

RESOLUTION NUMBER R- 312706

DATE OF FINAL PASSAGE OCT 15 2019

ITEM# 330B

10/15/19

A RESOLUTION OF THE COUNCIL OF THE CITY OF SAN DIEGO APPROVING VESTING TENTATIVE MAP NO. 2193919 FOR VISTA DE LOS ALTOS - PROJECT NO. 615949.

WHEREAS, Los Altos Homes, LLC, a California Limited Liability Company, Subdivider, and Antony K. Christensen, Engineer, submitted an application to the City of San Diego for Vesting Tentative Map No. 2193919 for Vista De Los Altos, which involves the subdivision of a 4.45-acre lot into 14 lots, with a public street, including improvements for drainage and storm water management, sewer, water, and other utilities. The project site is located east of Los Altos Road and south of Yost Circle, in the RS-1-4 zone of the Pacific Beach Community Plan area and Local Coastal Program area, the Coastal Overlay Zone (State Coastal Permit Jurisdiction). The project site is legally described as: the east 5 acres of Lot 6 of Pacific Beach, in the City of San Diego, County of San Diego, State of California, according to Map thereof Nos. 697 and 854, filed on January 8, 1892 and September 28, 1898, respectively, in the Office of the County Recorder of San Diego County, excepting therefrom that portion of said land conveyed to C.R. McCann in the grant deed recorded August 29, 1967 as Instrument No. 130471 of Official Records and also excepting therefrom that portion of said land conveyed to Los Altos Ltd., a California General Partnership in grant deed recorded April 23, 1982 as Instrument No. 82-0114982 of Official Records; and

WHEREAS, the Map proposes the creation of 14 single dwelling unit lots out of an existing 4.45-acre lot; and

WHEREAS, on June 3, 2019, the City of San Diego, as Lead Agency, through the Development Services Department, made an Environmental Determination that the project is

exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15332, In Fill Development; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, on August 15, 2019, the Planning Commission of the City of San Diego considered Tentative Map No. 2193919 and pursuant to Resolution No. 5040-PC voted to recommend City Council approval; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, on October 15, 2019, the City Council of the City of San Diego considered Vesting Tentative Map No. 2193919 and pursuant to San Diego Municipal Code section 125.0440 and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED by the City Council of the City of San Diego, that it adopts the following findings with respect to Vesting Tentative Map No. 2193919:

**1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.**

The 4.45-acre site is located east of Los Altos Road and south of Yost Circle, in the RS-1-4 base zone within the Pacific Beach Community Plan (PBCP) area. The PBCP designates the site as Very Low-Density, with a range of 2 to 5 dwelling units per acre (du/ac), and the minimum lot size for this zone is 10,000 square feet. The project proposes a Vesting Tentative map for the subdivision of the site to create 14 single dwelling unit lots, with public street and infrastructure improvements, for a density of 3 du/ac, consistent with the PBCP designation. A vacation of a portion of an existing 25-foot-wide easement is also proposed.

The subdivision of this site, which is surrounded by existing residential development, for single-unit residential development is consistent with the residential policies of the PBCP, which encourages design standards to ensure that property reflect the scale and character of the established neighborhood, by maintaining the residential scale of Pacific Beach. As noted above, the project is within the density range of the plan. The surrounding community is developed with single units on large lots, and the subdivision of the lot would be consistent with the existing neighborhood development.

Therefore, the proposed subdivision is consistent with the policies, goals, and objectives of the applicable land use plan.

**2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.**

The subdivision would result in 14 lots, ranging in size from 10,002 to 17,139 square feet, meeting and exceeding the 10,000 square-foot minimum lot size of the RS-1-4 base zone. The subdivision complies with all applicable zoning and development regulations and no deviations are proposed.

Therefore, the proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code.

**3. The site is physically suitable for the type and density of development.**

The infill project site is located in a developed, residential area that is zoned RS-1-4 and designated for Very Low-Density (2 to 5 du/ac) residential development in the PBCP.

The proposed subdivision meets the density requirements of the zone and land use designation. The site topography is characterized by moderate slopes descending to the northwest with approximate elevations ranging from 265 feet above mean sea level (AMSL) within the west/ northwest portion of the site to 312 feet AMSL at the southeastern portion of the site. Future single dwelling units would be required to comply with Land Development Code Regulations and construction permit requirements. The site is located in a developed, urban neighborhood with no watercourses, Environmentally Sensitive Lands (ESL) or Multi-Habitat Planning Area (MHPA) lands located on or adjacent to the site.

Therefore, the subdivision to create 14 lots is physically suitable for the type and density of development.

**4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.**

This infill project is located in a developed, urban neighborhood. There are no watercourses, Environmentally Sensitive Lands (ESL) or Multi-Habitat Planning Area (MHPA) lands located on or adjacent to the site, which is surrounded by existing development. The project was determined to be exempt from CEQA pursuant to State CEQA Guidelines Sections 15332, Infill Development. Therefore, the design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidable injure fish or wildlife on their habitat.

**5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.**

The Vesting Tentative Map was reviewed and determined to be in compliance with the Land Development Code and Subdivision Map Act. The Vesting Tentative Map includes conditions and corresponding exhibits of approvals, including utility undergrounding, installation of public improvements, and payment of applicable taxes in order to achieve compliance with the regulations of the Land Development Code. All lots would be accessed from a new public right-of-way. The development as proposed is consistent with Land Development Code Regulations and Building Permit requirements, which would ensure that the project is not detrimental to the public health, safety, and welfare.

**6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.**

There are no existing access easements through the property. Therefore, the design of the subdivision and proposed improvements would not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

**7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.**

The proposed subdivision of a 4.45-acre parcel into 14 lots for residential development will not impede or inhibit passive or natural heating and cooling opportunities. The design of the subdivision and placement of proposed dwelling units has taken into account the best use of the land to minimize grading, and complies with Land Development Code Regulations and Building Permit requirements, which include setback and height limitations to ensure adequate natural light and air movement between the future structures.

Therefore, the design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

**8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.**

The subdivision creates 14 lots for single dwelling unit residential development on a site is designated and zoned for such. The site is surrounded by single dwelling unit residential development, built out at the same density as proposed for this site. At the time of construction, dwelling units will be subject to the underlying zone regulations, and payment of all applicable Development Impact Fees (DIF).

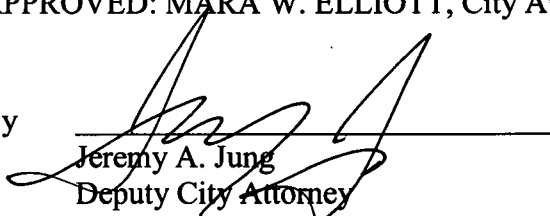
The decision maker has reviewed the administrative record including the project plans, technical studies, environmental documentation and heard public testimony to determine the effects of the proposed subdivision on the housing needs of the region and; that those needs are balanced against the needs for public services and the available fiscal and environmental resources and found that the addition of 14 residential lots for private development is consistent with the housing needs anticipated for the Pacific Beach Community Planning area.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the City Council, Vesting Tentative Map 2193919 is hereby granted to Los Altos Homes, LLC, subject to the attached conditions which are made a part of this resolution by this reference.

APPROVED: MARA W. ELLIOTT, City Attorney

By

  
Jeremy A. Jung  
Deputy City Attorney

JAJ:als  
10/01/2019  
Or.Dept:DSD  
Doc. No.: 2186944

Attachment: Vesting Tentative Map Conditions

CITY COUNCIL

CONDITIONS FOR VESTING TENTATIVE MAP NO. 2193919  
VISTA DE LOS ALTOS - PROJECT NO. 615949

ADOPTED BY RESOLUTION NO. R- 312706 ON OCT 15 2019

**GENERAL**

1. This Vesting Tentative Map will expire October 15, 2022.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map, unless otherwise noted.
3. Prior to the expiration of the Vesting Tentative Map, a Final Map to subdivide the 4.45-acre property into 14 lots shall be recorded with the County Recorder's office.
4. Prior to the recordation of the Final Map, taxes must be paid or bonded for this property pursuant to Section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder, must be provided to satisfy this condition.

If a tax bond is required as indicated in the tax certificate, ensure that it is paid or posted at the County Clerk of the Board of Supervisors Office and supply proof prior to the recordation of the Certificate of Compliance.

**ENGINEERING**

5. The Subdivider shall ensure that all onsite utility systems serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place or provide other means to assure the undergrounding satisfactory to the City Engineer.
6. Prior to the issuance of any construction permits, the Subdivider shall vacate a portion of the water easement, satisfactory to the City Engineer as detailed on Exhibit A.
7. The Subdivider shall grant an easement to the City of San Diego for water and drainage purposes, satisfactory to the City Engineer as detailed on Exhibit A.
8. Whenever public rights-of-way are required to be dedicated, it is the responsibility of the Subdivider to provide the right-of-way free and clear of all encumbrances and prior easements. The Subdivider must secure "subordination agreements" for minor distribution facilities and/or "joint-use agreements" for major transmission facilities.

9. The Subdivider shall obtain a plumbing permit for the installation of appropriate private back flow prevention device(s) (BFPD), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
10. The Subdivider shall assure, by permit and bond, to construct current City Standard water mains, cross-gutter, storm drain cleanout, storm pipe, street, curbs, gutters, sidewalks, driveways, and curb ramps, satisfactory to the City Engineer.
11. Prior to the issuance of any building permits, the Subdivider shall obtain an Encroachment Maintenance Removal Agreement from the City Engineer for private storm drain and sewer.

### **MAPPING**

12. The Final Map shall be based on field survey and all lot corners must be marked with durable survey monuments pursuant to Section 144.0311(d) of the City of San Diego Land Development Codes and Subdivision Map Act Section 66495.

All survey monuments shall be set prior to the recordation of the final Map, unless the setting of monuments is deemed impractical due to the proposed improvements and/or grading associated with the project, in which case, delayed monumentation may be applied on the Final Map in accordance with Section 144.0130 of the City of San Diego Land Development Code.

13. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.
14. The Final Map shall:
  - a. Use the California Coordinate System for its "Basis of Bearings" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true meridian (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
  - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground shall be shown on the map.

15. The Subdivider shall vacate the easement shown on the Vesting Tentative Map (VTM) Exhibit pursuant to section 66434(g) of the Subdivision Map Act (through the filing of the Final Map).
16. The proposed Water Easement Vacation within the TM boundary shall be vacated pursuant to the Subdivision Map Act which requires Process 5 vacation approval.

#### **TRANSPORTATION DEVELOPMENT**

17. A minimum of 28 automobile spaces for the 14 single-dwelling units are required by the Land Development Code. All on-site parking stalls and aisle widths shall be in compliance with the requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
18. Prior to the recordation of the final map, the owner/permittee shall assure by permit and bond the construction of Street "A" as a two-lane local residential street with 32 feet of pavement within 52 feet of right-of-way, satisfactory to the City Engineer.
19. The owner/permittee shall provide and maintain a 25-foot by 25-foot visibility triangle area at the northwest and southwest corner of the intersection of Los Altos Road and Street "A" measured along the property line. No obstacles higher than 36 inches shall be located within this area, including but not limited to shrubs, walls, columns, and signs.
20. The owner/permittee shall provide and maintain a 10-foot by 10-foot visibility triangle at both sides of each driveway of the 14 residential lots measures along the property line. No obstacles higher than 36 inches shall be located within this area, including but not limited to shrubs, walls, columns, and signs.

#### **PUBLIC UTILITIES**

21. Prior to any Final Map being recorded, any sewer lateral which has been/is being connected to the City's public sewer infrastructure as a private sewer main within the public right-of-way must be located and labeled on an approved City Construction Record Drawing so as to clearly convey all of the following: the sewer line's identity as a "PRIVATE SEWER MAIN", its location relative to the nearest property line, its authorization to encroach (i.e. the approved EMRA number), and its point of connection to the public sewer collection system relative to the nearest manhole (MH).
22. Prior to any Final Map being recorded, the Subdivider shall provide CC&Rs for the operation and maintenance of all private sewer mains in a manner satisfactory to the Public Utilities Director and the City Engineer.
23. Prior to any Final Map being recorded, the Subdivider shall delineate, to the satisfaction of the Public Utilities Director, and record, both the public water easement dedication and vacation as provided for in Exhibit "A."



24. Prior to any Final Map being recorded, the Subdivider shall construct, or assure, by permit and bond, the construction of all required public water and sewer facilities as provided for in Exhibit "A."

**INFORMATION:**

- The approval of this Tentative Map by the City Council of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Vesting Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Vesting Tentative Map, may protest the imposition within ninety days of the approval of this Vesting Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code Sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607.)

Internal Order No. 24008016

DEVELOPMENT SUMMARY

PROJECT SUMMARY:
PROPOSED VESTING TENTATIVE MAP FOR CREATION OF 14 LOTS WITH PUBLIC STREET, INCLUDING IMPROVEMENTS FOR DRAINAGE AND STORM WATER MANAGEMENT, SEWER, WATER AND UTILITIES TOGETHER WITH THE ACQUISITION OF A PORTION OF A PUBLIC WATER EASEMENT AND CREATION OF A PUBLIC WATER EASEMENT.

LEGAL DESCRIPTION:
THE EAST 3 ACRES OF LOT 9 OF PACIFIC BEACH IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, BEING THE CALIFORNIA RECORDS TO MAP THEREOF NOS. 967 AND 968, FILED ON JANUARY 8, 1982 AND RECORDED IN L.S. RECORDS, RESPECTIVELY, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

ALSO EXCEPTING THEREFROM THAT PORTION OF SAID LAND CONVEYED TO LOS ALTOS LTD., A CALIFORNIA GENERAL PARTNERSHIP IN GRANT DEED RECORDED APRIL 25, 1982 AS INSTRUMENT NO. 02451888 OF OFFICIAL RECORDS.

OWNER:
LOS ALTOS HOMES, LLC
A CALIFORNIA LIMITED LIABILITY COMPANY
4511 BISHOPMAN STREET
SAN DIEGO, CA 92130

ZONING:
RHS-16 (FAMILY) (SF)

MINIMUM LOT AREA: 10,000 SF
MINIMUM LOT WIDTH: 50 FEET
MINIMUM LOT FRONTAGE: 50 FEET
MINIMUM LOT DEPTH: 100 FEET
MINIMUM LOT AREA: 10,000 SF

FRONT: 50 FEET
FOR LOTS WHITE AT LEAST 10% OF THE FRONT 50 FEET OF THE LOT
DEPTH: 100 FEET
MINIMUM FLOOR GRADIENT OF 2% THE SETBACK
CLIFFS TO THE STREET FRONTAGE MAY BE REDUCED TO A MINIMUM OF 4 FEET.

REAR: 50 FEET
SIDE: 50 FEET
LOT WIDTH STREET SIDE IS 10 FEET LOT WIDTH

OVERLAY ZONING:
CITY OF SAN DIEGO
CITY ENGINEER'S OFFICE
CITY OF SAN DIEGO
CITY ENGINEER'S OFFICE

AREA:
SITE AREA: 4.483 ACRES (193,800 SQUARE FEET)

USES:
CURRENT USE:
RESIDENTIAL
PROPOSED USE:
RESIDENTIAL

TITLE NOTES:
TITLE INFORMATION IS BASED ON OWNER'S POLICY OF TITLE INSURANCE, POLICY NUMBER CA-7050587-7200-1-18-0001282, DATED JULY 18, 2018, PREPARED BY, CHICAGO TITLE COMPANY

EXISTING MONUMENTATION NOTES:
1) 3/4" IRON PIPE & DISK STAMPED L38 708 PER RECORD OF SURVEY NO. 92047
2) 3/4" IRON PIPE & DISK RICE #118 PER MAP NO. 6188
3) 3/4" IRON PIPE & DISK RICE #146, ACCEPTED AS POINT FOUND PER MAP 6488
4) 3/4" IRON PIPE & DISK RICE #146 PER MAP NO. 6488
5) 3/4" IRON PIPE & DISK RICE #146 PER MAP NO. 6488
6) 3/4" IRON PIPE & DISK RICE #146 PER MAP NO. 6488
7) 3/4" IRON PIPE & DISK RICE #146 PER MAP NO. 6488
8) 3/4" IRON PIPE & DISK RICE #146 PER MAP NO. 6488
9) 3/4" IRON PIPE & DISK RICE #146 PER MAP NO. 6488
10) 3/4" IRON PIPE & DISK RICE #146 PER MAP NO. 6488

RESIDENTIAL PARKING TABULATION:
TOTAL OVER-STREET COVERED PARKING SPACES: 14 SPACES
RESIDENTIAL: 14 SPACES

LINE/ARC DATA TABLE:
LINE NUMBER DISTANCE
C1 112.50 112.50
C2 30.00 30.00
C3 24.00 24.00
C4 138.00 138.00
C5 138.00 138.00
C6 138.00 138.00
C7 138.00 138.00
C8 138.00 138.00
C9 138.00 138.00
C10 138.00 138.00
C11 138.00 138.00
C12 138.00 138.00
C13 138.00 138.00
C14 138.00 138.00
C15 138.00 138.00
C16 138.00 138.00
C17 138.00 138.00
C18 138.00 138.00
C19 138.00 138.00
C20 138.00 138.00
C21 138.00 138.00
C22 138.00 138.00
C23 138.00 138.00
C24 138.00 138.00
C25 138.00 138.00
C26 138.00 138.00
C27 138.00 138.00
C28 138.00 138.00
C29 138.00 138.00
C30 138.00 138.00

EASEMENT LINE DATA TABLE:
LINE NUMBER DISTANCE
E1 112.50 112.50
E2 30.00 30.00
E3 24.00 24.00
E4 138.00 138.00
E5 138.00 138.00
E6 138.00 138.00
E7 138.00 138.00
E8 138.00 138.00
E9 138.00 138.00
E10 138.00 138.00
E11 138.00 138.00
E12 138.00 138.00
E13 138.00 138.00
E14 138.00 138.00
E15 138.00 138.00
E16 138.00 138.00
E17 138.00 138.00
E18 138.00 138.00
E19 138.00 138.00
E20 138.00 138.00
E21 138.00 138.00
E22 138.00 138.00
E23 138.00 138.00
E24 138.00 138.00
E25 138.00 138.00
E26 138.00 138.00
E27 138.00 138.00
E28 138.00 138.00
E29 138.00 138.00
E30 138.00 138.00

LOT AREA TABULATION:
LOT NUMBER AREA LOT TYPE
1 10,000 SF RESIDENTIAL
2 10,000 SF RESIDENTIAL
3 10,000 SF RESIDENTIAL
4 10,000 SF RESIDENTIAL
5 10,000 SF RESIDENTIAL
6 10,000 SF RESIDENTIAL
7 10,000 SF RESIDENTIAL
8 10,000 SF RESIDENTIAL
9 10,000 SF RESIDENTIAL
10 10,000 SF RESIDENTIAL
11 10,000 SF RESIDENTIAL
12 10,000 SF RESIDENTIAL
13 10,000 SF RESIDENTIAL
14 10,000 SF RESIDENTIAL

UTILITY TABLE:
TYPE (A74): UNDERGROUND
TYPE (A75): UNDERGROUND
TYPE (A76): UNDERGROUND
TYPE (A77): UNDERGROUND
TYPE (A78): UNDERGROUND
TYPE (A79): UNDERGROUND
TYPE (A80): UNDERGROUND
TYPE (A81): UNDERGROUND
TYPE (A82): UNDERGROUND
TYPE (A83): UNDERGROUND
TYPE (A84): UNDERGROUND
TYPE (A85): UNDERGROUND
TYPE (A86): UNDERGROUND
TYPE (A87): UNDERGROUND
TYPE (A88): UNDERGROUND
TYPE (A89): UNDERGROUND
TYPE (A90): UNDERGROUND

SCALE: 1" = 30'

CE CHRISTENSEN ENGINEERING & SURVEYING
3888 SILVERTON AVENUE, SUITE 177, SAN DIEGO, CALIFORNIA 92130
PHONE: (619) 571-8811 FAX: (619) 571-8812

VESTING TENTATIVE MAP NO. 2193919

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COAST AND GEODETIC SURVEY, ZONE 18, GRID BEARING BETWEEN STATION 1 AND STATION 147, PER RECORD OF SURVEY 1464, SAID BEARING BEING 89°52'51" EAST.

BENCHMARK

CITY OF SAN DIEGO BENCHMARK 18848 PLUS LOCATED IN THE TOP OF CURB AT THE NORTHWEST CORNER OF LOS ALTOS ROAD AND LOS ALTOS COURT. ELEVATION 808.57 MEAN SEA LEVEL (M.S.L.) DATED 1988.

NOTES

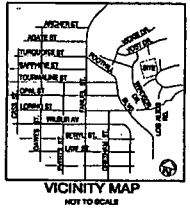
- 1. THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS PHOTOGRAMMETRIC SURVEY BY SAID GEODETIC SURVEYING & ENGINEERING, INC. DATED APRIL 24, 2018.
2. THE SUBJECT PROPERTY IS BOUND BY BARRANTY EASEMENT MARKS AND WATCH MARKS WHICH WILL BE EXTENDED WITHIN THE PROPOSED PUBLIC STREET TO SUPPLY EACH PROPOSED LOT.
3. THE EXISTING NUMBER OF PARCELS ARE 1, THE PROPOSED NUMBER OF LOTS IN THIS SUBDIVISION ARE 14.
4. THE ASSIGNMENT PARCEL NUMBER FOR THIS PROPERTY IS 1790408-00.
5. THE TOTAL AREA OF THE SUBJECT PROPERTY IS 4.483 ACRES.
6. THE PROPERTY HAS DIRECT ACCESS TO LOS ALTOS ROAD A DEDICATED PUBLIC STREET.
7. TITLE INFORMATION IS BASED ON OWNER'S POLICY OF TITLE INSURANCE, POLICY NUMBER CA-7050587-7200-1-18-0001282, DATED JULY 18, 2018, PREPARED BY, CHICAGO TITLE COMPANY.
8. DEVELOPER SHALL PROVIDE EROSION CONTROL MEASURES, STABILIZATION AND LEESIDE FROM THE STREET FRONTING THE PROPERTY PER PER POLICY F-03 9.8 FC AND 9.8 FC AND 9.8 FC.
9. THE DEVELOPMENT PROPOSED TO PROVIDE IS ENCLOSED PARKING SPACES.
10. NAD83 COORDINATES = 824-1863, CGRS COORDINATES = 1874-8213.
11. PRIOR TO SIGNATURE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE DRAINAGE FACILITY WITH THE CITY OF SAN DIEGO.
12. PRIOR TO THE SIGNATURE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL INCORPORATE ANY CONSTRUCTION PERMIT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 5, SECTIONS 14.01 THROUGH 14.05 OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS FOR THE PROJECT.
13. A FINAL MAP FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP SHALL BE REQUIRED. A DETAILED PROCEEDING OF SURVEY WILL BE SHOWN ON THE FINAL MAP AND ALL PROPERTY CORNERS WILL BE SET ON THE FINAL MAP.
14. SUFFICIENT MONUMENTATION COSTS TO RECREATE BOUNDARY OF PROJECT AND TO PERMIT A MAP PROCEDURE OF SURVEY.
15. THERE ARE NO OVERHEAD UTILITIES FRONTING OR WILL CROSS THE PROJECT SITE.
16. CONCEPTUAL RESIDENCE OUTLINES ARE SHOWN ON THIS VESTING TENTATIVE MAP TO ALLOW FOR EVALUATION OF THE PROPOSED EROSION CONTROL MEASURES AND LEESIDE FROM THE STREET FRONTING THE PROPERTY PER PER POLICY F-03 9.8 FC AND 9.8 FC AND 9.8 FC.

OWNER'S CERTIFICATE

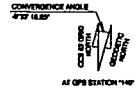
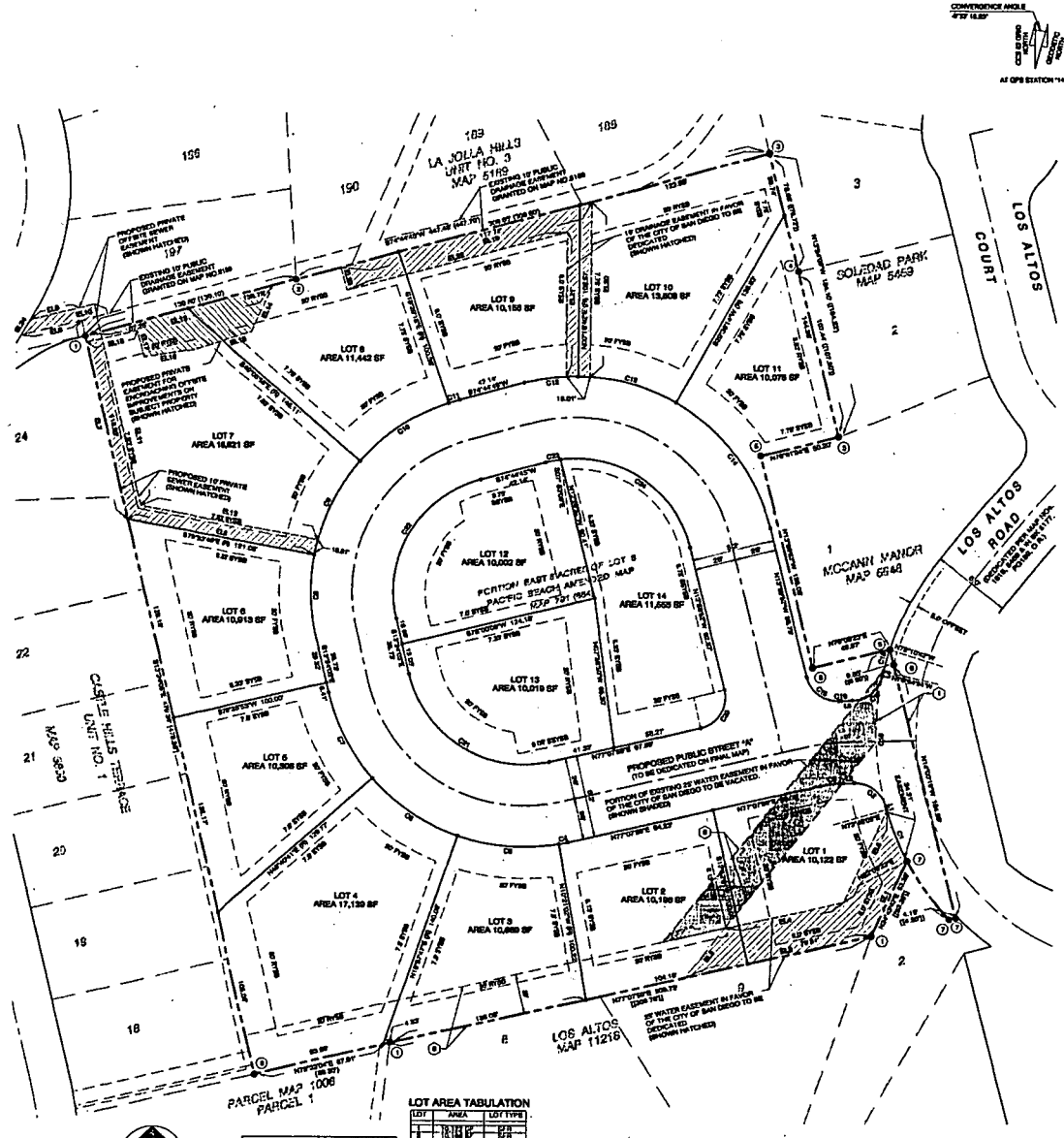
I HEREBY CERTIFY THAT I AM THE RECORDED OWNER OF THE PROPERTY SHOWN ON THE TENTATIVE MAP AND THAT SAID MAP SHOWS ALL OF THE CONTROLLED OWNERSHIP AS MUCH AS I HAVE ANY DEED ON TRUST INTEREST. I UNDERSTAND THAT OUR PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHTS-OF-WAY.

SHEET INDEX

Table with 2 columns: VESTING TENTATIVE MAP, NOTES AND DETAILS, PRELIMINARY DRAINAGE PLAN, LOTS AND PARCELS, SUBDIVISION PLAN, LANDSCAPE DEVELOPMENT PLAN. Corresponding sheet numbers 0-1 through 0-6.



Project Information section including Project Address (LOS ALTOS ROAD, SAN DIEGO, CA 92130), Project Name (LOS ALTOS VESTING TENTATIVE MAP), Project Number (08-21-19 ADD EASEMENT DATA), Original Date (AUGUST 30, 2018), and Project Title (VESTING TENTATIVE MAP NO. 2193919). Includes a signature of Anthony K. Christensen, RCE #2021, L.C. #00019, dated MAY 31, 2019.



UTILITY TABLE:
TYPE (A74): UNDERGROUND
TYPE (A75): UNDERGROUND
TYPE (A76): UNDERGROUND
TYPE (A77): UNDERGROUND
TYPE (A78): UNDERGROUND
TYPE (A79): UNDERGROUND
TYPE (A80): UNDERGROUND
TYPE (A81): UNDERGROUND
TYPE (A82): UNDERGROUND
TYPE (A83): UNDERGROUND
TYPE (A84): UNDERGROUND
TYPE (A85): UNDERGROUND
TYPE (A86): UNDERGROUND
TYPE (A87): UNDERGROUND
TYPE (A88): UNDERGROUND
TYPE (A89): UNDERGROUND
TYPE (A90): UNDERGROUND

LOT AREA TABULATION:
LOT NUMBER AREA LOT TYPE
1 10,000 SF RESIDENTIAL
2 10,000 SF RESIDENTIAL
3 10,000 SF RESIDENTIAL
4 10,000 SF RESIDENTIAL
5 10,000 SF RESIDENTIAL
6 10,000 SF RESIDENTIAL
7 10,000 SF RESIDENTIAL
8 10,000 SF RESIDENTIAL
9 10,000 SF RESIDENTIAL
10 10,000 SF RESIDENTIAL
11 10,000 SF RESIDENTIAL
12 10,000 SF RESIDENTIAL
13 10,000 SF RESIDENTIAL
14 10,000 SF RESIDENTIAL



VESTING TENTATIVE MAP NO. 2193919

DMA/IMP AREA SUMMARY

LOT CODE	IMPROVABLE AREA	PERMISSIBLE AREA	TOTAL AREA COMMITTED	IMP RANGE	IMP SURFACE	SELF-IRRIGATING AREA	'V' VALUE
1	0.271 AC	0.127 AC	0.179 AC	L-1	10 SF		0.10
2	0.296 AC	0.282 AC	0.127 AC	L-2	10 SF		0.26
3	0.279 AC	0.279 AC	0.179 AC	L-3	10 SF		0.26
4	0.282 AC	0.282 AC	0.179 AC	L-4	10 SF		0.26
5	0.287 AC	0.287 AC	0.186 AC	L-5	10 SF		0.26
6	0.289 AC	0.191 AC	0.207 AC	L-6	10 SF		0.26
7	0.294 AC	0.294 AC	0.174 AC	L-7	10 SF		0.26
8	0.294 AC	0.294 AC	0.179 AC	L-8	10 SF		0.26
9	0.279 AC	0.179 AC	0.186 AC	L-9	10 SF		0.27
10	0.279 AC	0.179 AC	0.207 AC	L-10	10 SF		0.26
11	0.289 AC	0.282 AC	0.182 AC	L-11	10 SF		0.26
12	0.289 AC	0.128 AC	0.211 AC	L-12	10 SF		0.26
13	0.289 AC	0.128 AC	0.211 AC	L-13	10 SF		0.26
14	0.287 AC	0.287 AC	0.179 AC	L-14	10 SF		0.26
15	0.282 AC	0.128 AC	0.207 AC	SM	40 SF		0.26
16	0.277 AC	0.282 AC	0.242 AC	SM	40 SF		0.26
SM						1.224 AC	
D	104 SF	0	0	DM (DRINKING WATER)			

NOTE

ALL SELF-IRRIGATING AREAS SHALL COMPLY WITH SECTION 8.1.1 OF THE CITY OF SAN DIEGO STORM WATER MANUAL. UNIMPROVED AREAS SHALL BE VEGETATED WITH GRASS OR HIGH-TRAFFIC-TOLERANT TURFGRASS OR TURFGRASS SPECIES THAT DO NOT REQUIRE REGULAR APPLICATION OF FERTILIZERS AND PESTICIDES.

SOILS SHALL BE ANALYZED AND ADJUSTED TO PROMOTE WATER RETENTION CHARACTERISTICS EQUIVALENT TO UNIMPROVED SOIL.

NO MORE THAN 5% OF SELF-IRRIGATING AREA SHALL BE INCORPORATED IMPROVABLE IMPROVABLE AREAS SHALL NOT BE HYDRAULICALLY CONNECTED TO OTHER IMPROVABLE AREAS. SELF-IRRIGATING AREAS SHALL BE SEPARATE FROM DRAIN PERMANENT STORM WATER POLLUTANT CONTROL BMPs.

SELF-IRRIGATING AREAS HAVE NO IMPROVABLE DRAINAGE TO THEM. RUNOFF FROM THESE AREAS ARE CONVEYED TO STREETS BY INLET FLOW, WITH NO CONCENTRATION OF RUNOFF. SOME AREA RUNOFF IS COLLECTED BY EXISTING DRAINAGE DITCHES AND CONVEYED OFFSITE, AS SHOWN.

FIRE PLAN NOTES

- FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION SHALL BE INSTALLED AND MAINTAINABLE PRIOR TO AND DURING TIME OF CONSTRUCTION (CFC 811.6)
- VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANT VALVES. THE DEPARTMENT CONNECTIONS, PULL STATIONS, COUNTERSINKS, SPRINKLER RISERS, ALARM CONTROL PANELS, RECUSE WINDOWS, AND OTHER DEVICES OR AREAS USED FOR PROMPTING PURPOSES. VEGETATION ON BUILDING FEATURES SHALL NOT OBSCURE FIRE ALARMS OR INHIBIT THE FUNCTIONING OF ALARMS BELL, HORNS OR STROBES.
- CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THE FIRE CODE REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL. SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.
- PROVIDE BUILDING ACCESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET ON ROAD FRONTING THE PROPERTY PER SAN DIEGO MUNICIPAL CODE SECTION 8.2.2.2.2.
- DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPROVED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES.
- IF THERE IS TO BE GATED ACCESS AN APPROVED VEHICLE DETECTOR SYSTEM WITH BACK UP BATTERY OPERATIONAL, SATISFACTORY TO THE FIRE AGENCIES, SHALL BE PROVIDED ON ALL VEHICLE MAIN ENTRY AND EMERGENCY ENTRY POINTS TO THE PROJECT.
- A 3 FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS, EXCEPT AS OTHERWISE REQUIRED OR APPROVED.
- WHERE HYDRANTS ARE SUBJECT TO IMPACT BY A MOTOR VEHICLE, GUARD POSTS OR OTHER APPROVED MEANS SHALL COMPLY WITH SECTION CFC 811.6.
- THE REQUIRED WIDTH OF ACCESS ROADWAYS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES. WHERE NO SPACE IS PROVIDED FOR PARKING ALONG ACCESS ROADWAYS, THEY SHALL BE KEPT CLEAR BY POSTING OF SIGNS OR PAINTING OF CURBS AND POLICY # 11.1.
- SAN DIEGO MUNICIPAL CODE SECTION 8.2.2.2.2.2 (ITEM 8) HYDRANT LOCATIONS SHALL BE IDENTIFIED BY THE INSTALLATION OF REFLECTIVE BLUE COLORED MARKERS. SUCH MARKERS SHALL BE AFFIXED TO THE ROADWAY SURFACE, APPROXIMATELY CENTERED BETWEEN CURBS, AND AT A RIGHT ANGLE TO THE HYDRANT.
- WHERE SECURITY GATES ARE INSTALLED, THEY SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION. THE SECURITY GATES AND EMERGENCY OPERATION SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. ELECTRIC GATE OPERATORS, WHERE PROVIDED SHALL BE LISTED IN ACCORDANCE WITH UL 224. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE CELESTIAL, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.

NOTE:

ALL STRUCTURES ARE WITH A 10' FIRE HOSE PULL-TIE 80' RADIUS FIRE HYDRANT COVERAGE CIRCLES ARE SHOWN ON SHEET C-3.

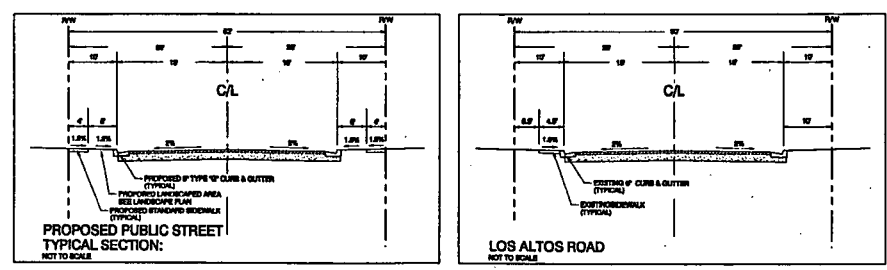
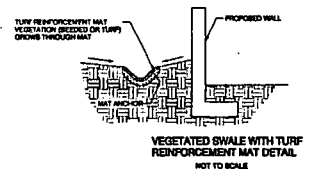
**LEGEND**

- PROPERTY LINES SHOWN
- EXISTING CURBLINE
- EXISTING ELECTRICAL LINE
- EXISTING GAS LINE
- EXISTING BEWER LINE
- EXISTING TELEPHONE LINE
- EXISTING WATER LINE
- PROPOSED EASEMENT
- DI FIRE HYDRANT
- PROPOSED BEWER MANHOLE 60x107
- PROPOSED PVT # PVC BEWER LATERAL
- PROPOSED 1" WATER SERVICE (PUBLIC)
- PROPOSED CATCH BASIN (PRIVATE)
- PROPOSED TYPE 'Y' CATCH BASIN (PUBLIC) IN PUBLIC STR
- PROPOSED PVC DRAIN (PRIVATE)
- PROPOSED 18" PVP DRAIN (PUBLIC)
- PROPOSED SIDEWALK (PUBLIC)
- PROPOSED PUBLIC CURB/OUTLET (PUBLIC) PER 800-191
- BIOTRAFFIC BASH
- PROPOSED TYPE 'W' DRAIN CLEANOUT (PUBLIC) PER D-08
- PRIVATE RETAINING WALL
- PROPOSED FIRE HYDRANT (PUBLIC) PER 800-104
- PROPOSED VEGETATED SWALE WITH TURF REINFORCEMENT MAT (PRIVATE)
- PROPOSED STREET LIGHT (PUBLIC)

NOTE:  
LOT FILTERRA UNITS ARE # 2 X 4 PIPE INTERVAL STYPAGE  
STREET FILTERRA UNITS ARE # 2 X 19 WITH # 4 CURB INLETS AND PIPE STYPAGE

**STREET FILTERRA UNITS (PUBLIC)**

**LOT FILTERRA UNITS (PRIVATE)**



APRIL 14, 2010  
ANTHONY K. CHRISTENSEN, PLS 14021  
L8 7208

Professional Engineer and Surveyor Seal: ANTHONY K. CHRISTENSEN, No. 52871, State of California

Professional Engineer and Surveyor Seal: JAMES W. HARRIS, No. 52872, State of California

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SAN DIEGO, CA 92108

Project Name:  
VISTA DE LOS ALTOS  
VESTING TENTATIVE MAP

Revision 1:  
Revision 2:  
Revision 3:  
Revision 4:  
Revision 5:

Original Date: AUGUST 20, 2016

Sheet 3 of 8 Sheets

**NOTES AND DETAILS**

**VESTING TENTATIVE MAP NO. 2193919  
PRELIMINARY GRADING PLAN**

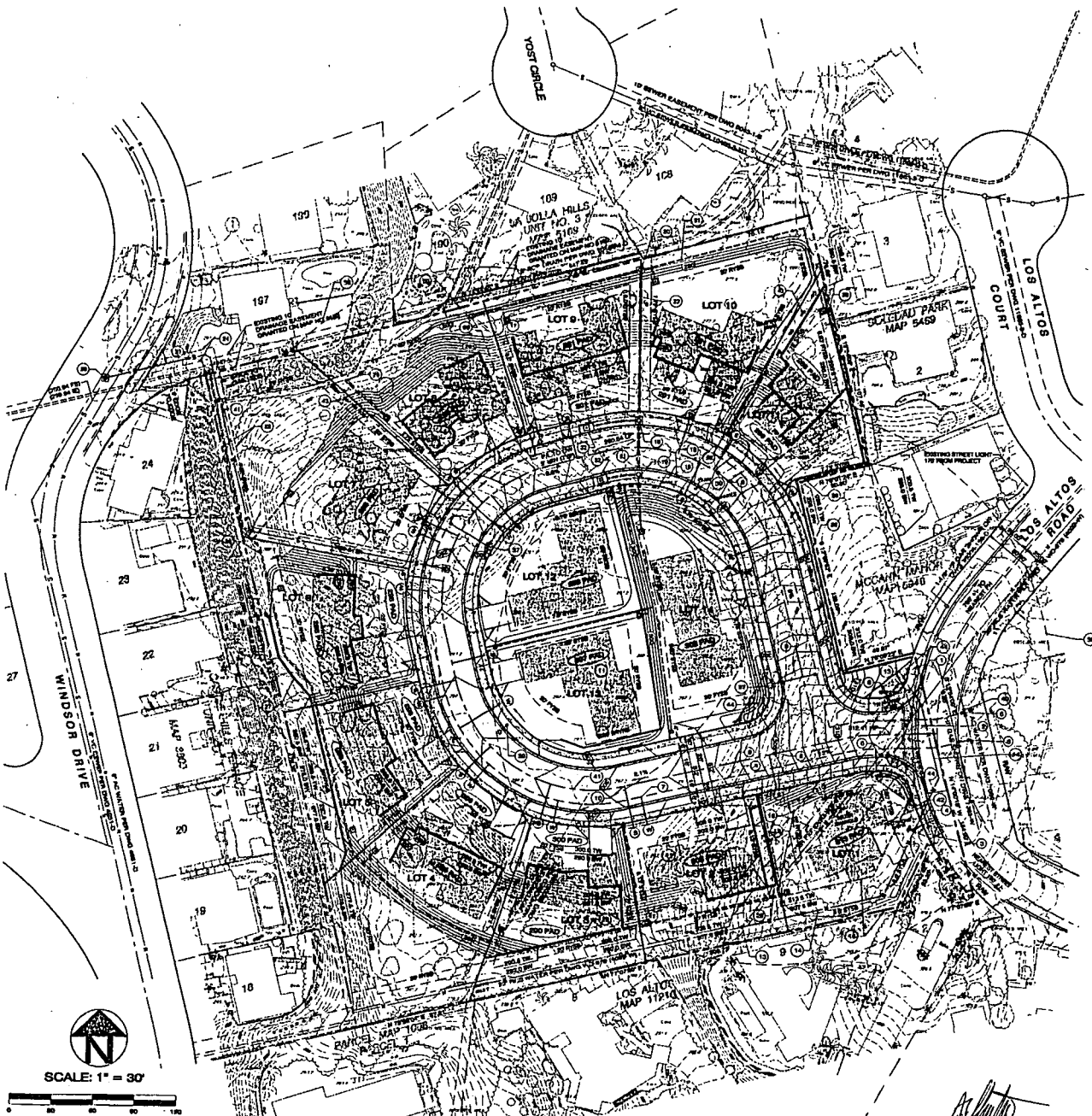
**GRADING DATA**

AREA OF SITE - 4.82 AC  
 AREA OF SITE TO BE GRADED - 4.278 AC  
 PERCENT OF SITE TO BE GRADED - 88.5%  
 AREA OF SITE WITH SLOPE'S GREATER THAN 8% - 2.989 AC  
 PERCENT OF SITE WITH SLOPE'S GREATER THAN 8% - 61.1%  
 NO ENVIRONMENTALLY SENSITIVE LANDS EXIST ON SITE  
 AMOUNT OF CUT - 4,800 C.Y.  
 AMOUNT OF FILL - 18,000 C.Y.  
 AMOUNT OF IMPORT - 4,800 C.Y.  
 MAXIMUM HEIGHT OF FILL - 12 FEET  
 MAXIMUM HEIGHT OF FILL - 11 FEET  
 MAXIMUM DEPTH OF CUT - 5 FEET  
 MAXIMUM DEPTH OF CUT - 5 FEET  
 RETAINING WALL - 12 FEET MAX. HT. 1,488 FEET TOTAL LENGTH

**CONSTRUCTION NOTES**

- 1) PROPOSED CURB GUTTER AND SIDEWALK TO JOIN EXISTING PER CURRENT CITY STD.
- 2) PROPOSED CHASE GUTTER FOR CURRENT CITY STD.
- 3) PROPOSED CURB AND GUTTER TO JOIN EXISTING AND PROPOSED SIDEWALK FOR CURRENT CITY STD.
- 4) PROPOSED DRIVEWAY FOR CURRENT CITY STD. (TYPICAL) (IF LOT 1, 10, LOTS 8-13, 15, 16, 17)
- 5) PROPOSED PUBLIC #1 PVC WATER MAIN TO JOIN EXISTING #2 WATER MAIN
- 6) PROPOSED CURB RAMP FOR CURRENT CITY STD.
- 7) PROPOSED #1 WATER SERVICE (TYPICAL)
- 8) PROPOSED CM AT END OF PROPOSED PRIVATE #1 PVC SEWER MAIN
- 9) PROPOSED PUBLIC #1 PVC WATER MAIN
- 10) PROPOSED #1 SEWER LATERAL (TYPICAL)
- 11) CONCEPTUAL RESIDENTIAL BUILDING FOOTPRINT (NOT PERMITTED FOR THIS VTM)
- 12) EXISTING #1 PVC WATER MAIN TO BE RELOCATED
- 13) POINT OF CONNECTION OF RELOCATED #1 WATER MAIN WITH EXISTING
- 14) PROPOSED RELOCATED PUBLIC #1 PVC WATER MAIN
- 15) PROPOSED #1 WATER MAIN EASEMENT
- 16) PORTION OF EXISTING #1 WATER EASEMENT TO BE ABANDONED
- 17) PROPOSED PRIVATE LOT #20 FILTERVA DRY (TYPICAL)
- 18) PROPOSED PUBLIC STORM #150 FILTERVA DRY (TYPICAL)
- 19) PROPOSED PUBLIC TYPE A CLEANOUT PER CURRENT CITY STD.
- 20) PROPOSED PUBLIC STORM DRAIN CLEANOUT PER CURRENT CITY STD. TO JOIN PROPOSED #1 PVC DRAIN TO EXISTING #1 PVC DRAIN CONNECTED TO EXISTING SEWER OFF-ROUTE. EXISTING DRAIN AND CLEANOUT BOUTHERLY FROM FORMER CITY WATER TANK #210 TO BE REMOVED
- 21) PROPOSED PUBLIC #1 PVC DRAIN
- 22) PROPOSED #150 STORM DRAIN EASEMENT
- 23) PROPOSED #150 PRIVATE SEWER EASEMENT (EXISTING)
- 24) EXISTING #150 PRIVATE SEWER EASEMENT (EXISTING)
- 25) PROPOSED PRIVATE #1 PVC DRAIN TO JOIN EXISTING CONCRETE DITCH
- 26) PROPOSED PRIVATE PVC DRAIN
- 27) PROPOSED PRIVATE GRAVITY TYPE RETAINING WALL FOR EQUIVALENT
- 28) PROPOSED PRIVATE GRAVITY TYPE RETAINING WALL
- 29) PROPOSED PRIVATE #1 PVC SEWER MAIN TO JOIN EXISTING #1 PVC SEWER MAIN AT SEWER MANHOLE PER CURRENT CITY STANDARDS
- 30) EX PUBLIC #1 PVC CONNECTED TO OFFSITE TYPE "C" CATCH BASIN TO REAR
- 31) PROPOSED PRIVATE PVC DRAIN TO JOIN EXISTING PUBLIC CLEANOUT
- 32) PROPOSED #150 CURB RAMP OF FILTERVA UNIT
- 33) NOT USED
- 34) NOT USED
- 35) NOT USED
- 36) PROPOSED 1212 CATCH BASIN IN THIS AREA TO COLLECT AND DISCHARGE OFFSITE RUNOFF WITHIN A PORTION OF LOT 10 TO RP RAMP, AS SHOWN
- 37) PROPOSED FIVE HYDRANT PER
- 38) 800 RADIIUS FIVE HYDRANT COVERAGE CIRCLE
- 39) PROPOSED PUBLIC STREET LIGHT
- 40) PROPOSED PUBLIC GATE VALVES (TYPICAL)
- 41) PROPOSED PRIVATE #1 PVC SEWER MAIN
- 42) VISIBILITY TRIANGLE (TYPICAL) NO STRUCTURES OVER 30' IN HEIGHT MAY BE LOCATED WITHIN THESE AREAS
- 43) PROPOSED VERTICAL SIGNAGE TO CONVEY SELF-ILLUMINATING RUNOFF TO RP RAMP SEE SHEET C-2
- 44) VISIBILITY TRIANGLE (TYPICAL) NO STRUCTURES OVER 30' IN HEIGHT MAY BE LOCATED WITHIN THESE AREAS

**NOTES:**  
 PRIVATE DRAINAGE EASEMENTS AND AGREEMENTS WILL BE REQUIRED IN LOTS 8-10 AND 12 & 14  
 PRIVATE SEWER EASEMENT AND AGREEMENT WILL BE REQUIRED IN LOT 7, AN OFFSITE PRIVATE SEWER EASEMENT EXISTING IN LOT 18Y OF MAP NO. 11818 IN FAVOR OF SUBJECT PROPERTY.  
 FILTERVA UNITS SHOWN WITHIN THE RIGHT OF WAY FOR TREATMENT OF RUNOFF FROM PUBLIC IMPROVEMENTS SHALL BE OWNED AND MAINTAINED BY THE CITY OF SAN DIEGO  
 ALL PROPOSED OFFSITE UTILITIES SHALL BE UNDERGROUND.  
 REFERENCES SHOWN ON LOTS ARE CONCEPTUAL AND ONLY SHOWN TO ALLOW FOR COMPLETE EVALUATION OF THIS VTM. NO APPROVAL IS SOUGHT FOR THEIR CONSTRUCTION AS PART OF THIS VTM.  
 PRIVATE EASEMENT EXISTS FOR REQUIRED FOR WORK ON LOT 18Y, MAP NO. 9188.  
 AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT SHALL BE REQUIRED FOR ALL PRIVATE IMPROVEMENTS WITH PROPOSED OR EXISTING PUBLIC EASEMENTS INCLUDING PRIVATE PVC DRAINS, AND PVC SEWER.  
 CONCEPTUAL RETAINING WALL SECTION INCLUDES 2 CUR DRAINAGE BRISMAINS AND THE FACE OF DRAINAGE ARE A MINIMUM OF 30' FROM PROPOSED RIGHT OF WAY



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 SAN DIEGO, CA 92108

Project Name:  
 VISTA DE LOS ALTOS  
 VESTING TENTATIVE MAP

Sheet Title:  
 PRELIMINARY GRADING PLAN

Revision 0:  
 Revision 1:  
 Revision 2:  
 Revision 3: ADDRESS CITY COMMENTS

Original Date: AUGUST 20, 2014

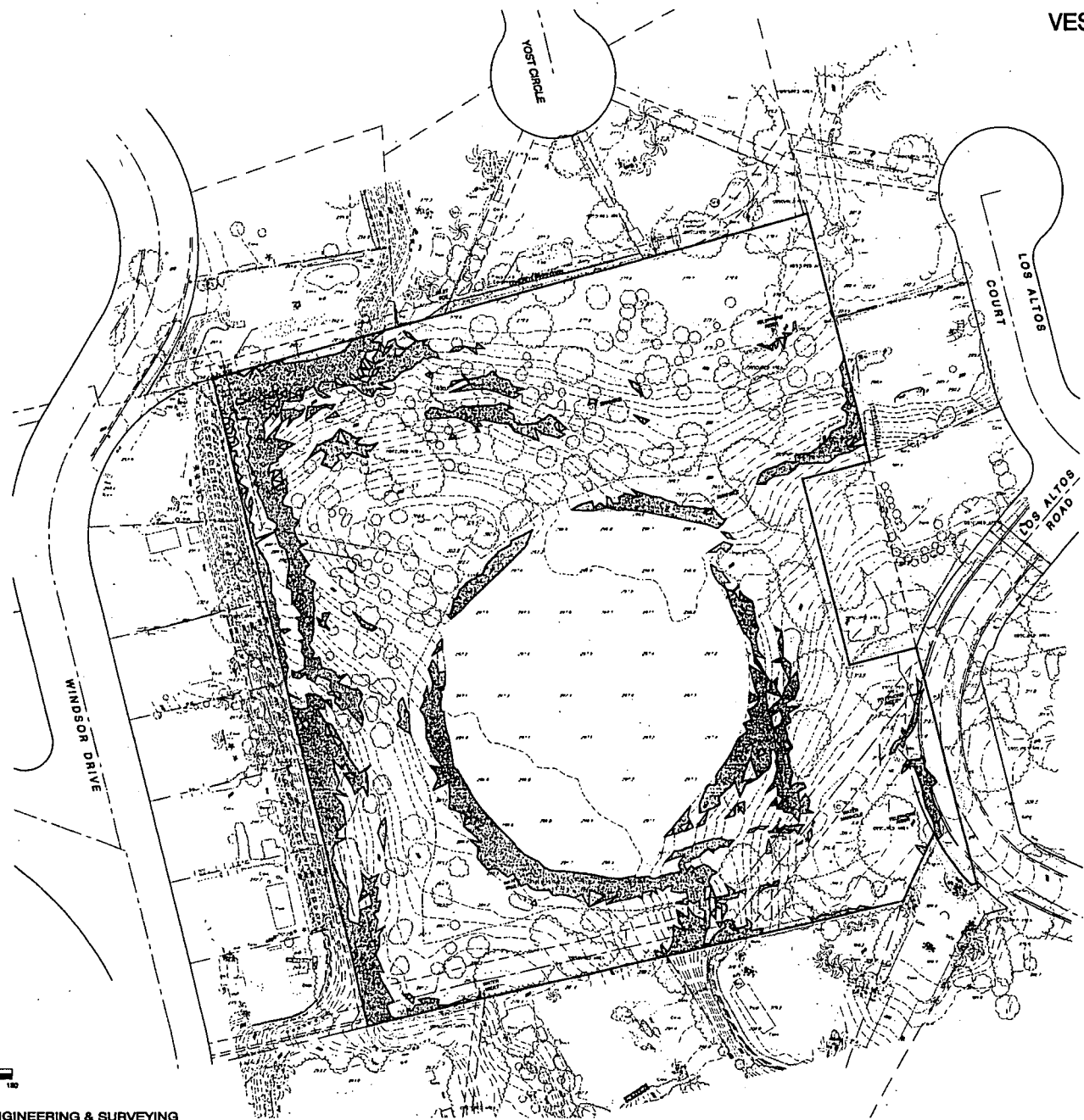
Sheet 3 of 4 Sheets

*Anthony R. Christensen*  
 ANTHONY R. CHRISTENSEN, PLS (SAND)  
 LS 1028

APRIL 14, 2019  
 Date



VESTING TENTATIVE MAP NO. 2193919



**LEGAL DESCRIPTION**

THE EAST 8 ACRES OF LOT 8 OF PACIFIC BEACH, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEODORE A. BAY AND BAY, FILED ON JANUARY 6, 1932 AND SEPTEMBER 26, 1938, RESPECTIVELY, IN THE OFFICE OF THE CLERK OF RECORDS OF SAN DIEGO COUNTY.

EXCEPTING THEREFROM THAT PORTION OF SAID LAND CONVEYED TO C.A. MCCORMIN IN THE GRANT DEED RECORDED AUGUST 26, 1967 AS INSTRUMENT NO. 158471 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THAT PORTION OF SAID LAND CONVEYED TO LOS ALTOS LTD., A CALIFORNIA CORP., INSTRUMENT NO. GRANT DEED RECORDED APRIL 25, 1982 AS INSTRUMENT NO. 82471488 OF OFFICIAL RECORDS.

**BENCHMARK**


CITY OF SAN DIEGO BENCHMARK SPANISH PLAZA LOCATED IN THE TOP OF CURB AT THE NORTHWEST CORNER OF LOS ALTOS ROAD AND LOS ALTOS COURT, ELEVATION 302.87 MEAN SEA LEVEL, S.D.G.V.D. 1985.

**SLOPE ANALYSIS**

TOTAL LOT AREA: 211,277 SF (4.88 AC)  
 AREA OF LOT WITH SLOPE > 2% = 28,264 SF (0.65 AC)  
 PERCENTAGE OF LOT WITH SLOPE > 2% = 13.3%

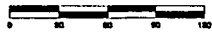
ENTIRE SITE PREVIOUSLY DISTURBED.

EVEN IF THE SITE HAD NOT BEEN PREVIOUSLY DISTURBED THERE ARE NO AREAS WHERE THERE IS AN ELEVATION CHANGE OF 20' WITHIN 50'. ON CREATIVE SLOPES AND DO NOT FORM A STEEP SLOPE SYSTEM WITH DIFFERENTIAL SLOPE 5% OR ENVIRONMENTALLY STEEP SLOPE EXIST ORITE

 AREA OF SITE WITH SLOPE > 2%



SCALE: 1" = 30'



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*[Signature]*  
 FEBRUARY 15, 2019  
 DATE

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Revision 6:  
 Revision 4:  
 Revision 3:  
 Revision 2:  
 Revision 1:

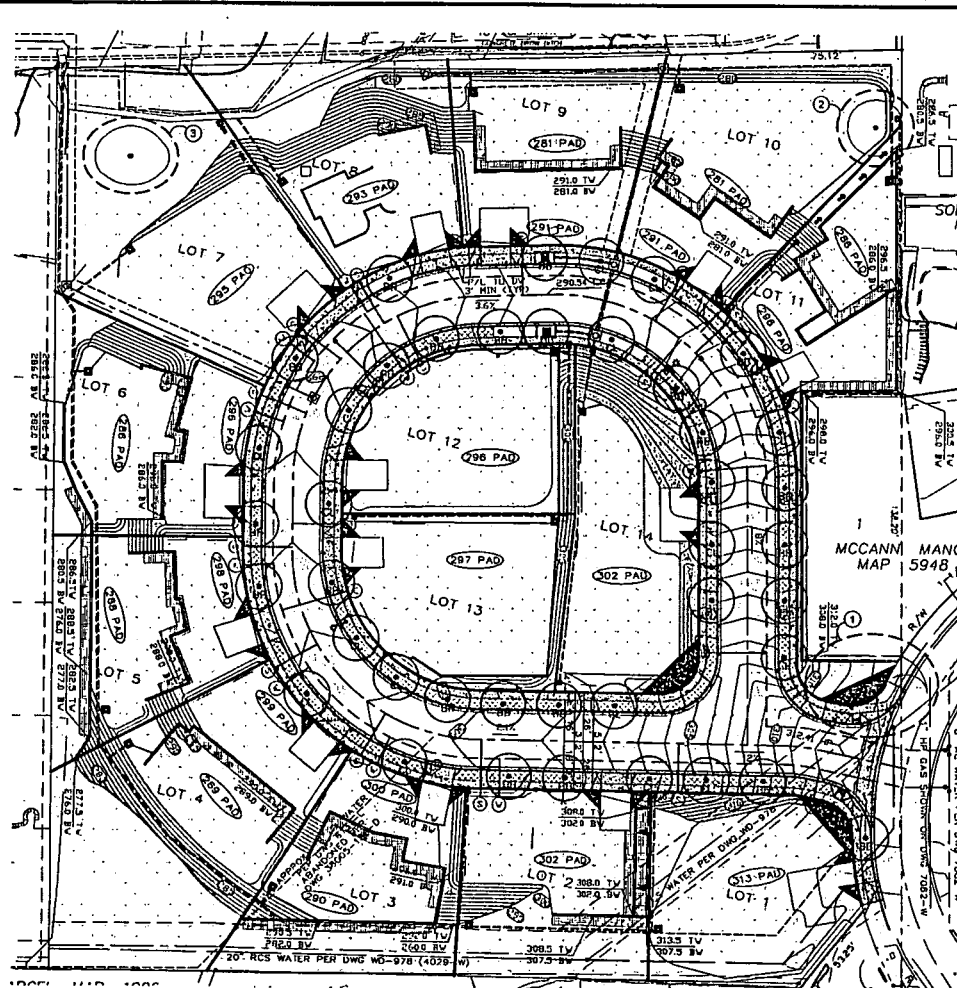
Project Name:  
 VISTA DE LOS ALTOS  
 VESTING TENTATIVE MAP

Original Date: FEBRUARY 03, 2019

Sheet Title:  
 SLOPE ANALYSIS

Sheet 4 of 8 Sheets





PLANT LEGEND

TREES

SYMBOL	BOTANICAL NAME - COMMON NAME	CALIPER	SIZE	MATURE HEIGHT	MATURE SPREAD	WUCOLS (ZONE 3)
BB	BAUHINIA BLAKEANA (ORCHID TREE)	2"	24" BOX	20'	25'	MOD
CL	CASSIA LEPTOPHYLLA (GOLDEN MEDALLION TREE)	2"	24" BOX	20'	25'	MOD

SHRUBS

[Symbol]	ACACIA R. 'DESERT CARPET' - PROSTRATE ACACIA, OR PYRACANTHA 'LOW BOY' - FIRETHORN	1 GAL @ 9"-0" O.C.	2'	12'	LOW
[Symbol]	PRUNUS UMOFOLIA LYONS - CATALINA CHERRY, OR RHUS INTEGRIFOLIA - LEMONADE BERRY	5 GAL @ 10" 5"-0" O.C.	10'	10'	LOW
[Symbol]	MYOPORUM 'PIRK' - TRAILING DWARF MYOPORUM, OR PHYLA NOOFLORA L. - KURAPUA S1	1 GAL @ 3"-0" O.C.	2'	8'	LOW
[Symbol]	NON-IRRIGATED NATIVE HYDROSEED MIX	HYDROSEED	2'	2'	NON-IRRIGATED

TREE NOTES:

- STREET TREE SPACING TO BE THIRTY FEET (30'-0") ON CENTER, WITH THE CENTER OF THEIR TRUNKS PLACED SEVEN FEET (7'-0") BEHIND THE FACE OF CURB. FINAL PLACEMENT OF ALL STREET TREES TO BE FOR REQUIRED DISTANCES FROM "IMPROVEMENTS" AS LISTED IN THE CITY OF SAN DIEGO MCH41.0409(a)(2)(b)
- ALL OTHER REQUIREMENTS GOVERNING STREET TREES, THAT ARE PERTINENT AS PRESCRIBED IN MC 141.0409, SHALL BE ADHERED TO.
- NET SITE TREE CANOPY GAIN OR LOSS (TREE CANOPY COMPARISON OF EXISTING TOTAL CANOPIES TO PROPOSED STREET TREE CANOPIES)
  - TOTAL EXISTING ON-SITE TREE CANOPY - 13,557 SF
    - CALCULATED BY KURT PEACOCK, ISA CERTIFIED ARBORIST, MC-7745A, IN REPORT TO LOS ALTOS HOMES, LLC IN HIS LETTER AND TABULATIONS DATED FEBRUARY 14, 2019
  - TOTAL PROPOSED STREET TREE CANOPY - 20,090 SF
    - 23 BAUHINIA AT 25' MATURE CANOPY - 11,270 SF
    - 18 CASSIA AT 25' MATURE CANOPY - 8,820 SF
- TOTAL CANOPY GAIN - 20,090 SF (PROPOSED) - 12,557 SF (EXISTING) = 8,533 SF

EXISTING TREE LEGEND

TREES

BOTANICAL NAME - COMMON NAME	(DBH) TRUNK DIAMETER	EXISTING HEIGHT	EXISTING SPREAD	MATURE HEIGHT	MATURE SPREAD
1. PINUS TORREYANA - TORREY PINE	38"	25'	30'	40'	35'
2. SCHINUS MOLLE - CALIFORNIA PEPPER	38"	15'	20'	25'	25'
3. PINUS TORREYANA - TORREY PINE	38"	18'	30'	40'	35'

TREE NOTES:

- TREE CANOPIES SHOWN ARE CONCEPTUAL ONLY. WHEN PLACING PROTECTION FENCING, CONTRACTOR SHALL PLACE 12" OUTSIDE OF THE DROPLINE OF THE TREE.
- WITHIN THE TREE PROTECTION ZONE:
  - NO MECHANICAL EXCAVATION IS ALLOWED. ONLY HAND DIGGING
  - NO HEAVY EQUIPMENT OR TOOL STORAGE
  - NO MATERIAL STORAGE
- DURING HAND EXCAVATION, IF ROOTS LARGER THAN 3" ARE ENCOUNTERED, THE CERTIFIED ARBORIST IS TO BE CALLED AND MADE AWARE OF THESE ROOTS. IN THEIR PRESENCE, THE ROOTS SHALL BE CUT WITH CLEAN STRAIT CUTS TO THE DISCRETION OF THE CERTIFIED ARBORIST.
- UTILITIES SHALL BE PLACED OUTSIDE THE ROOT PROTECTION ZONE, IF IN THE EVENT THEY NEED TO BE PLACED WITHIN THE ROOT PROTECTION ZONE, THE CONTRACTOR SHALL HAND DIG ALL TRENCHES, AND MANEUVER AROUND ALL MAJOR STRUCTURAL ROOTS AND SLEEVE THE UTILITY 2' IN EITHER DIRECTION WHEN IN CONTACT WITH A ROOT.
- IRRIGATION SHALL NOT BE PLACED WITHIN THE ROOT PROTECTION ZONE. IF A MAINLINE AND/OR WATER DISTRIBUTION LINES (LATERAL LINES) ARE SHOWN THROUGH THE ROOT PROTECTION ZONE, IT SHALL BE MANEUVERED AROUND THE ROOT PROTECTION ZONE AND NOT PLACED WITHIN. NO EXCEPTIONS.

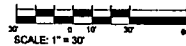
CITY NOTES

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- MINIMUM SEPARATION DISTANCE:
  - TRAFFIC SIGNALS / STOP SIGNS - 20 FEET
  - UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
  - ABOVE GROUND UTILITY STRUCTURES - 10 FEET
  - DRIVEWAYS (ENTRIES) - 10 FEET (5' FOR RESIDENTIAL STREETS < 25 MPH)
  - INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE HOMEOWNER OF THE PRIVATE NUMBERED LOTS. STREET TREES WILL INITIALLY BE MAINTAINED BY THE DEVELOPER AND TURNED OVER TO THE HOME OWNERS AS THEY TAKE OCCUPANCY OF THE INDIVIDUAL PRIVATE LOTS. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE OWNERS OF THE ADJACENT PRIVATE LOTS. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED PER THE CONDITIONS OF THE PERMIT.
- A MINIMUM ROOT ZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(b)(5).
- IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(c) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. DROP, ROTOR, AND BUBBLER IRRIGATION WILL BE PROPOSED TO ACHIEVE PROPER IRRIGATION.

NON-IRRIGATED HYDROSEED MIX

MAXIMUM ANNUAL APPLIED WATER ALLOWANCE

BOTANICAL NAME	COMMON NAME
ACHILLEA MILEFOLIUM	WHITE YARROW
CLARRIA AMOENA	FAREWELL TO SPRING
COROPHIS LANGEOBLATA	LANCIE-LEAF COROPHIS
ESCHSCHOLZA CALIFORNICA	CALIFORNIA POPPY
FESTUCA IDAHOENSIS	IDAHO FESCUE
FESTUCA MICROSTACHYS	SMALL FESCUE
GALLIARDIA PULCHELLA	INDIAN BLANKET
HORDEUM BRACHYANTHERUM	CALIFORNIA BARLEY
LACTUCA CALIFORNICA	DWARF GOLDFIELDS
LATYA FLATYLOSIA	TURTLES
LUNUM LEWISI	BLUE FLAX
LUPRUS NANUS	SKY LUPINE
LUPRUS SUCCULENTUS	ARROYO LUPINE
MELICA CALIFORNICA	CALIFORNIA MELIC
STIPA PULCHRA	PURPLE NEEDLEGRASS



LANDSCAPE DEVELOPMENT PLAN FOR TENTATIVE MAP APPROVAL

L-1.1



JOHN HANNA & ASSOCIATES  
LANDSCAPE ARCHITECTURE

1733 Seward Rd  
Encinitas, California 92024  
619-739-1887 - FAX 619-739-5811



NOTES FOR: **VISTA DE LOS ALTOS**  
14 UNIT SUBDIVISION  
PACIFIC BEACH, CA

CITY OF SAN DIEGO, CALIFORNIA  
DEVELOPMENT SERVICES DEPARTMENT  
SHEET 1 OF 2 SHEETS

FOR CITY REVIEW	DATE	FOR PERMIT	DATE
DESIGN	2/21/19	PERMIT	2/21/19

PROJECT NO. \_\_\_\_\_  
R.I.N. \_\_\_\_\_

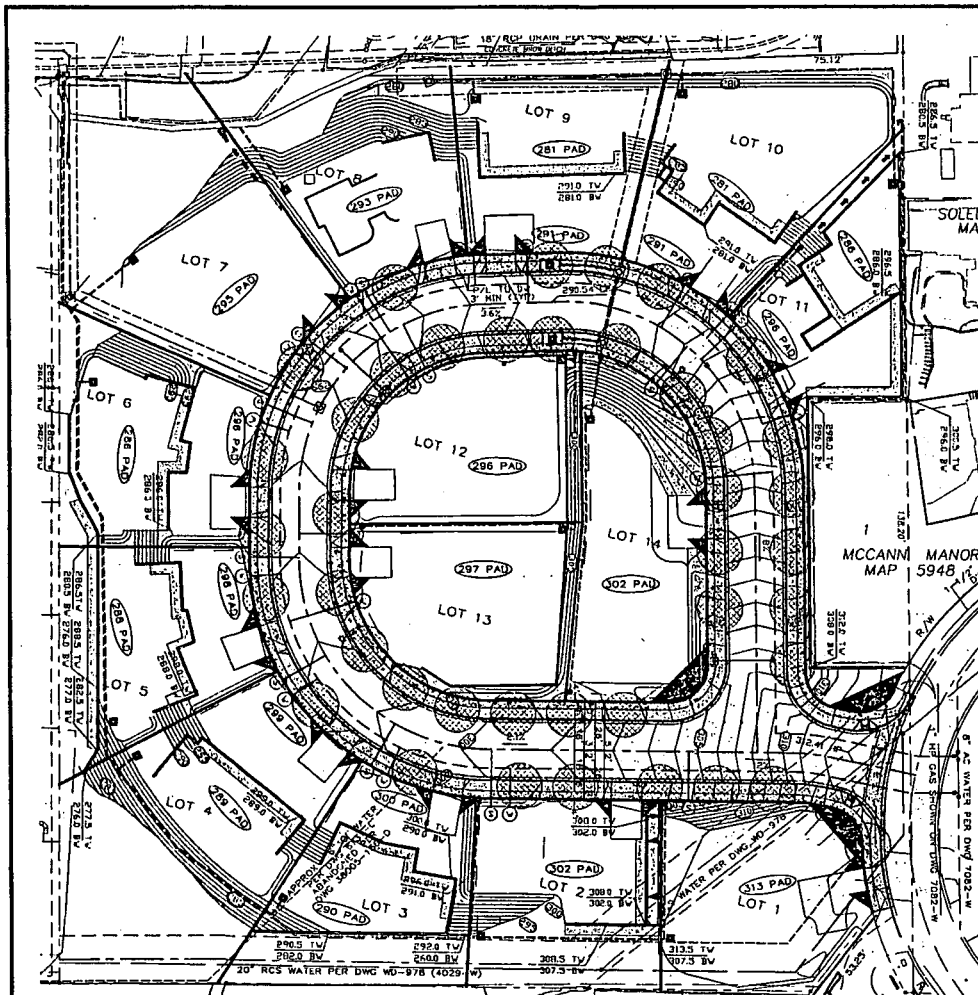
2018-2020  
10001 TYPICALS

201-1027  
LAWRY COORDINATES

CONTRACTOR: \_\_\_\_\_  
INSPECTOR: \_\_\_\_\_

DATE STARTED: \_\_\_\_\_  
DATE COMPLETED: \_\_\_\_\_

XXXXX - D



**WATER USE CALCULATIONS**

MAXIMUM ANNUAL APPLIED WATER ALLOWANCE		ESTIMATED ANNUAL WATER USE	
MAWA =	(Eto) (0.6) (LA) (0.62)	CAWU =	(Eto) (Kl/E) (LA) (0.62)
Eto =	REFERENCE EVAPOTRANSPIRATION (INCHES PER YEAR)	Kl =	LANDSCAPE COEFFICIENT
0.6 =	ET ADJUSTMENT FACTOR	E =	IRRIGATION EFFICIENCY
LA =	LANDSCAPE AREA IN SQUARE FEET	LA =	LANDSCAPE AREA - HYDROZONE (SQUARE FEET)
0.62 =	CONVERSION FACTOR (TO GALLONS PER SQUARE FOOT)	0.62 =	CONVERSION FACTOR (TO GALLONS PER SQUARE FOOT)
$MAWA = (Eto) (0.7) (LA) (0.62)$ $(46.5) (0.55) (32,667) (0.62) = 517,984 \text{ GALLONS/SF}$		$EAMU = \frac{(Eto) (Kl) (LA) (0.62)}{(E)}$ $PLANTING AREAS = \frac{(46.5) (0.2) (32283) (0.62)}{(0.81)} = 229,801$ $STREET TREES = \frac{(46.5) (0.5) (32283) (0.62)}{(0.81)} = 5,837$ <b>TOTAL = 236,075 GALLONS/SF</b>	

**HYDROZONE MAP LEGEND**

WUCOLS ZONE 3

SYMBOL

	MODERATE WATER ZONE IRRIGATION VALVES
	LOW WATER USE ZONE IRRIGATION VALVES



1753 Sredonland Rd  
Encinitas, California 92024  
858/726-1067 - fax 858/266-5611

304 - 1074

NOTES FOR **VISTA DE LOS ALTOS**  
14 UNIT SUBDIVISION  
PACIFIC BEACH, CA

CITY OF SAN DIEGO, CALIFORNIA  
DEVELOPMENT SERVICES DEPARTMENT  
SHEET 2 OF 2 SHEETS

REV	DATE	BY	DESCRIPTION
01			ORIGINAL

PROJECT NO. \_\_\_\_\_

DATE COMPLETED \_\_\_\_\_

AS-BUILT \_\_\_\_\_

CONTRACTOR \_\_\_\_\_

INSPECTOR \_\_\_\_\_

DATE COMPLETED \_\_\_\_\_

XXXXXXXX - D

LANDSCAPE DEVELOPMENT PLAN FOR TENTATIVE MAP APPROVAL

L-1.2

Passed by the Council of The City of San Diego on OCT 15 2019, by the following vote:

Councilmembers	Yeas	Nays	Not Present	Recused
Barbara Bry	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jennifer Campbell	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Chris Ward	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Monica Montgomery	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mark Kersey	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Chris Cate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Scott Sherman	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Vivian Moreno	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Georgette Gómez	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Date of final passage OCT 15 2019.

**(Please note: When a resolution is approved by the Mayor, the date of final passage is the date the approved resolution was returned to the Office of the City Clerk.)**

AUTHENTICATED BY:

KEVIN L. FAULCONER  
Mayor of The City of San Diego, California.

(Seal)

ELIZABETH S. MALAND  
City Clerk of The City of San Diego, California.

By Connie Patton, Deputy

Office of the City Clerk, San Diego, California

Resolution Number R-312706