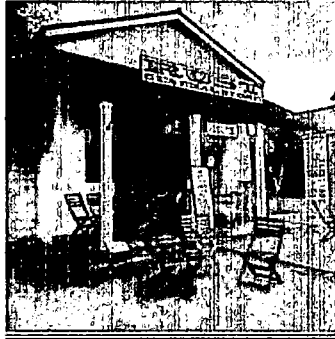
- Molded frames around door

- Molded frames around door

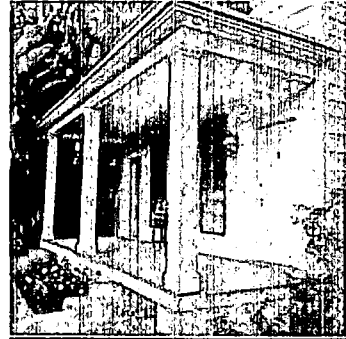
Porticos and Porches



- Projecting porches with sawn wood posts



- Projecting porches with wood post and flooring



- Projecting porches with wood post and flooring

Balconies



- Balconies with sawn wood railings



- Balconies with turned wood balusters with porticos



- Balconies with turned wood balusters without porticos

Windows



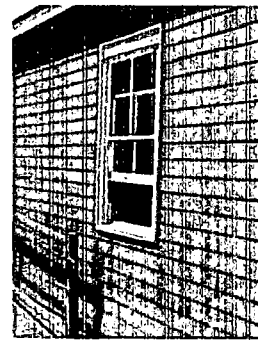
- Single-hung sash windows with divided lights



- Double-hung sash windows with divided lights



- With shutters



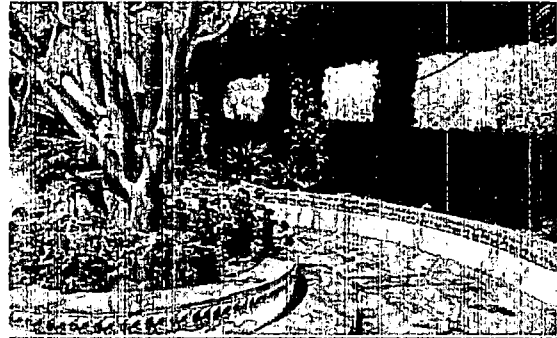
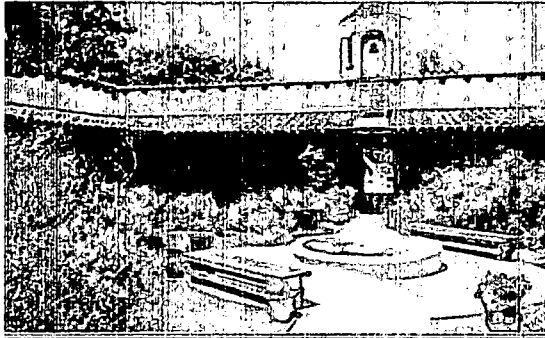
- Without shutters

**Article 16: Old Town San Diego Planned District**

**APPENDIX B: Site Design Features**

The incorporation of plazas, courtyards, patios, or paseos, as well as clearly defined walkways into a site's design can help shape vibrant pedestrian-oriented places.

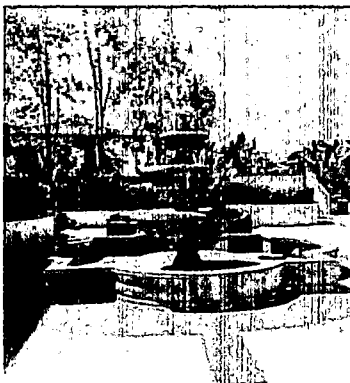
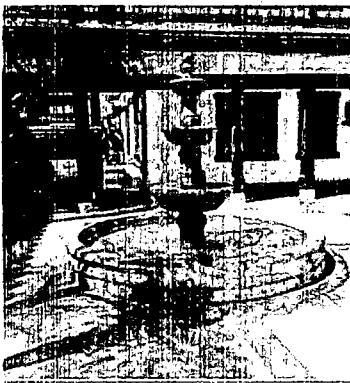
**Plazas, Courtyards, and Paseos**



**Walkways**



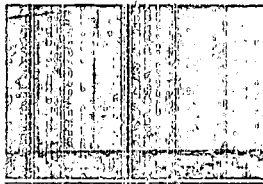
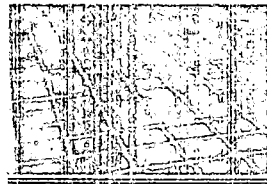
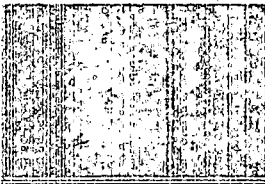
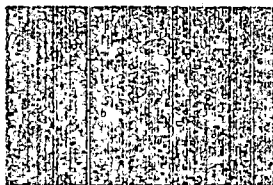
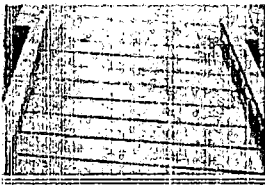
**Fountains and Sculptures**



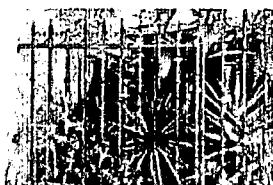
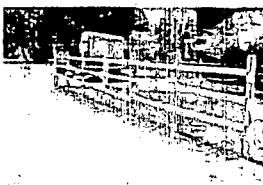
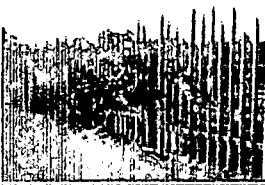
**Building and Site Lighting**



**Paving**



**Fences and Walls**





Article 16: Old Town San Diego Planned District

APPENDIX C: Streetscape Features

Streetscape enhancements include wider sidewalks, street trees and parkway landscaping, and street furniture.

Parkway Landscaping

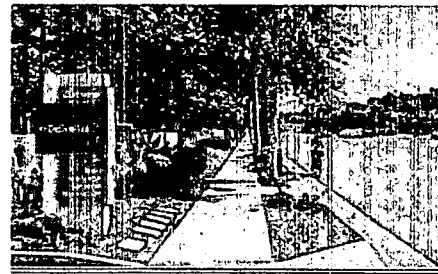


- Parkway landscaping should incorporate drought-tolerant plant species from the Planting Palette.

Sidewalks

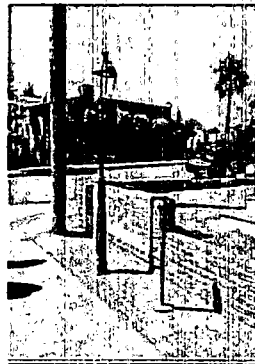


- Sombrero Buff-colored concrete sidewalks



- Non-contiguous sidewalks with parkway landscaping

Street Lighting



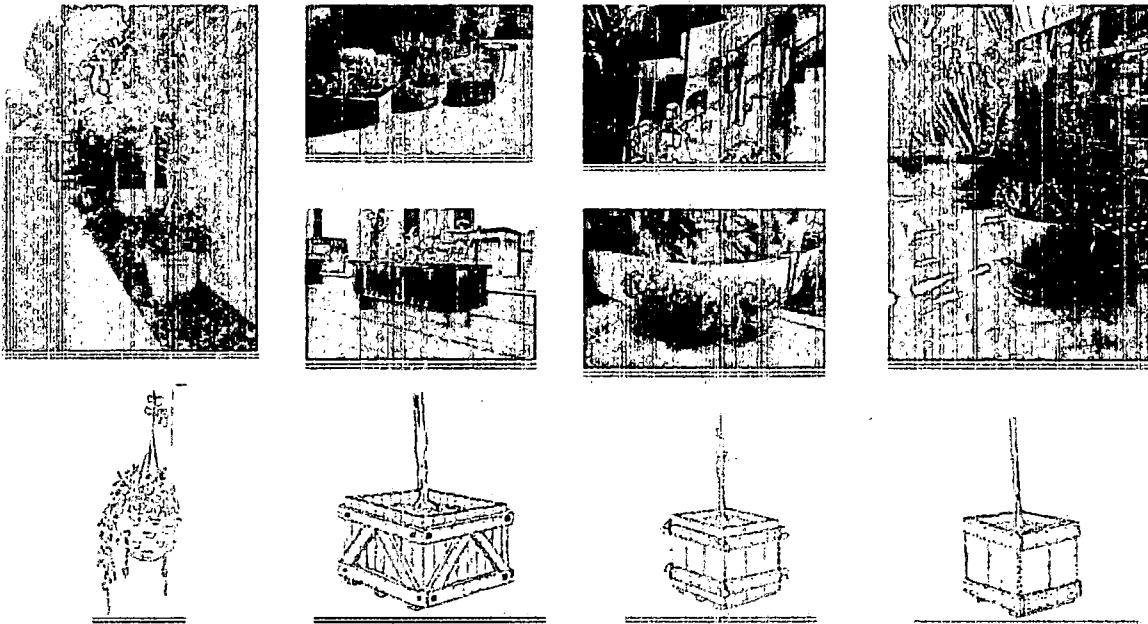
- Historic style single lantern lighting. Consider replacing concrete post with wooden post design

Trash Cans



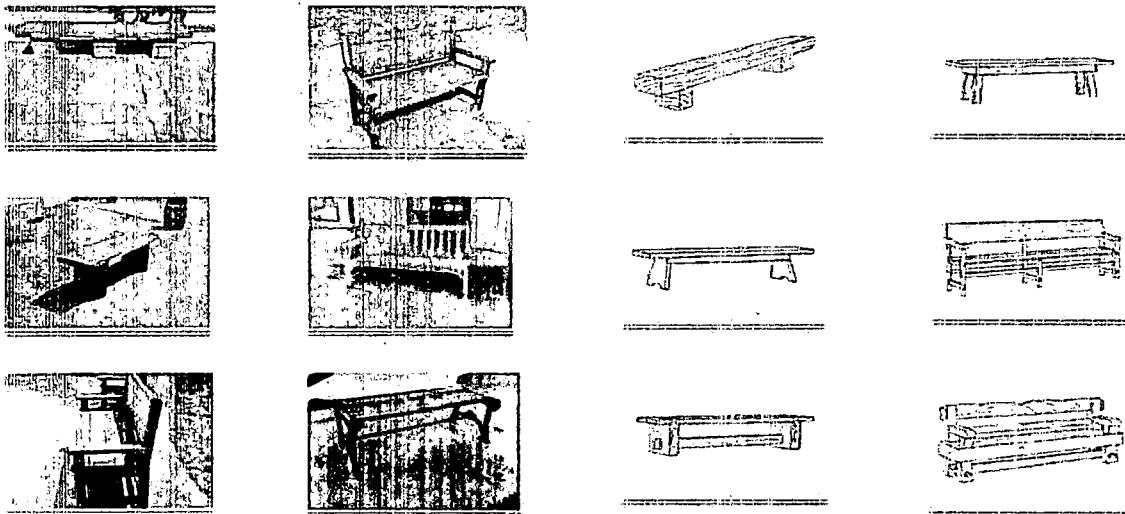
- Trash receptacles that resemble wood barrels

**Planters and Pots**



- Planters and pots made of cast stone, clay, wood or masonry are appropriate. Tree planter boxes designed for the Old Town State Historic Park by State of California, Department of Parks and Recreation are shown above.

**Benches**



- Benches made of wood, adobe-style blocks, wrought iron, or a combination. Bench designs prepared for Old Town San Diego State Historic Park by State of California, Department of Parks and Recreation shown above.

**Article 16: Old Town San Diego Planned District****APPENDIX D: Planting Palette****Table 1: Planting Palette A – Herbaceous Plant Species**

<u>Botanical Name</u>	<u>Common Name</u>	<u>Botanical Name</u>	<u>Common Name</u>
<u>Frankenia capitata laevis</u>	<u>Sea Heath</u>	<u>Papaver rupifragum</u>	<u>Spanish Poppy</u>
<u>Gaillardia aristata</u>	<u>Blanket Flower</u>	<u>Passiflora caerulea</u>	<u>Blue Crown Passion Flower</u>
<u>Gazania (any species)</u>	<u>African Daisy</u>	<u>Pastinca sativa</u>	<u>Parsnip</u>
<u>Grindelia species</u>	<u>Gum Plant</u>	<u>Pelargonium (any species)</u>	<u>Geranium</u>
<u>Gynura aurantiaca</u>	<u>Purple Passion Plant</u>	<u>Pellaea (any species)</u>	<u>Cliffbrake</u>
<u>Helleborus lividus</u>	<u>Majorcan Hellebore</u>	<u>Petasites fragrans</u>	<u>Winter Heliotrope</u>
<u>Heuchera sanguinea</u>	<u>Coral Bells</u>	<u>Petroselinum hortense</u>	<u>Parsley</u>
<u>Hosackia gracilis</u>	<u>Coast Lotus</u>	<u>Phyllostachys (any species)</u>	<u>Bamboo</u>
<u>Hyacinthoides hispanica</u>	<u>Spanish Bluebell</u>	<u>Pirapinella anisum</u>	<u>Anise</u>
<u>Indigofera (any species)</u>	<u>Indigo</u>	<u>Pisum sativum</u>	<u>Pea</u>
<u>Ipomoea batatas</u>	<u>Sweet Potato</u>	<u>Polianthes tuberosa</u>	<u>Tuberose</u>
<u>Iris (any species)</u>	<u>Iris</u>	<u>Portulaca grandiflora</u>	<u>Moss Rose</u>
<u>Jasminum grandiflorum</u>	<u>Spanish Jasmine</u>	<u>Raphanus sativus</u>	<u>Radish</u>
<u>Kalanchoe flammula</u>	<u>Kalanchoe</u>	<u>Rhamnus californica</u>	<u>Coffeeferry</u>
<u>Kniphofia uvaria</u>	<u>Red-Hot Poker</u>	<u>Rhamnus species</u>	<u>Buckthorns</u>
<u>Lantana (any species)</u>	<u>Lantana</u>	<u>Rheum Rhaponticum</u>	<u>Rhubarb</u>
<u>Lathyrus splendens</u>	<u>Campo Pea</u>	<u>Rosmarinus officinalis</u>	<u>Rosemary</u>
<u>Lactuca sativa</u>	<u>Lettuce</u>	<u>Salvia (any species)</u>	<u>Sage, Chia, etc.</u>
<u>Lavandula (any species)</u>	<u>Lavender</u>	<u>Satureja douglasii</u>	<u>Yerba Buena</u>
<u>Lavatera trimestris</u>	<u>Rose Mallow</u>	<u>Scabiosa atropurpurea</u>	<u>Pincushion Flower</u>
<u>Lilium candidum</u>	<u>Madonna Lily</u>	<u>Sisyrinchium bellum</u>	<u>Blue-eyed grass</u>
<u>Limonium (any species)</u>	<u>Sea Lavender, etc.</u>	<u>Sisyrinchium bermudianum</u>	<u>Blue-eyed grass</u>
<u>Liriope (any species)</u>	<u>Liriope</u>	<u>Solidago species</u>	<u>Goldenrod</u>
<u>Lupinus (any species)</u>	<u>Lupine</u>	<u>Sparaxis elegans</u>	<u>Harlequin Flower</u>
<u>Lycopersicon esculentum</u>	<u>Tomato</u>	<u>Spinacia oleracea</u>	<u>Spinach</u>

<u>Botanical Name</u>	<u>Common Name</u>	<u>Botanical Name</u>	<u>Common Name</u>
<u>Malvastrum coccineum</u>	<u>False Mallow</u>	<u>Solanum tuberosum</u>	<u>Potato</u>
<u>Marah fabaceus</u>	<u>Wild Cucumber</u>	<u>Tagetes erecta</u>	<u>Mexican Marigold</u>
<u>Matthiola incana</u>	<u>Stock</u>	<u>Thymus (any species)</u>	<u>Thyme</u>
<u>Melissa officinalis</u>	<u>Lemon Balm</u>	<u>Tithonia rotundifolia</u>	<u>Mexican Sunflower</u>
<u>Mentha arvensis</u>	<u>Common Mint</u>	<u>Tropaeolum majus</u>	<u>Nasturtium</u>
<u>Mentha piperita</u>	<u>Peppermint</u>	<u>Tulipa clusiana</u>	<u>Lady Tulip</u>
<u>Mentha pulegium</u>	<u>Pennyroyal</u>	<u>Vicia faba</u>	<u>Broad Bean</u>
<u>Milla biflora</u>	<u>Mexican Star</u>	<u>Vinca (any species)</u>	<u>Vinca</u>
<u>Mirabilis jalapa</u>	<u>Four O'Clock Flower</u>	<u>Viola cornuta (any species)</u>	<u>Violet</u>
<u>Morisia monantha</u>	<u>Morisia</u>	<u>Vitis girdjana</u>	<u>Southern California Grape</u>
<u>Narcissus (any species)</u>	<u>Daffodil</u>	<u>Vitis vinifera</u>	<u>Grape</u>
<u>Nepeta mussinii</u>	<u>Catmint</u>	<u>Woodwardia (any species)</u>	<u>Chain Fern</u>
<u>Ocimum basilicum</u>	<u>Basil</u>	<u>Zantedeschia aethiopica</u>	<u>Calla Lily</u>
<u>Origanum vulgare</u>	<u>Marjoram</u>	<u>Zea maize</u>	<u>Corn</u>
<u>Oxypetalum coeruleum</u>	<u>Blue Flowered Milkweed</u>	<u>Zingiber officinale</u>	<u>Ginger</u>
<u>Pancratium (any species)</u>	<u>Sea Daffodil</u>	<u>Zinnia elegans</u>	<u>Zinnia</u>
<u>Papaver rhoeas</u>	<u>Flanders Poppy</u>		

**Table 2: Planting Palette B – Landscape Tree and Shrub Species**

<u>Botanical Name</u>	<u>Common Name</u>	<u>Botanical Name</u>	<u>Common Name</u>
<u>Any tree or shrub species native to San Diego County</u>	<u>Varies</u>	<u>Diospyros kaki ^+</u>	<u>Japanese Persimmon</u>
		<u>Erica melanthera +</u>	<u>Heather</u>
<u>Abies concolor *</u>	<u>Balsam Fir</u>	<u>Eriogonum giganteum **</u>	<u>St. Catherine's Lace</u>
<u>Acacia farnesiana +</u>	<u>Sweet Acacia</u>	<u>Erythrina crista-gailli +</u>	<u>Cockspur Coral Tree</u>
<u>Acacia subporosa +</u>	<u>River Wattle</u>	<u>Ficus carica ^+</u>	<u>Mission Fig</u>
<u>Acalypha californica **</u>	<u>California Copperleaf</u>	<u>Fortunella japonica ^+</u>	<u>Round Kumquat</u>
<u>Acer negundo *</u>	<u>Box Elder</u>	<u>Fouquieria splendens **</u>	<u>Ocotillo</u>
<u>Adenostoma fasciculatum **</u>	<u>Chamise</u>	<u>Fraxinus velutina coriacea **</u>	<u>Montebello Ash</u>

<u>Botanical Name</u>	<u>Common Name</u>	<u>Botanical Name</u>	<u>Common Name</u>
<u>Adenostoma sparsifolium</u> *+	<u>Ribbon Wood, Red Shanks</u>	<u>Fremontia mexicana</u> *+	<u>Southern Flannel Bush</u>
<u>Aesculus californica</u> *+	<u>California Buckeye</u>	<u>Fuchsia triphylla</u>	<u>Honeysuckle Fuchsia</u>
<u>Allamanda hendersonii</u>	<u>Golden Trumpet</u>	<u>Grevillea robusta</u> +	<u>Silk Oak</u>
<u>Alnus rhombifolia</u> *	<u>White Alder</u>	<u>Hesperocyparis macrocarpa</u> *+	<u>Monterrey Cypress</u>
<u>Anisacanthus wrightii</u> +	<u>Red Texas Firecracker</u>	<u>Heteromeles arbutifolia</u> *+	<u>Toyon</u>
<u>Antigonon leptopus</u> +	<u>Coral Vine</u>	<u>Holmskioldia sanguinea</u>	<u>Chinese Hat Plant</u>
<u>Arbutus unedo</u> ^+	<u>Strawberry Tree</u>	<u>Hydrangea macrophylla</u>	<u>Hydrangea</u>
<u>Arctostaphylos</u> (any species) *+	<u>Manzanitas</u>	<u>Hylocereus triangularis</u> +	<u>Night Blooming Cactus</u>
<u>Bauhinia galpinii</u>	<u>Red Orchid Bush</u>	<u>Ilex perado</u>	<u>Canary Island Holly</u>
<u>Beaucarnea recurvata</u> +	<u>Elephant's Foot</u>	<u>Juglans californica</u> *+	<u>California Walnut</u>
<u>Bougainvillea</u> (any species) +	<u>Bougainvillea</u>	<u>Juglans regia</u>	<u>English Walnut</u>
<u>Boussingaultia basseloides</u>	<u>Madeira Vine</u>	<u>Juniperus excelsa</u> +	<u>Greek Juniper</u>
<u>Brachychiton acerifolius</u> +	<u>Flame Tree</u>	<u>Juniperus californica</u> *+^	<u>California Juniper</u>
<u>Brugmansia suaveolens</u>	<u>Angels' Tears</u>	<u>Kennedya rubicunda</u> +	<u>Dusky Coral Pea</u>
<u>Bursera microphylla</u> *+	<u>Littleleaf Elephant Tree</u>	<u>Laurus nobilis</u> +	<u>Bay Laurel Tree</u>
<u>Buxus microphylla</u> +	<u>Littleleaf Box</u>	<u>Lavatera olbia</u> +	<u>Tree Lavatera</u>
*California native +Drought Tolerant ^Produces Fruit			
<u>Calocephalus brownii</u> +	<u>Cushion Bush</u>	<u>Leonotis leonurus</u> +	<u>Lion's Tail</u>
<u>Calocedrus decurrens</u> *+	<u>Incense Cedar</u>	<u>Lippia citriodora</u> +	<u>Lemon Verbena</u>
<u>Ceanothus</u> (any species) *+	<u>Mountain Lilac</u>	<u>Littonia modesta</u> +	<u>Climbing Lily</u>
<u>Celtis reticulata</u> *+^	<u>Western Hackberry</u>	<u>Mahonia nevinii</u> *+^	<u>Nevin's Barberry</u>
<u>Cercidium floridum</u> *+	<u>Palo Verde</u>	<u>Malus sylvestris</u> ^	<u>Apple</u>
<u>Cercis occidentalis</u> *+	<u>Western Redbud</u>	<u>Malva assurgentiflora</u> *+	<u>Island Mallow</u>
<u>Chilopsis linearis</u> *+	<u>Desert Willow</u>	<u>Manettia bicolor</u>	<u>Firecracker Vine</u>
<u>Chorizema cordatum</u>	<u>Australian Flame Pea</u>	<u>Melia azedarac</u> +	<u>Chinaberry Tree</u>
<u>Citrus</u> (any species) ^	<u>Citrus</u>	<u>Mimusops elengi</u> +^	<u>Spanish Cherry</u>
<u>Clematis balearica</u>	<u>Fern-Leaved Clematis</u>	<u>Mirabilis laevis</u> *+	<u>Wishbone Bush</u>

<u>Botanical Name</u>	<u>Common Name</u>	<u>Botanical Name</u>	<u>Common Name</u>
<u>Convolvulus cneorum</u> +	<u>Bush Morning Glory</u>	<u>Mitrostigma axillare</u>	<u>African Gardenia</u>
<u>Cuphea (any species)</u>	<u>Cuphea</u>	<u>Momordica charantia</u> ^+	<u>Bitter Melon</u>
<u>Cupressus sempervirens</u> +	<u>Italian Cypress</u>	<u>Musa sapientum</u> ^	<u>Plantain</u>
<u>Cupressus forbesii</u> *+	<u>Tecate Cypress</u>	<u>Myrsine africana</u> +	<u>African Boxwood</u>
<u>Cydonia oblonga</u> ^	<u>Quince</u>	<u>Nerium oleander</u> +	<u>Oleander</u>
<u>Cytisus canariensis</u> +	<u>Canary Island Broom</u>	<u>Nicotiana glauca</u>	<u>Flowering Tobacco</u>
<u>Danae racemosa</u> +	<u>Alexandrian Laurel</u>	<u>Olea europaea</u> +^	<u>Olive</u>
<u>Delonix regia</u> +	<u>Royal Poinciana</u>	<u>Olneya tesota</u> *+	<u>Desert Ironwood</u>
<u>Opuntia (any species)</u> *+^	<u>Prickly Pear, etc.</u>	<u>Psoralea argemone</u> *	<u>Smokethorn</u>
<u>Parkinsonia aculeata</u> +	<u>Mexican Palo Verde</u>	<u>Punica granatum</u> ^+	<u>Pomegranate</u>
<u>Parkinsonia microphylla</u> *+	<u>Little Leaf Palo Verde</u>	<u>Pyrus communis</u> ^	<u>Pear</u>
<u>Persea americana</u> ^	<u>Avocado</u>	<u>Quamoclit lobata</u> +	<u>Spanish Flag Vine</u>
<u>Philadelphus mexicanus</u>	<u>Mock Orange</u>	<u>Quercus agrifolia</u> *+	<u>Coast Live Oak</u>
<u>Phlomis fruticosa</u> +	<u>Jerusalem Sage</u>	<u>Quercus chrysolepis</u> +	<u>Canyon Live Oak</u>
<u>Phoenix dactylifera</u> ^	<u>Date Palm</u>	<u>Quercus engelmannii</u> *+	<u>Engelmann Oak</u>
<u>Phygelius capensis</u>	<u>Cape Fuchsia</u>	<u>Quercus ilex</u> *+	<u>Holly Oak</u>
<u>Phytolacca dioica</u> +^	<u>Ombu</u>	<u>Quercus kelloggii</u> *+	<u>Black Oak</u>
<u>*California native +Drought Tolerant ^Produces Fruit</u>			
<u>Pinus coulteri</u> *+	<u>Coulter Pine</u>	<u>Quercus suber</u> *+	<u>Cork Oak</u>
<u>Pinus jeffreyi</u> *+	<u>Jeffrey Pine</u>	<u>Quercus wislizenii</u> *	<u>Interior Live Oak</u>
<u>Pinus monophylla</u> *+	<u>Single-Leaf Pinyon</u>	<u>Roldana petasitis</u>	<u>Velvet Groundsel</u>
<u>Pinus pinea</u> +	<u>Stone Pine</u>	<u>Romneya coulteri</u> *+	<u>Matilija Poppy</u>
<u>Pinus quadrifolia</u> *+	<u>Parry Pinyon Pine</u>	<u>Rosa (any species)</u>	<u>Rose</u>
<u>Pinus torreyana</u> *+	<u>Torrey Pine</u>	<u>Salix (any species)</u>	<u>Willow</u>
<u>Platanus racemosa</u> *+	<u>California Sycamore</u>	<u>Sambucus cerulea</u> *+^	<u>Blueberry Elder</u>
<u>Poinciana gilliesii</u> +	<u>Yellow Bird of Paradise</u>	<u>Schinus molle</u> +	<u>Pepper Tree</u>
<u>Populus fremontii</u> +	<u>Fremont Cottonwood</u>	<u>Senecio confusus</u> +	<u>Mexican Flame Vine</u>
<u>Populus trichocarpa</u> *	<u>Black Cottonwood</u>	<u>Solandra grandiflora</u>	<u>Cup of Gold Vine</u>

<u>Botanical Name</u>	<u>Common Name</u>	<u>Botanical Name</u>	<u>Common Name</u>
<u>Prosopis glandulosa *</u>	<u>Honey Mesquite</u>	<u>Solanum rantonnetii +</u>	<u>Blue Potato Bush</u>
<u>Prosopis juliflora *+</u>	<u>Mesquite</u>	<u>Strelitzia nicolai +</u>	<u>White Bird of Paradise</u>
<u>Prosopis pubescens *</u>	<u>Screwbean</u>	<u>Streptosolen jamesonii</u>	<u>Marmalade Bush</u>
<u>Prunus amygdalus ^</u>	<u>Almond</u>	<u>Tecoma stans +</u>	<u>Yellow Bells</u>
<u>Prunus armeniaca ^</u>	<u>Apricot</u>	<u>Teucrium fruticans +</u>	<u>Bush Germander</u>
<u>Prunus avium ^</u>	<u>Cherry</u>	<u>Tipuana tipu +</u>	<u>Tipu Tree</u>
<u>Prunus cerasus ^</u>	<u>Sour Cherry</u>	<u>Umbellularia californica *+</u>	<u>California Bay</u>
<u>Prunus domestica ^</u>	<u>Common Plum</u>	<u>Ungnadia speciosa +</u>	<u>Mexican Buckeye</u>
<u>Prunus capuli *^</u>	<u>Mexican Cherry</u>	<u>Viburnum tinus</u>	<u>Lauristinus</u>
<u>Prunus ilicifolia *+</u>	<u>Hollyleaf Cherry</u>	<u>Virgilia oroboides</u>	<u>Cape Virgilia</u>
<u>Prunus ilicifolia ssp lyonii *+^</u>	<u>Catalina Cherry</u>	<u>Visnea mocanera</u>	<u>Visnea</u>
<u>Prunus persica ^</u>	<u>Peach</u>	<u>Vitex agnus-castus +</u>	<u>Vitex</u>
<u>Prunus virginiana *^</u>	<u>Chokecherry</u>	<u>Washingtonia filifera *+</u>	<u>California Fan Palm</u>
<u>Pseudotsuga macrocarpa *+</u>	<u>Bigcone Spruce</u>	<u>Yucca (any species) *+</u>	<u>Yucca, etc.</u>
*California native +Drought Tolerant ^Produces Fruit			

**Table 3: Corridor-Specific Street Tree Species**

<u>Key</u>	<u>Street Corridor</u>	<u>Segment</u>	<u>Primary Tree</u>	<u>Secondary Tree</u>
<u>A</u>	<u>San Diego Avenue</u>	<u>Twigs Street to Old Town Avenue</u>		
		<u>2' - 4' Parkway</u>	<u>Weeping Acacia (Acacia pendula)</u>	<u>Silk Tree (Albizia julibrissin)</u>
		<u>4' - 6' Parkway</u>	<u>Blue Palo Verde (Cercidium floridum)</u>	<u>Australian Willow (Geijera parviflora)</u>
		<u>6' - 10' Parkway</u>	<u>Chinese Flame Tree (Koelreuteria paniculata)</u>	<u>Fruitless Olive (Olea europaea)</u>
<u>B</u>	<u>Old Town Avenue</u>	<u>Moore Street to San Diego Avenue</u>		
		<u>2' - 4' Parkway</u>	<u>Silk Tree (Albizia julibrissin)</u>	<u>Silk Tree (Albizia julibrissin)</u>
		<u>4' - 6' Parkway</u>	<u>Australian Willow (Geijera parviflora)</u>	<u>Desert Willow (Chilopsis linearis)</u>

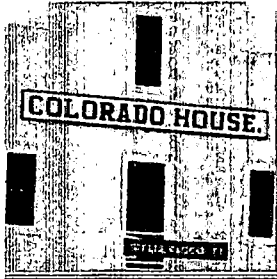
		<u>6' - 10' Parkway</u>	<u>Fruitless Olive (Olea europaea)</u>	<u>Fruitless Olive (Olea europaea)</u>
<u>C</u>	<u>Congress Street</u>	<u>Taylor Street to San Diego Avenue</u>		
		<u>2' - 4' Parkway</u>	<u>Strawberry Tree (Arbutus unedo)</u>	<u>Silk Tree (Albizia julibrissin)</u>
		<u>4' - 6' Parkway</u>	<u>Marina Strawberry Tree (Arbutus unedo marina)</u>	<u>Desert Willow (Chilopsis linearis)</u>
		<u>6' - 10' Parkway</u>	<u>Glossy Privet (Ligustrum lucidum)</u>	<u>Fruitless Olive (Olea europaea)</u>
<u>D</u>	<u>Juan Street</u>	<u>Taylor Street to Harnes Street</u>		
		<u>2' - 4' Parkway</u>	<u>Silk Tree (Albizia julibrissin)</u>	<u>Western Redbud (Cercis occidentalis)</u>
		<u>4' - 6' Parkway</u>	<u>Australian Willow (Geijera parviflora)</u>	<u>White Orchid Tree (Bauhinia forficata)</u>
		<u>6' - 10' Parkway</u>	<u>Fruitless Olive (Olea europaea)</u>	<u>Australian Bottle Tree (Brachychiton populneus)</u>
<u>E</u>	<u>Pacific Highway</u>	<u>Old Town Transit Center to San Diego River Park</u>		
		<u>2' - 4' Parkway</u>	<u>Catalina Ironwood (Lyonothamus floribundus)</u>	<u>Catalina Ironwood (Lyonothamus floribundus)</u>
		<u>4' - 6' Parkway</u>	<u>Brisbane Box (Lophostemon confertus)</u>	<u>Holly Oak (Quercus ilex)</u>
		<u>6' - 10' Parkway</u>	<u>Southern Magnolia 'Samuel Sommer' (Magnolia grandiflora)</u>	<u>California Sycamore (Platanus racemosa)</u>
		<u>&gt; 10' Parkway</u>	<u>Coast Live Oak (Quercus agrifolia)</u>	
<u>F</u>	<u>Taylor Street</u>	<u>Old Town Transit Center to Presidio Drive</u>		
		<u>2' - 4' Parkway</u>	<u>Catalina Ironwood (Lyonothamus floribundus)</u>	<u>Guadalupe Fan Palm (Brahea edulis)</u>
		<u>4' - 6' Parkway</u>	<u>Raywood Ash (Fraxinus oxycarpa)</u>	<u>California Fan Palm (Washingtonia filifera)</u>
		<u>6' - 10' Parkway</u>	<u>California Sycamore (Platanus racemosa)</u>	<u>Pindo Palm (Butia capitata)</u>



Article 16: Old Town San Diego Planned District

APPENDIX E: Sign Design Features

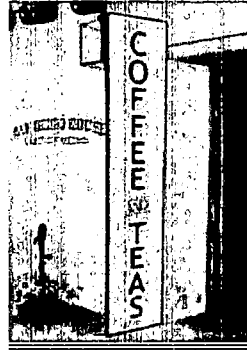
Sign Shapes – Most Common Shapes



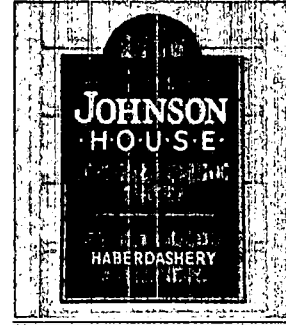
- Horizontal



- Horizontal with ornate left and right edge designs



- Vertical

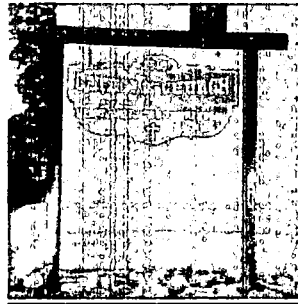


- Vertical with ornate top edge design

Sign Shapes – Other Common Shapes



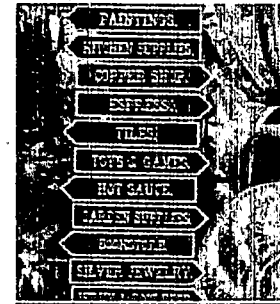
- Curved or arch



- Shield



- Oval



- Representative (Arrow)

Sign Materials – Sign Body



- Painted wood



- Painted wood with wood frame

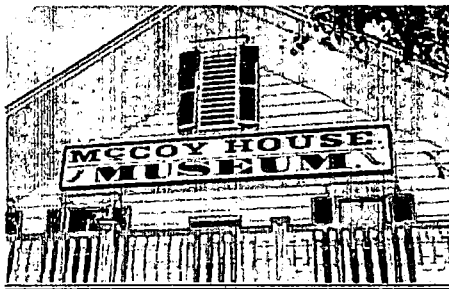


- Painted directly on facade or window



- Canvas or sailcloth

Sign Materials – Sign Supports



- Direct attachment to a building or canopy structure



- Attached to building or canopy with metal straps



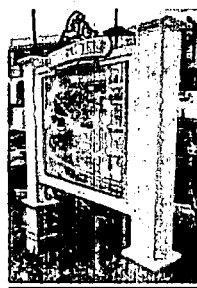
- Suspension from wrought iron support



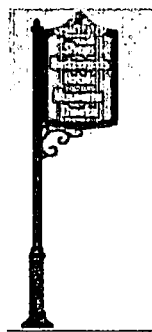
- Mounted on wood sign post(s)



- Suspension from wood sign post



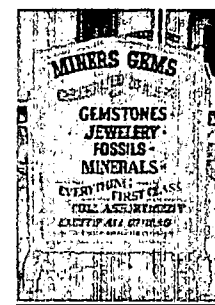
- Mounted on masonry column with stucco finish



- Mounted on cast iron or cast metal post



- Sidewalk Directional Signs mounted on cast metal (left) and wooden (right) frames



Sign Background, Letter, and Details Examples



- Sign content, primarily lettering, covers the majority of sign area

- Periods used for emphasis

- Painted letter blocking used along one line of the sign's text to give the appearance of three dimensionality and is oriented in one direction



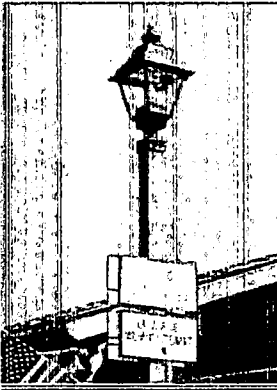
- Painted letter shadow used to simulate shadow that would be cast by text

- Color lettering is separated from colored background by painted line

- Common pre-1872 symbol is used to fill space

- Interior pin-striping designs used

Lighting and Sign Illumination



• French Quarter lantern



• Millhouse lamp




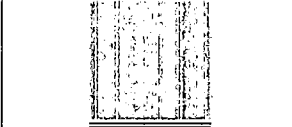
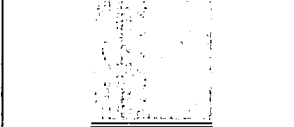

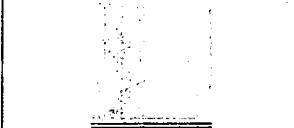

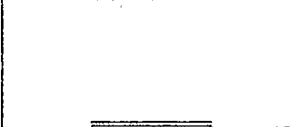


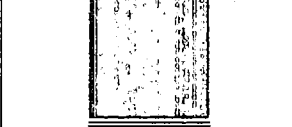


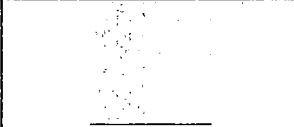

• Gooseneck lamp

**Old Town San Diego Planned District Ordinance**  
**Appendix F: Permitted Exterior Building Colors**


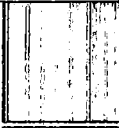
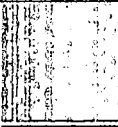
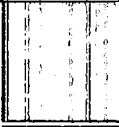
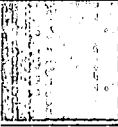
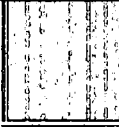
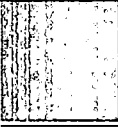

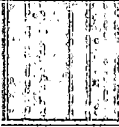
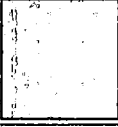
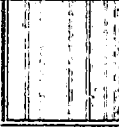
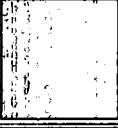

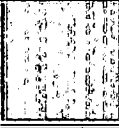
Tints and shades of colors are also permitted.

Note: Color swatches are provided for informational purposes and may vary from paint color due to printing process or computer screen qualities. Refer to RGB values for absolute color reference.

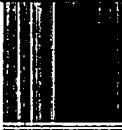


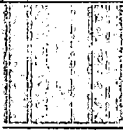


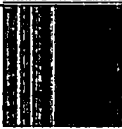
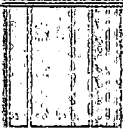

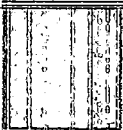
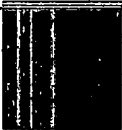

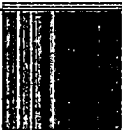



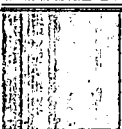

**Spanish and Mexican Architectural Periods – Primary and Accent Colors:**

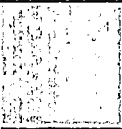

<b><u>RGB Values</u></b>	<b><u>Color Swatch</u></b>	<b><u>RGB Values</u></b>	<b><u>Color Swatch</u></b>
<b><u>White*</u></b>		<b><u>Beige and Brown</u></b>	
<u>243/228/211</u>		<u>224/182/149</u>	
<u>226/216/194</u>		<u>204/148/105</u>	
<u>229/223/205</u>		<u>225/216/184</u>	
<u>246/239/225</u>		<u>204/172/134</u>	
<u>255/255/255</u>		<u>121/87/69</u> <u>(Accent Only)</u>	
<b><u>Yellow</u></b>			
<u>211/159/95</u>		<u>101/80/70</u> <u>(Accent Only)</u>	
<u>236/216/177</u>		<u>108/86/84</u> <u>(Accent Only)</u>	

\* Any hue of white may be used.

<b>RGB Values</b>	<b>Color Swatch</b>	<b>RGB Values</b>	<b>Color Swatch</b>
<b><u>Green</u></b>		<b><u>Red</u></b>	
<u>198/193/145</u> (Accent Only)		<u>179/75/71</u> (Accent Only)	
<u>171/154/110</u> (Accent Only)		<u>191/78/70</u> (Accent Only)	
<u>150/167/130</u> (Accent Only)		<u>147/84/68</u> (Accent Only)	
<u>144/146/111</u> (Accent Only)		<b><u>Orange</u></b>	
<u>153/176/144</u> (Accent Only)		<u>218/163/111</u>	
<u>69/98/82</u> (Accent Only)		<u>210/102/67</u> (Accent Only)	
<u>86/91/88</u> (Accent Only)		<b><u>Blue</u></b>	
<u>120/135/136</u> (Accent Only)		<u>103/110/122</u> (Accent Only)	

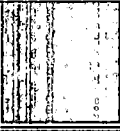

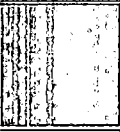
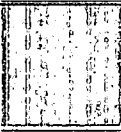

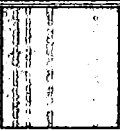
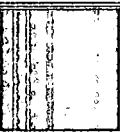
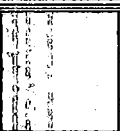
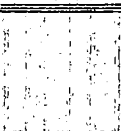



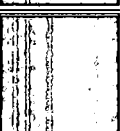

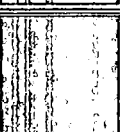

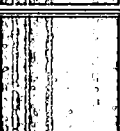
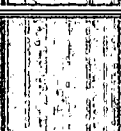
**Early American Architectural Period – Primary and Accent Colors**

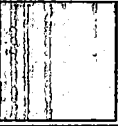
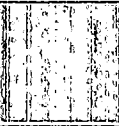

<b><u>RGB Values</u></b>	<b><u>Color Swatch</u></b>	<b><u>RGB Values</u></b>	<b><u>Color Swatch</u></b>
<b><u>Red and Pink</u></b>		<b><u>Orange</u></b>	
<u>165/64/73</u>		<u>243/163/71</u>	
<u>152/110/110</u>		<u>246/185/107</u>	
<u>179/75/71</u>		<u>254/160/81</u>	
<u>145/67/62</u>		<u>238/163/114</u>	
<u>203/142/129</u>		<u>212/140/70</u>	
<u>118/68/62</u>		<u>218/163/111</u>	
<u>147/84/68</u>		<u>245/198/139</u>	
<u>226/196/175</u>		<u>232/166/78</u>	
<u>205/168/148</u>		<u>252/190/106</u>	

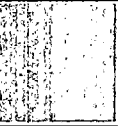


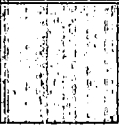
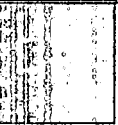
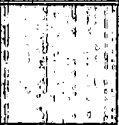
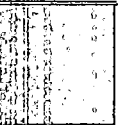

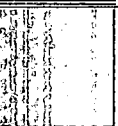

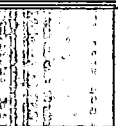

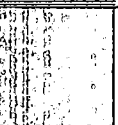

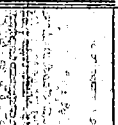

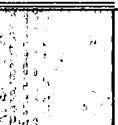

<b><u>RGB Values</u></b>	<b><u>Color Swatch</u></b>	<b><u>RGB Values</u></b>	<b><u>Color Swatch</u></b>
<b><u>Yellow</u></b>		<b><u>Beige and Brown</u></b>	
<u>238/201/135</u>		<u>182/115/80</u>	


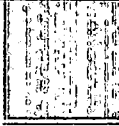
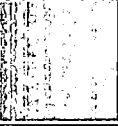
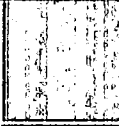


<u>218/183/127</u>		<u>191/118/76</u>	
<u>211/159/95</u>		<u>154/95/63</u>	
<u>254/220/173</u>		<u>204/148/105</u>	
<u>193/152/81</u>		<u>225/216/184</u>	
<u>238/208/83</u>		<u>182/115/80</u>	
<u>236/216/177</u>		<u>171/154/110</u>	
<u>198/156/93</u>		<u>157/127/76</u>	
<u>233/202/148</u>		<u>204/172/134</u>	
<u>242/208/130</u>		<u>221/202/175</u>	
<u>228/198/131</u>		<u>116/91/73</u>	
<u>244/201/108</u>		<u>173/127/71</u>	


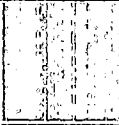


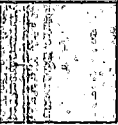
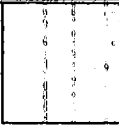
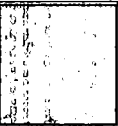



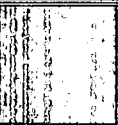


<u>RGB Values</u>	<u>Color Swatch</u>	<u>RGB Values</u>	<u>Color Swatch</u>
<u>Beige and Brown</u>		<u>Beige and Brown</u>	
<u>137/105/86</u>		<u>101/80/70</u>	
<u>183/141/97</u>		<u>177/156/143</u>	
<u>157/113/71</u>		<u>White and Gray</u>	
		<u>White (Any Hue)</u>	<u>N/A</u>
<u>121/87/69</u>		<u>243/228/211</u>	
<u>141/107/75</u>		<u>235/230/215</u>	
<u>101/80/70</u>		<u>226/216/194</u>	
<u>177/156/143</u>		<u>229/223/205</u>	
<u>108/86/84</u>		<u>246/239/225</u>	
<u>137/105/86</u>		<u>174/173/173</u>	
<u>183/141/97</u>		<u>157/146/138</u>	
<u>157/113/71</u>		<u>146/127/118</u>	

<u>121/87/69</u>		<u>188/171/156</u>	
<u>141/107/75</u>			

<u>RGB Values</u>	<u>Color Swatch</u>	<u>RGB Values</u>	<u>Color Swatch</u>
<u>Green</u>		<u>Green</u>	
<u>198/193/145</u>		<u>88/147/109</u>	
<u>150/167/130</u>		<u>140/178/149</u>	
<u>144/146/111</u>		<u>101/143/124</u>	
<u>169/164/130</u>		<u>14/105/95</u>	
<u>160/161/96</u>		<u>32/136/122</u>	
<u>149/148/134</u>		<u>70/85/76</u>	
<u>147/151/137</u>		<u>69/98/82</u>	
<u>154/158/136</u>		<u>144/177/174</u>	
<u>94/98/74</u>		<u>86/91/88</u>	

<u>108/112/97</u>		<u>120/135/136</u>	
<u>144/165/138</u>		<u>112/124/120</u>	
<u>153/176/144</u>		<u>94/109/110</u>	

<u>RGB Values</u>	<u>Color Swatch</u>	<u>RGB Values</u>	<u>Color Swatch</u>
<u>Green</u>		<u>Blue</u>	
<u>162/176/168</u>		<u>157/216/219</u>	
<u>66/84/76</u>		<u>74/94/108</u>	
<u>137/151/142</u>		<u>59/74/108</u>	
<u>99/90/79</u>		<u>167/179/183</u>	
<u>198/183/136</u>		<u>103/110/122</u>	
<u>126/111/79</u>			

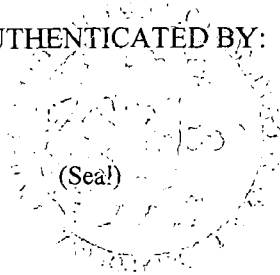
JAJ:nja  
09/24/18  
Or. Dept: Planning  
Doc. No.: 1849724\_2

Passed by the Council of The City of San Diego on NOV 13 2018, by the following vote:

Councilmembers	Yeas	Nays	Not Present	Recused
Barbara Bry	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Lorie Zapf	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Chris Ward	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Myrtle Cole	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mark Kersey	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Chris Cate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Scott Sherman	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
David Alvarez	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Georgette Gómez	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Date of final passage NOV 20 2018

AUTHENTICATED BY:



(Seal)

KEVIN L. FAULCONER

Mayor of The City of San Diego, California.

ELIZABETH S. MALAND

City Clerk of The City of San Diego, California.

By Ginda Irwin, Deputy

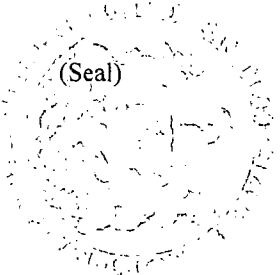
I HEREBY CERTIFY that the foregoing ordinance was not finally passed until twelve calendar days had elapsed between the day of its introduction and the day of its final passage, to wit, on

OCT 29 2018

, and on

NOV 20 2018

I FURTHER CERTIFY that said ordinance was read in full prior to passage or that such reading was dispensed with by a vote of five members of the Council, and that a written copy of the ordinance was made available to each member of the Council and the public prior to the day of its passage.



(Seal)

ELIZABETH S. MALAND

City Clerk of The City of San Diego, California.

By Ginda Irwin, Deputy

Office of the City Clerk, San Diego, California

Ordinance Number O- 21015