

5/25/2021 #333C

(R-2021-448)
COR. COPY

RESOLUTION NUMBER R- 313562

DATE OF FINAL PASSAGE MAY 25 2021

A RESOLUTION OF THE COUNCIL OF THE CITY OF
SAN DIEGO VACATING PORTIONS OF A PUBLIC RIGHT-
OF-WAY VACATION NO. 2392193 AND PORTIONS OF A
PUBLIC STORM DRAIN EASEMENT VACATION NO.
2392194 LOCATED AT 1545, 1561, AND 1895 CAMINO DEL
RIO SOUTH PROJECT NO. 657591.

WHEREAS, California Streets and Highways Code section 8320 *et seq.* and San Diego
Municipal Code section 125.1001 *et seq.* provide a procedure for the vacation of public service
easements by City Council resolution; and

WHEREAS, SCOTTISH RITE CENTER and HOME DEPOT filed an application to
vacate portions of a Public Right-of-Way (Camino Del Rio South) being described as Public
Right-of-Way Vacation No. 2392193 and portions of a Storm Drain Easement being described as
Easement Vacation No. 2392194; and

WHEREAS, Public Right-of-Way Vacation No. 2392193 and Easement Vacation
No. 2392194 is located on property owned by Scottish Rite Center located at 1545, 1561, and
1895 Camino Del Rio South; and

WHEREAS, under San Diego Charter section 280(a)(2), this resolution is not subject to
veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a
public hearing was required by law implicating due process rights of individuals affected by the
decision, and the Council was required by law to consider evidence at the hearing and to make
legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on May 25, 2021, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that with respect to Public Right-of-Way Vacation No. 2392193, the Council finds that pursuant to San Diego Municipal Code section 125.0941:

(a) There is no present or prospective public use for the public right-of-way either for the facility for which it was originally acquired, or for any other public use of a like nature that can be anticipated.

In 1956 and 1959, a series of easements for future improvements and access restrictions to Mission Valley Road were granted by the property owner to the City of San Diego. The easement dedications along old Mission Valley Road were made prior to knowing the final road configurations for Old Highway 80, which began construction around 1957 between the current day State Route 163 and Ward Road. Old Highway 80 was renamed to Interstate 8 in 1964. The easements for future right-of-improvements are adjacent to Camino del Rio South, whose current configuration was developed after Interstate 8 was built.

With the build out of Interstate 8, the current road classification established in the recent Mission Valley Community Plan Update, and the public improvements proposed by the Project, the expanded right of way contemplated by the easements for future improvements encumbering the Project site are not presently nor prospectively needed for public use, either for the facility for which it was originally acquired or for any other public use of a like nature that can be anticipated.

The Project will implement improvements to Camino del Rio South Consistent with the buildout condition identified in the Mission Valley Community Plan Update, impacting two easements: Easement 11, which an easement for future street, sewer, water, drainage, and public utilities that was dedicated to the City of San Diego on the map Filed November 16, 1956 as Map No. 3546 of Tract Maps. Easement 15 is an easement granted to the City of San Diego for Street and Incidental purposes, recorded September 23, 1959 as Book 7897, page 134 of official records. The portions of Easements 11 and 15, south of those Project improvements to Camino del Rio South are no longer needed for any current or prospective public purposes. Except for a portion of the storm drain addressed in a separate easement vacation finding, utilities are located in the portion of the public right-of-way that will not be vacated such that the proposed vacation would have no adverse impact on those existing sewer, water, drainage, and public utilities. City staff has reviewed the request and found that the portion of the right-of-way proposed to be vacation by this action is unnecessary for the facility for which it was originally acquired or for any other public use of a like nature that can be anticipated. Thus, there is no present or prospective public use for the public right-of-way, either for the facility for which it was originally acquired or for any other public use of a like nature that can be anticipated.

(b) The public will benefit from the action through improved use of the land made available by the vacation.

The right-of-way vacation will allow private property to redevelopment consistent with the recently adopted Mission Valley Community Plan update. The Project includes right-of-way improvements consistent with the goals of that plan to improve pedestrian and bicycle facilities with a right-of-way width consistent with the roadway designation. Vacating a portion of the right-of-way easement will enable the use of the land as part of the development of a regional

commercial use like the Home Depot, the type of redevelopment activity envisioned by the Mission Valley Community Plan Update and associated rezoning while preserving the existing Scottish Rite Center use in this location. Therefore, the public will benefit from the action through improved use of the land made available by the vacation.

(c) The vacation does not adversely affect any applicable land use plan.

For the reasons specified in subsections (a) and (b) above, the right-of-way vacation will facilitate use and development, including use of the remaining right-of-way, consistent with the General Plan and the recently updated Mission Valley Community Plan. Therefore, the vacation does not adversely affect any applicable land use plan.

(d) The public facility or purpose for which the public right-of-way was originally acquired will not be detrimentally affected by the vacation.

The original right-of-way reservation was made based on the undetermined needs for the under-construction Old Highway 80 (now Interstate 8 Freeway). The I-8 Freeway is now built, and the 2019 Mission Valley Community Plan Update classified Camino del Rio South as a 2-lane collector with left turn lane. Consistent with the applicable land use plans, the Project will utilize a portion of the existing right-of-way reservation to expand Camino del Rio South roadway from a 2-lane collector to a 2-lane collector with left turn lane and add a buffer to the existing bike lanes along its frontage. Thus, City staff has reviewed the request and found that the remainder of the public right-of-way is not needed for the public facility for which the public right-of-way was originally acquired. Therefore, the purpose for which the public right-of-way was acquired will not be detrimentally affected by the vacation.

BE IT RESOLVED, by the Council of the City of San Diego, that with respect to Easement Vacation No. 2392194, the Council finds that pursuant to San Diego Municipal Code section 125.1040:

(a) There is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired, or for any other public use of a like nature that can be anticipated.

The map filed on November 16, 1956 as Map No. 3546 of Tract Maps includes an easement for storm drain facilities that traverse the Project site. The easement connects the storm drain that comes down the south hillside of Mission Valley to Camino del Rio South, draining from the hills above. A drainage easement is necessary; however, the specific location of the easement can be relocated while still provided the required public use. The proposed vacation allows for relocation of the storm drain easement and facilities on the Project site to a new location on site that avoids the footprint of the proposed Home Depot building, and a new storm drain easement will be granted to the City.

With the relocation and granting of a new storm drain easement per Exhibit A, the portion of the current easement that would be under the Home Depot building is no longer necessary presently or prospectively for the purpose that it was originally acquired due to the relocation in Exhibit A. The proposed Project will provide a new connection of the storm drainage from the south hillside of Mission Valley to Camino del Rio South. Therefore, there is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired or for any other public use of a like nature that can be anticipated.

(b) The public will benefit from the action through improved utilization of the land made available by the vacation.

The current easement location bisects the property and is located within the footprint of the proposed Home Depot. The current easement restricts not only this redevelopment but almost all future large scale regional commercial redevelopment on the property that could be developed consistent with land use plan and zone. The relocation of the storm drain easement will facilitate the regional commercial land use development intended in the Mission Valley Community Plan while providing the necessary public storm drain function. Therefore, the finding can be made that the public will benefit from the action through improved utilization of the land made available by the vacation.

(c) The vacation is consistent with any applicable land use plan.

The current easement location bisects the property and adversely impacts any redevelopment of the property. The relocation of the storm drain easement will create greater flexibility to facilitate the regional type of land use development envisioned in the Mission Valley Community Plan Update as the Project proposes. A new easement will be recorded for a relocated public storm drain that will replace the existing easement. Therefore, the finding can be made that the vacation is consistent with any applicable land use plan.

(d) The public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.

With the granting of a new easement and the relocation and construction of the public storm drain, the existing storm drain line and easement will no longer be required or serve a purpose. Therefore, the finding can be made that the public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the City Council, Public Right-of-Way Vacation No. 2392193 and Easement Vacation No. 2392194 are hereby granted to Scottish Rite Center and Home Depot, as more particularly described in Exhibit "A" which is made part of the resolution this reference, and contingent upon final passage of Resolution No. R-**313561** approving related the project Planned Development Permit, Site Development Permit, and Neighborhood Development Permit.

BE IT FURTHER RESOLVED, that the Development Services Department shall record a certified copy of this resolution with attached exhibits, attested by the City Clerk under seal, in the Office of the County Recorder.

APPROVED: MARA W. ELLIOTT, City Attorney

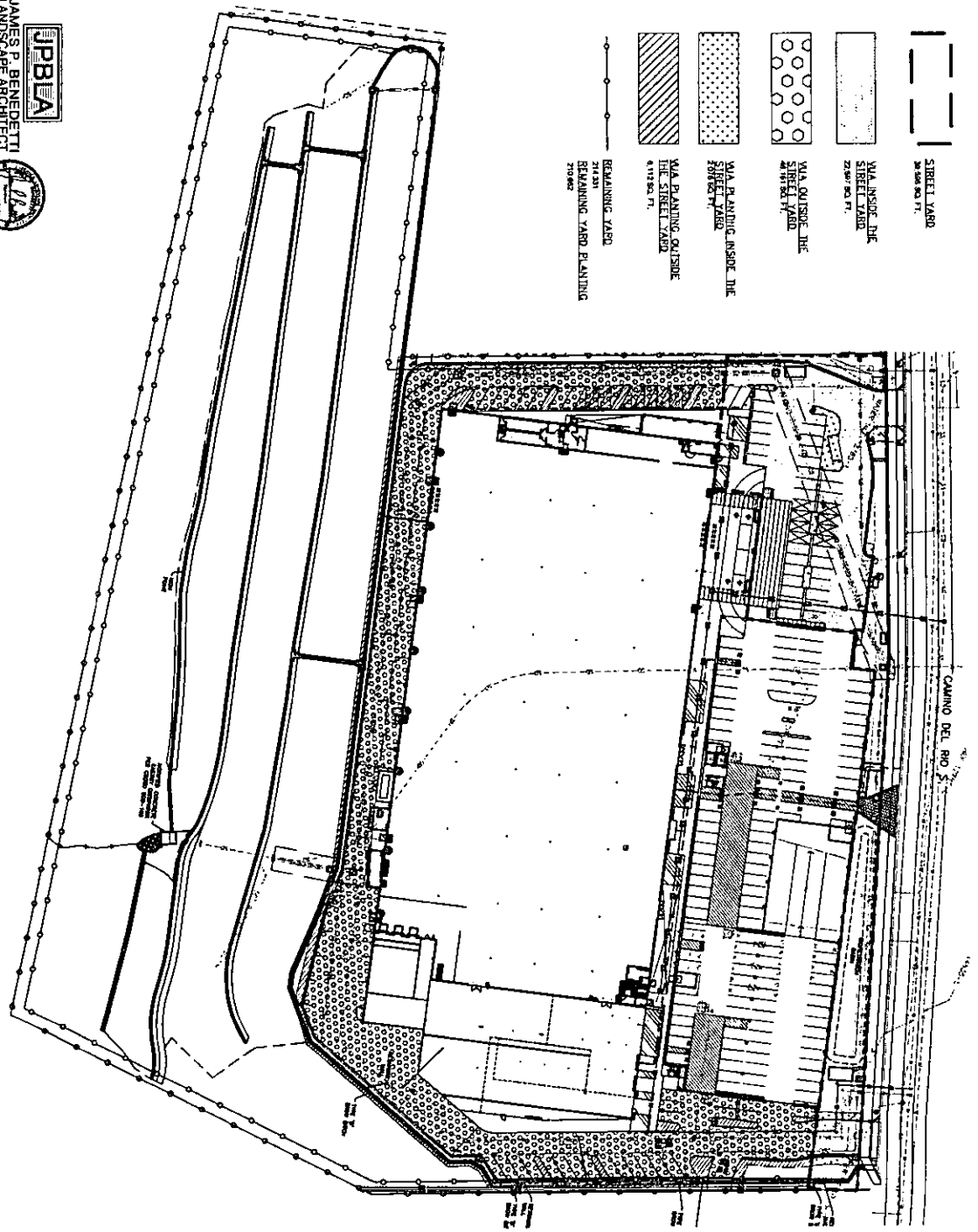
By /s/ Shannon C. Eckmeyer
Shannon C. Eckmeyer
Deputy City Attorney

SCE:sc
05/06/2021
02/28/2022 COR. COPY
Or.Dept: DSD
CC NO.: N/A
Doc. No.: 2655550_2



SCOTTISH RITE /
HOME DEPOT
LANDSCAPE CALCULATIONS
1895 & 1961 CAMINO DEL RIO S
SAN DIEGO, CA 92108
56272800 18134100

JAMES P. BENEDETTI
LANDSCAPE ARCHITECT
4400 WASHINGTON AVE., SUITE 201
SAN DIEGO, CA 92121
TEL: 619-591-1234 FAX: 619-591-1235



LANDSCAPE CALCULATIONS WORKSHEET

Project Name: _____
 Client Name: _____
 Address: _____
 City: _____ State: _____ Zip: _____

Prepared by: _____
 Date: _____

Scale: _____

Notes: _____

Item	Description	Quantity	Unit Price	Total Price
1	Planting Area (10' x 10')	1	\$1,500	\$1,500
2	Planting Area (10' x 10')	1	\$1,500	\$1,500
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79	Planting Area (10' x 10')	1	\$1,500	\$1,500
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97	Planting Area (10' x 10')	1	\$1,500	\$1,500
98	Planting Area (10' x 10')	1	\$1,500	\$1,500
99	Planting Area (10' x 10')	1	\$1,500	\$1,500
100	Planting Area (10' x 10')	1	\$1,500	\$1,500

REGISTRATION OF STUDY RECORDS FROM CONTING MEASURES AS SPECIFIED HEREIN SHALL BE MAINTAINED IN ONE OR MORE OF THE FOLLOWING PLANNING INSTRUMENTS:

1. STANDARD A - GEORGE COUNTY: GEORGE COUNTY PLANNING AND ZONING DEPARTMENT, GEORGE COUNTY, GA. THE STUDY RECORDS SHALL BE MAINTAINED IN THE COUNTY PLANNING AND ZONING DEPARTMENT, GEORGE COUNTY, GA. THE STUDY RECORDS SHALL BE MAINTAINED IN THE COUNTY PLANNING AND ZONING DEPARTMENT, GEORGE COUNTY, GA. THE STUDY RECORDS SHALL BE MAINTAINED IN THE COUNTY PLANNING AND ZONING DEPARTMENT, GEORGE COUNTY, GA.
2. STANDARD B - CITY OF ATLANTA: CITY OF ATLANTA PLANNING AND ZONING DEPARTMENT, ATLANTA, GA. THE STUDY RECORDS SHALL BE MAINTAINED IN THE CITY OF ATLANTA PLANNING AND ZONING DEPARTMENT, ATLANTA, GA. THE STUDY RECORDS SHALL BE MAINTAINED IN THE CITY OF ATLANTA PLANNING AND ZONING DEPARTMENT, ATLANTA, GA.
3. STANDARD C - DEKALB COUNTY: DEKALB COUNTY PLANNING AND ZONING DEPARTMENT, DEKALB COUNTY, GA. THE STUDY RECORDS SHALL BE MAINTAINED IN THE DEKALB COUNTY PLANNING AND ZONING DEPARTMENT, DEKALB COUNTY, GA. THE STUDY RECORDS SHALL BE MAINTAINED IN THE DEKALB COUNTY PLANNING AND ZONING DEPARTMENT, DEKALB COUNTY, GA.
4. STANDARD D - FULTON COUNTY: FULTON COUNTY PLANNING AND ZONING DEPARTMENT, FULTON COUNTY, GA. THE STUDY RECORDS SHALL BE MAINTAINED IN THE FULTON COUNTY PLANNING AND ZONING DEPARTMENT, FULTON COUNTY, GA. THE STUDY RECORDS SHALL BE MAINTAINED IN THE FULTON COUNTY PLANNING AND ZONING DEPARTMENT, FULTON COUNTY, GA.
5. STANDARD E - GWINNETT COUNTY: GWINNETT COUNTY PLANNING AND ZONING DEPARTMENT, GWINNETT COUNTY, GA. THE STUDY RECORDS SHALL BE MAINTAINED IN THE GWINNETT COUNTY PLANNING AND ZONING DEPARTMENT, GWINNETT COUNTY, GA. THE STUDY RECORDS SHALL BE MAINTAINED IN THE GWINNETT COUNTY PLANNING AND ZONING DEPARTMENT, GWINNETT COUNTY, GA.
6. STANDARD F - ICHAWAUCHEE COUNTY: ICHAWAUCHEE COUNTY PLANNING AND ZONING DEPARTMENT, ICHAWAUCHEE COUNTY, GA. THE STUDY RECORDS SHALL BE MAINTAINED IN THE ICHAWAUCHEE COUNTY PLANNING AND ZONING DEPARTMENT, ICHAWAUCHEE COUNTY, GA. THE STUDY RECORDS SHALL BE MAINTAINED IN THE ICHAWAUCHEE COUNTY PLANNING AND ZONING DEPARTMENT, ICHAWAUCHEE COUNTY, GA.
7. STANDARD G - MORGAN COUNTY: MORGAN COUNTY PLANNING AND ZONING DEPARTMENT, MORGAN COUNTY, GA. THE STUDY RECORDS SHALL BE MAINTAINED IN THE MORGAN COUNTY PLANNING AND ZONING DEPARTMENT, MORGAN COUNTY, GA. THE STUDY RECORDS SHALL BE MAINTAINED IN THE MORGAN COUNTY PLANNING AND ZONING DEPARTMENT, MORGAN COUNTY, GA.
8. STANDARD H - ROCKDALE COUNTY: ROCKDALE COUNTY PLANNING AND ZONING DEPARTMENT, ROCKDALE COUNTY, GA. THE STUDY RECORDS SHALL BE MAINTAINED IN THE ROCKDALE COUNTY PLANNING AND ZONING DEPARTMENT, ROCKDALE COUNTY, GA. THE STUDY RECORDS SHALL BE MAINTAINED IN THE ROCKDALE COUNTY PLANNING AND ZONING DEPARTMENT, ROCKDALE COUNTY, GA.
9. STANDARD I - WALKER COUNTY: WALKER COUNTY PLANNING AND ZONING DEPARTMENT, WALKER COUNTY, GA. THE STUDY RECORDS SHALL BE MAINTAINED IN THE WALKER COUNTY PLANNING AND ZONING DEPARTMENT, WALKER COUNTY, GA. THE STUDY RECORDS SHALL BE MAINTAINED IN THE WALKER COUNTY PLANNING AND ZONING DEPARTMENT, WALKER COUNTY, GA.

CONCEPT PLANT SCHEDULE

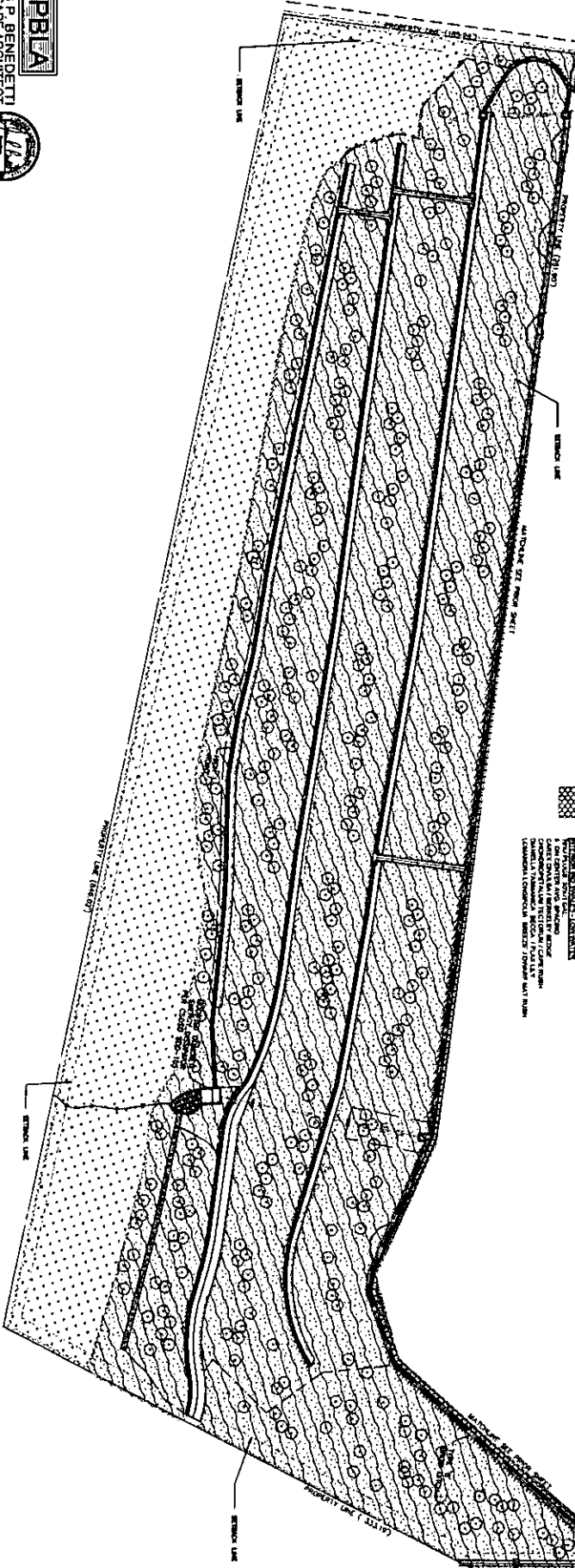
PLANT SCHEDULE

PLANT SYMBOLS:

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PLANT SCHEDULE:

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- 47. 47" - 47" PLANT
- 48. 48" - 48" PLANT
- 49. 49" - 49" PLANT
- 50. 50" - 50" PLANT
- 51. 51" - 51" PLANT
- 52. 52" - 52" PLANT
- 53. 53" - 53" PLANT
- 54. 54" - 54" PLANT
- 55. 55" - 55" PLANT
- 56. 56" - 56" PLANT
- 57. 57" - 57" PLANT
- 58. 58" - 58" PLANT
- 59. 59" - 59" PLANT
- 60. 60" - 60" PLANT
- 61. 61" - 61" PLANT
- 62. 62" - 62" PLANT
- 63. 63" - 63" PLANT
- 64. 64" - 64" PLANT
- 65. 65" - 65" PLANT
- 66. 66" - 66" PLANT
- 67. 67" - 67" PLANT
- 68. 68" - 68" PLANT
- 69. 69" - 69" PLANT
- 70. 70" - 70" PLANT
- 71. 71" - 71" PLANT
- 72. 72" - 72" PLANT
- 73. 73" - 73" PLANT
- 74. 74" - 74" PLANT
- 75. 75" - 75" PLANT
- 76. 76" - 76" PLANT
- 77. 77" - 77" PLANT
- 78. 78" - 78" PLANT
- 79. 79" - 79" PLANT
- 80. 80" - 80" PLANT
- 81. 81" - 81" PLANT
- 82. 82" - 82" PLANT
- 83. 83" - 83" PLANT
- 84. 84" - 84" PLANT
- 85. 85" - 85" PLANT
- 86. 86" - 86" PLANT
- 87. 87" - 87" PLANT
- 88. 88" - 88" PLANT
- 89. 89" - 89" PLANT
- 90. 90" - 90" PLANT
- 91. 91" - 91" PLANT
- 92. 92" - 92" PLANT
- 93. 93" - 93" PLANT
- 94. 94" - 94" PLANT
- 95. 95" - 95" PLANT
- 96. 96" - 96" PLANT
- 97. 97" - 97" PLANT
- 98. 98" - 98" PLANT
- 99. 99" - 99" PLANT
- 100. 100" - 100" PLANT



JPBA

JAMES P. BENEDETTI
LANDSCAPE ARCHITECT
4401 LAUREL CREEK AVENUE, SUITE 201
ROSELAND, GA 30080
770.677.0049

FUSCO

LANDSCAPE ARCHITECTS
5060 BERRY AVENUE, SUITE 201
SAN DIEGO, CA 92121
619.591.1122 WWW.FUSCO.COM

WARE MALCOMB

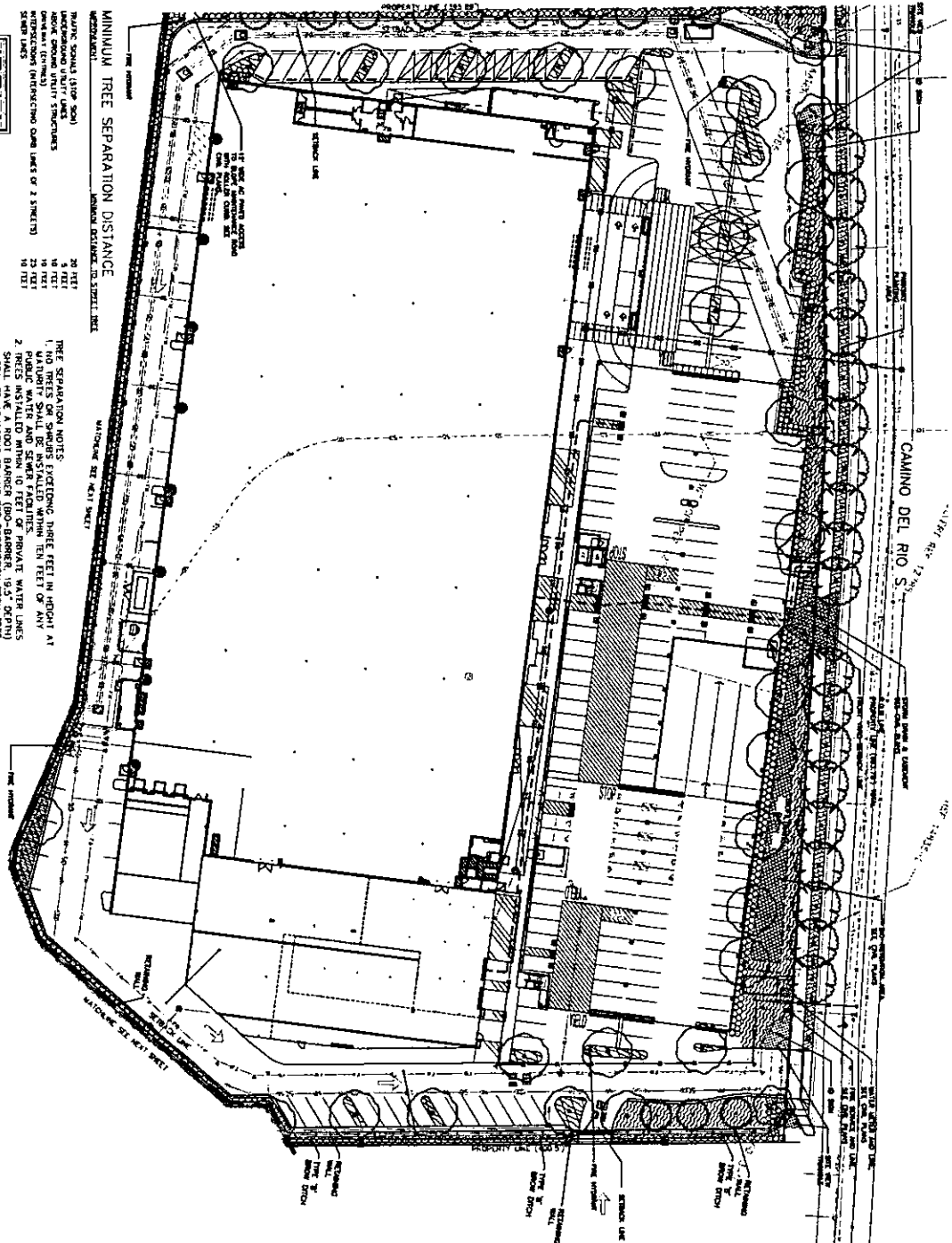
Landscape Design for Commercial Real Estate

SCOTTISH RITE / HOME DEPOT

LANDSCAPE CONCEPT PLAN

1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

LC-HD-2
06.27.2020
18134.00



MINIMUM TREE SEPARATION DISTANCE

PLANTING SPACING (150' MIN)	MINIMUM TREE SEPARATION DISTANCE
20 FEET	4 FEET
30 FEET	6 FEET
40 FEET	8 FEET
50 FEET	10 FEET
60 FEET	12 FEET
75 FEET	15 FEET
100 FEET	20 FEET

TREE SEPARATION NOTES:
 1. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT PLANTING SHALL BE INSTALLED WITHIN TEN FEET OF ANY SIDEWALK OR DRIVEWAY.
 2. TREES INSTALLED WITHIN 10 FEET OF PRIVATE WATER LINES SHALL HAVE A ROOT BARRIER (RO-BARRIER, 19.5" DEPTH) INSTALLED AHEAD OF THE LINE FOR PROTECTION FROM TREE ROOTS.

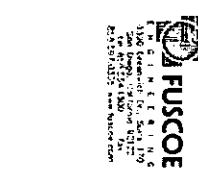
NOTE: 12" PLANTING DEPTH IN FRONT OF MAIN LANDSCAPE AREAS SHALL BE MAINTAINED.
 12" PLANTING DEPTH IN FRONT OF MAIN LANDSCAPE AREAS SHALL BE MAINTAINED.



JAMES P. BENEDETTI
 LANDSCAPE ARCHITECT
 1561 CAMINO DEL RIO S., SUITE 200
 SAN DIEGO, CA 92108
 TEL: 619-594-7000
 FAX: 619-594-7001

IPBBA
 INTERNATIONAL PROFESSIONAL BUILDING PRACTITIONERS ASSOCIATION
 1561 CAMINO DEL RIO S., SUITE 200
 SAN DIEGO, CA 92108
 TEL: 619-594-7000
 FAX: 619-594-7001

SEE SHEET LC-2 FOR PLANT MATERIAL LEGEND



FUSCO ENGINEERING
 1561 CAMINO DEL RIO S., SUITE 200
 SAN DIEGO, CA 92108
 TEL: 619-594-7000
 FAX: 619-594-7001

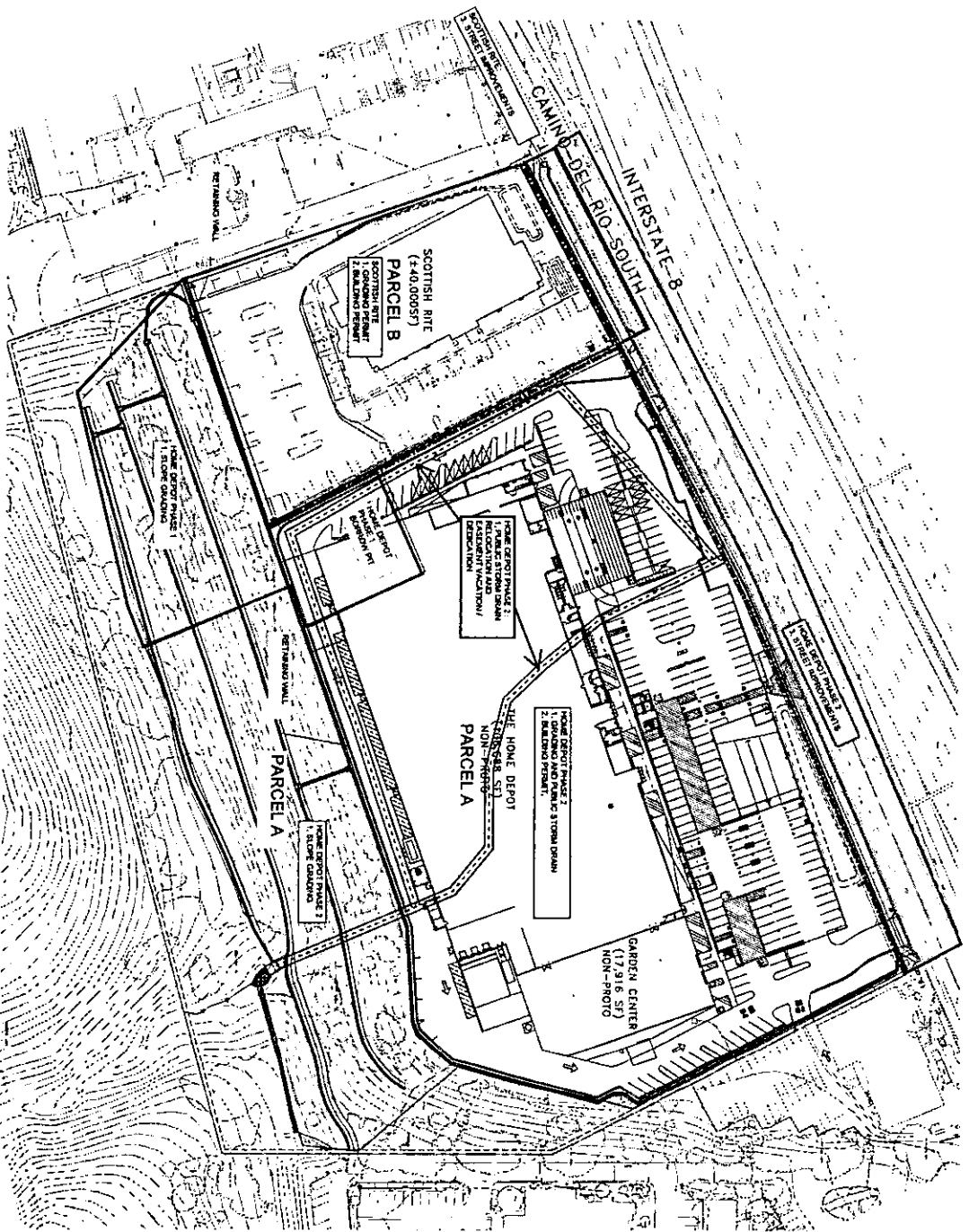


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 Landscaping Design for Commercial Real Estate
 1561 CAMINO DEL RIO S., SUITE 200
 SAN DIEGO, CA 92108
 TEL: 619-594-7000
 FAX: 619-594-7001

SCOTTISH RITE / HOME DEPOT
 LANDSCAPE CONCEPT PLAN
 LC-HD-1
 05/27/2000
 18134.00

LANDSCAPE NOTES:

1. THE PROPERTY OWNER AND RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL LANDSCAPE AREAS SHALL BE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL LANDSCAPE AREAS AND SHALL MAINTAIN ALL LANDSCAPE AREAS IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS AND SPECIFICATIONS, 1999 EDITION, AND ALL APPLICABLE ORDINANCES, RULES AND REGULATIONS OF THE CITY OF SAN DIEGO.
2. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS AND SPECIFICATIONS, 1999 EDITION, AND ALL APPLICABLE ORDINANCES, RULES AND REGULATIONS OF THE CITY OF SAN DIEGO.
3. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS AND SPECIFICATIONS, 1999 EDITION, AND ALL APPLICABLE ORDINANCES, RULES AND REGULATIONS OF THE CITY OF SAN DIEGO.
4. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS AND SPECIFICATIONS, 1999 EDITION, AND ALL APPLICABLE ORDINANCES, RULES AND REGULATIONS OF THE CITY OF SAN DIEGO.
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6. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS AND SPECIFICATIONS, 1999 EDITION, AND ALL APPLICABLE ORDINANCES, RULES AND REGULATIONS OF THE CITY OF SAN DIEGO.
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10. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS AND SPECIFICATIONS, 1999 EDITION, AND ALL APPLICABLE ORDINANCES, RULES AND REGULATIONS OF THE CITY OF SAN DIEGO.



= HOME DEPOT PHASE 1

HOME DEPOT APPLICANT, SCOPE OF WORK, BUILDERS

PERMIT 1: GRADING PERMIT FOR SCOPED SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2. PERMIT 1A: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1B: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1C: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1D: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1E: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1F: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1G: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1H: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1I: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1J: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1K: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1L: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1M: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1N: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1O: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1P: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1Q: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1R: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1S: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1T: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1U: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1V: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1W: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1X: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1Y: PAVEMENT PERMIT FOR RETAINING WALL. PERMIT 1Z: PAVEMENT PERMIT FOR RETAINING WALL.

= SCOTTISH RITE WORK

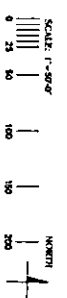
SCOTTISH RITE APPLICANT, SCOPE OF WORK, BUILDERS

PERMIT 1: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2. PERMIT 2: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2. PERMIT 3: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2. PERMIT 4: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2. PERMIT 5: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2. PERMIT 6: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2. PERMIT 7: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2. PERMIT 8: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2. PERMIT 9: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2. PERMIT 10: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2. PERMIT 11: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2. PERMIT 12: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2. PERMIT 13: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2. PERMIT 14: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2. PERMIT 15: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2. PERMIT 16: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2. PERMIT 17: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2. PERMIT 18: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2. PERMIT 19: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2. PERMIT 20: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 1 AND FOR PHASE 2.

= HOME DEPOT PHASE 2

HOME DEPOT APPLICANT, SCOPE OF WORK, BUILDERS

PERMIT 1: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 2. PERMIT 2: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 2. PERMIT 3: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 2. PERMIT 4: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 2. PERMIT 5: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 2. PERMIT 6: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 2. PERMIT 7: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 2. PERMIT 8: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 2. PERMIT 9: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 2. PERMIT 10: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 2. PERMIT 11: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 2. PERMIT 12: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 2. PERMIT 13: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 2. PERMIT 14: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 2. PERMIT 15: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 2. PERMIT 16: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 2. PERMIT 17: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 2. PERMIT 18: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 2. PERMIT 19: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 2. PERMIT 20: PRIVATE GRADING PERMIT FOR SCHEMATIC PLAN FOR PHASE 2.



wd



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SCOTTISH RITE / HOME DEPOT
 PERMIT PRASING EXHIBIT C-HD-SR-4
 1895 & 1561 CAMINO DEL RIO S
 SAN DIEGO, CA 92108
 08.17.2020
 18181.DD



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Leading Design for Commercial Real Estate



**SCOTTISH RITE /
HOME DEPOT**
1895 & 1861 CAMINO DEL RIO S
SAN DIEGO, CA 92108

**EXISTING SLOPE
ANALYSIS
C-HD-SR-3**
08.17.2003 18134.00

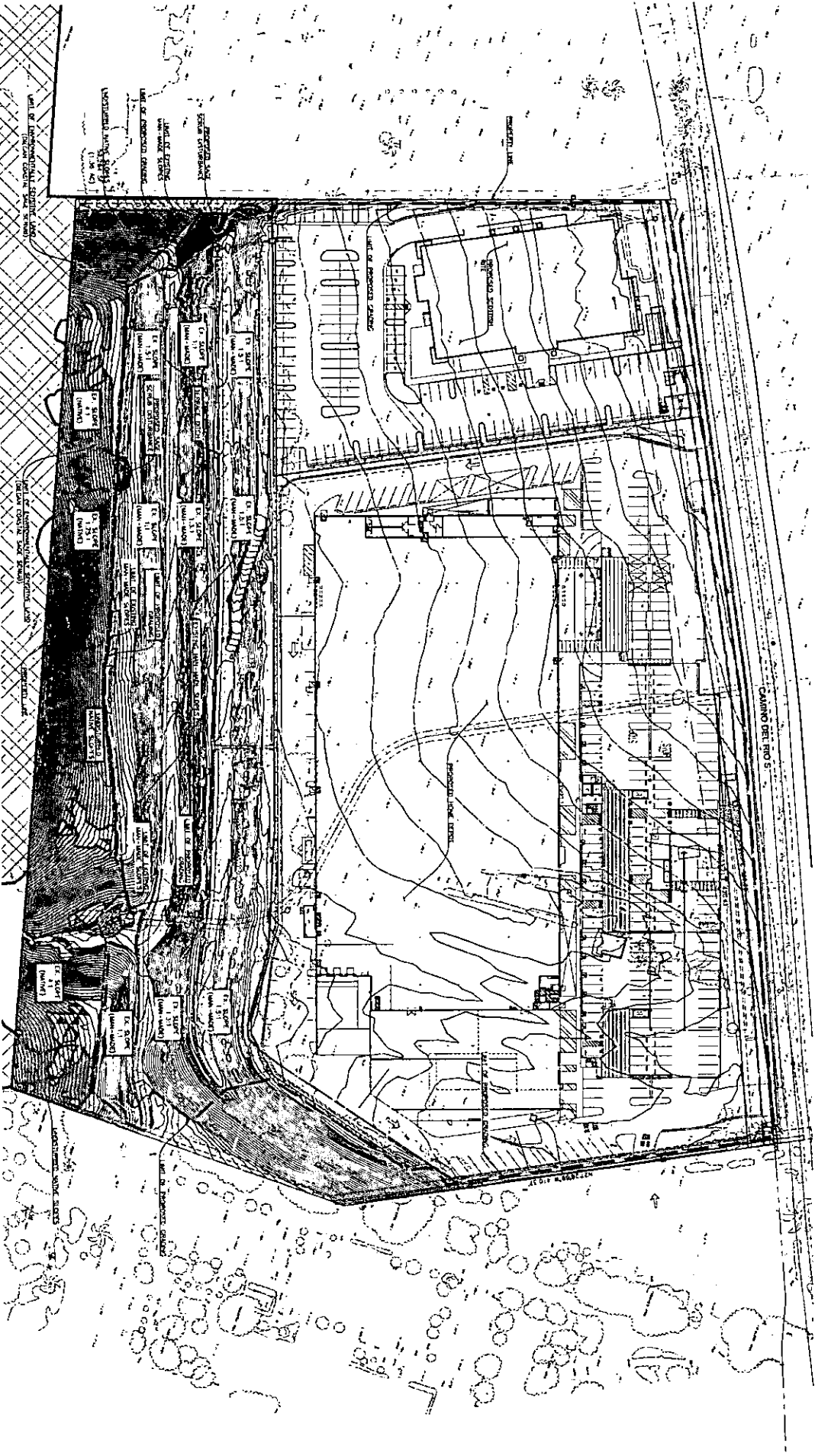
NAME SLOPE ANALYSIS TABLE

Number	Minimum Slope	Maximum Slope	Color	Area (AC)	PERCENTAGE OF NAME SLOPE AREA (AC)
1	0.00%	2.00%	Light Blue	113	11%
2	2.00%	20.00%	Medium Blue	818 AC	81%

VIOLATION DESIGN MAY MAKE SLOPES
NOTE THE PROJECT DOES NOT IMPROVE DISTURBANCE OF NAME SLOPES

LEGEND

	PROPOSED SLOPE
	EXISTING SLOPE
	PROPOSED SLOPE DISTURBANCE
	PROPOSED SLOPE DISTURBANCE (TOTAL = 0.28 AC)
	DEVELOPMENT SLOPE
	PROPERTY LINE
	BOUNDARY OF ENVIRONMENTAL SENSITIVE AREA
	BOUNDARY OF ENVIRONMENTAL SENSITIVE AREA (DEVELOPMENT SLOPE)





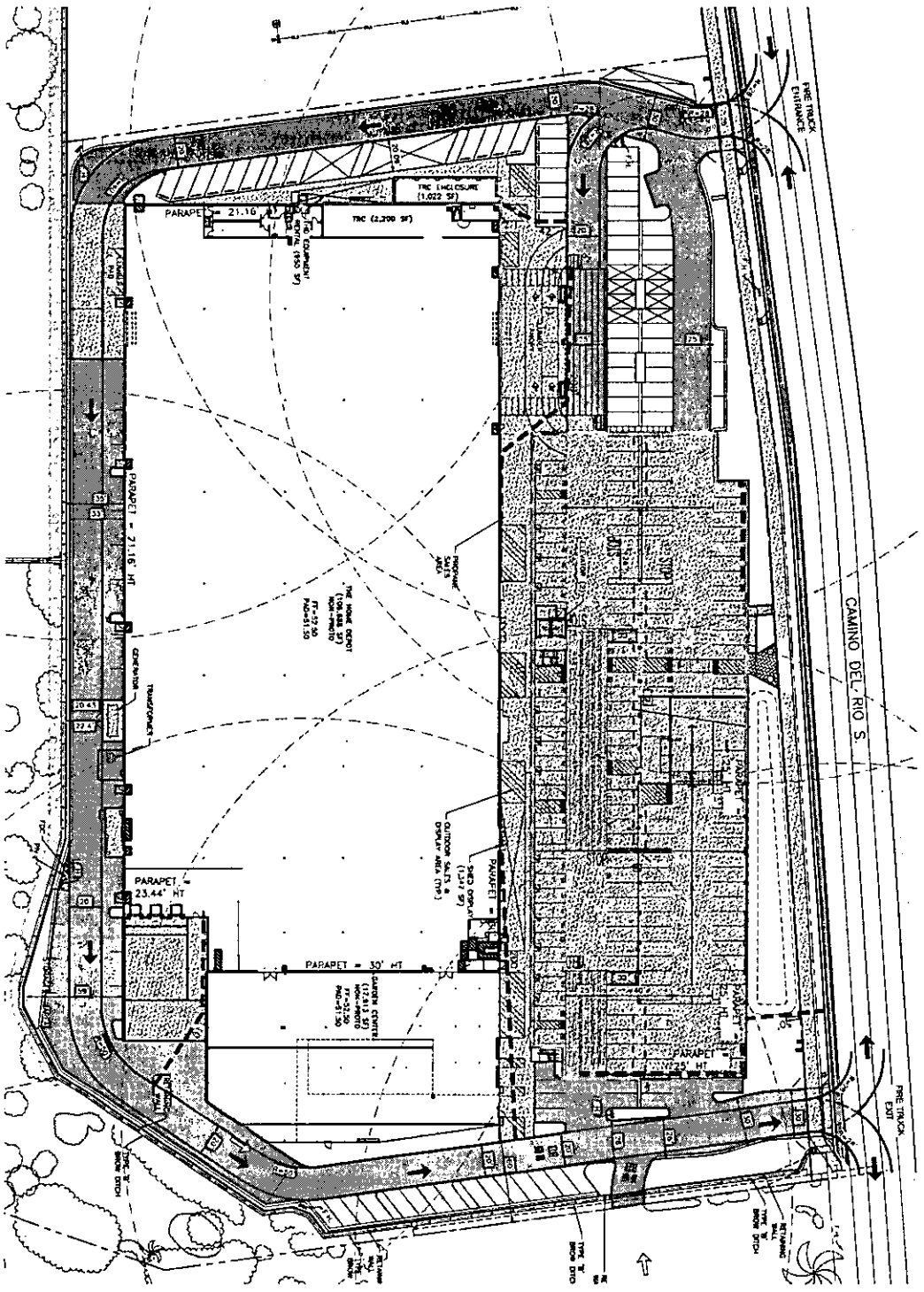
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SCOTTISH RITE /
HOME DEPOT
1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108
08.17.2020
18:34.00



LEGEND

PROPERTY LINE	---
CURB & GUTTER	----
CLIMB
RETAINING WALL	-----
FIRE TRUCK ACCESS	-----
FOOT WALL (FOOT WALL)	-----
BARREL EXISTING FOOT HIGH	-----
NEW ACCESS FINISHED	-----
IN ROAD (EXIST)	-----

NOTES

1. ALL EXISTING ROADS SHALL BE SHOWN TO SHOW THE LOCATION OF THE UTILITY OR THE BARRELS. ALL EXISTING BARRELS SHALL BE SHOWN TO SHOW THE LOCATION OF THE UTILITY OR THE BARRELS. ALL EXISTING BARRELS SHALL BE SHOWN TO SHOW THE LOCATION OF THE UTILITY OR THE BARRELS.
2. ALL EXISTING AND/OR PROPOSED FIRE TRUCK ACCESS SHALL BE SHOWN TO SHOW THE LOCATION OF THE UTILITY OR THE BARRELS. ALL EXISTING AND/OR PROPOSED FIRE TRUCK ACCESS SHALL BE SHOWN TO SHOW THE LOCATION OF THE UTILITY OR THE BARRELS.



NORTH



Ward Malcomb

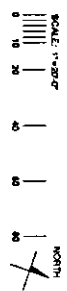
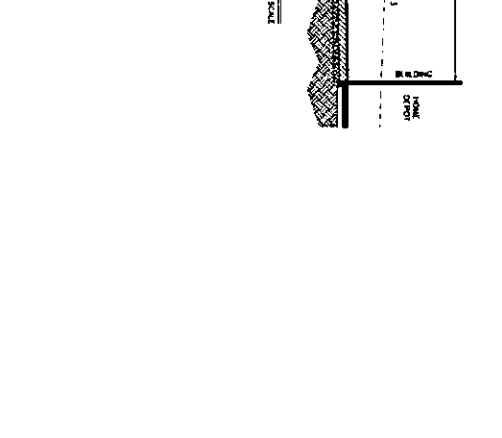
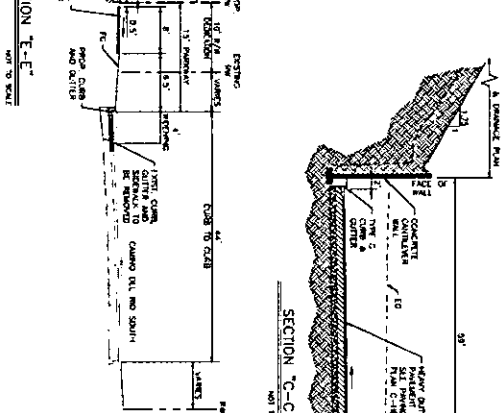
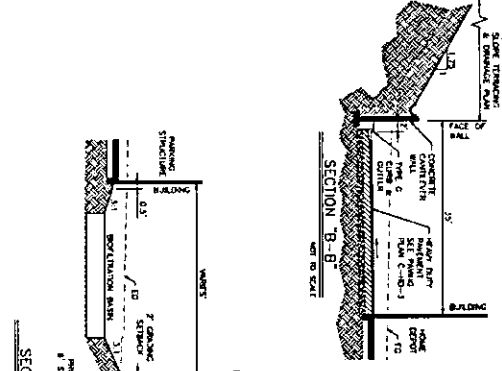
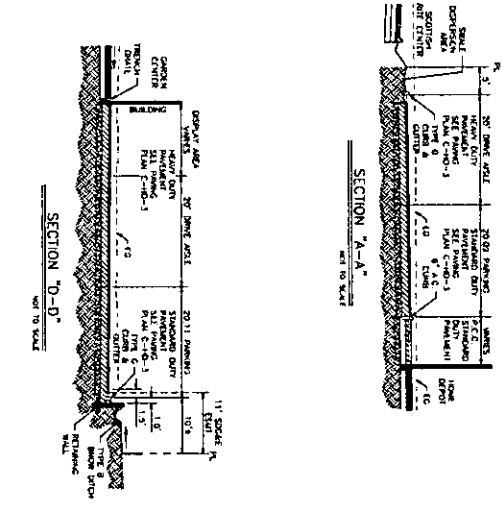
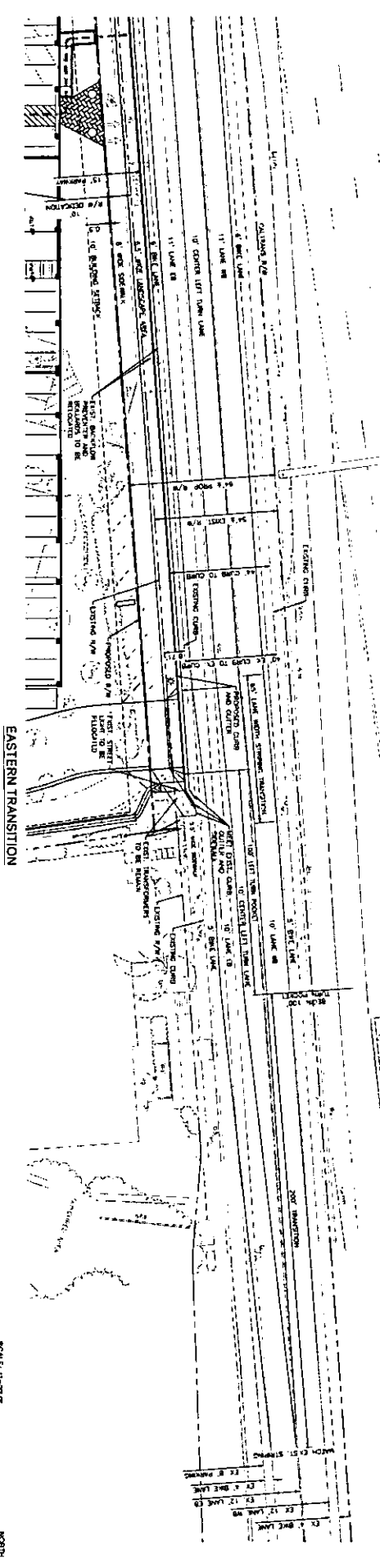


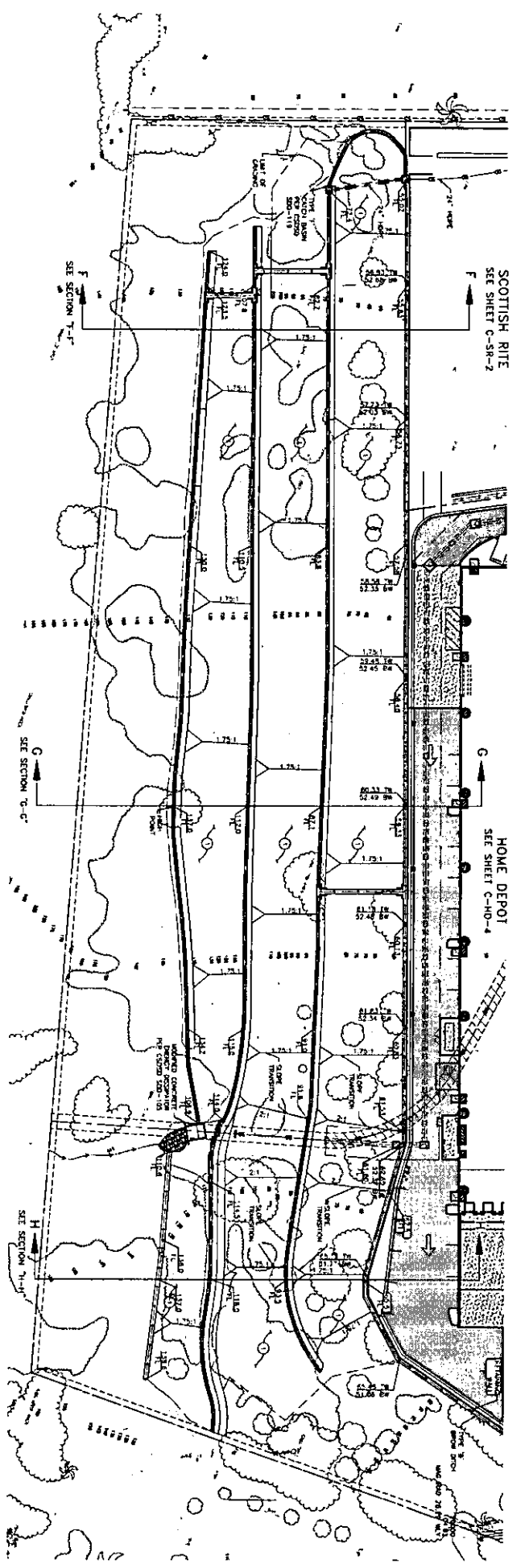
WARE MALCOMB
Location Design for Commercial Real Estate



SCOTTISH RITE / HOME DEPOT
1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

SECTIONS AND DETAILS
C-HD-7
08.17.2020
18134.00





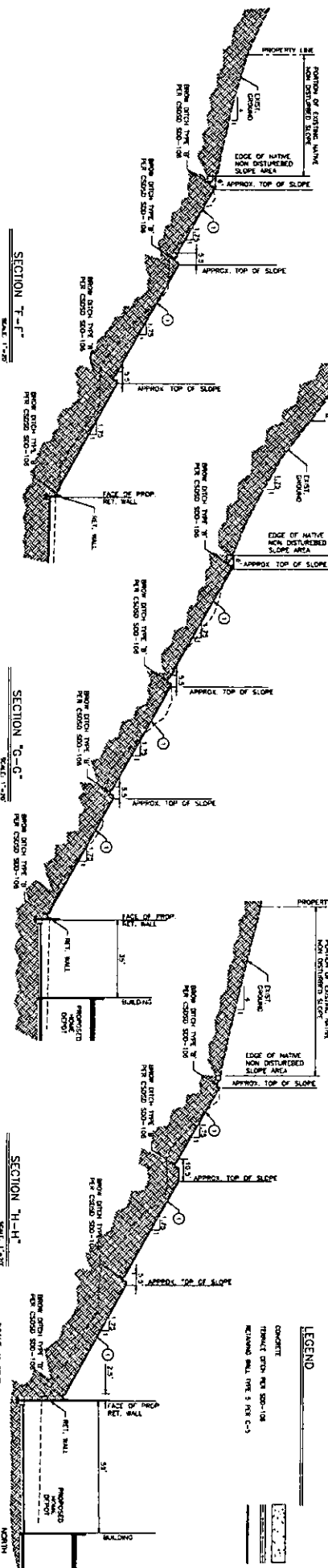
SCOTTISH RITE
SEE SHEET C-SR-2

HOME DEPOT
SEE SHEET C-HD-4

CONSTRUCTION NOTES
① ASSUME SLOPE AT 1:1.51 PER GEOTECHNICAL ENGINEER'S RECOMMENDATION

LEGEND

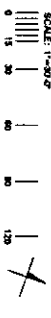
- CONCRETE
- TERRAZZED DRIVE PAV. 300'-10"
- REINFORCED WALL, TYPE 3 PER C-3



SECTION T-T'
SCALE: 1"=20'

SECTION G-G'
SCALE: 1"=20'

SECTION H-H'
SCALE: 1"=20'



wd

FUSCO
REGISTERED PROFESSIONAL ENGINEER
No. 10000
1425 WEST 10TH ST. SUITE 200
SAN DIEGO, CALIFORNIA 92103
TEL: 619-594-1111
FAX: 619-594-1112



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Landscape Design for Commercial Real Estate



SCOTTISH RITE / HOME DEPOT AND DRAINAGE PLAN C-HD-6
1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108
08.17.2020 18134.00



WPD



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Leading Design for Commercial Real Estate

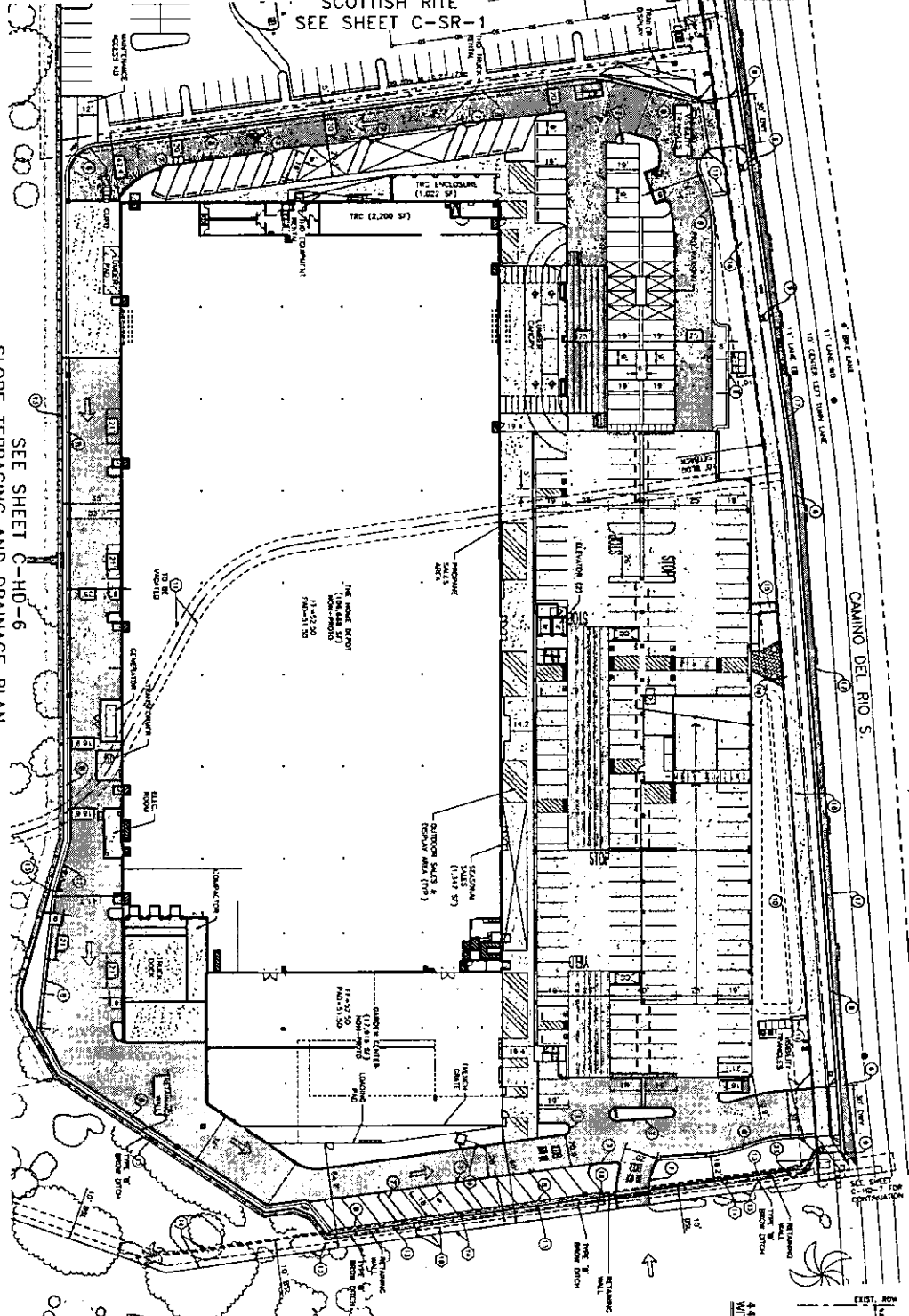


SCOTTISH RITE /
HOME DEPOT
1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

SITE AND
PAVING PLAN
C-HD-3

08.11.2020
18194.00

SCOTTISH RITE
SEE SHEET C-SR-1



NOTES

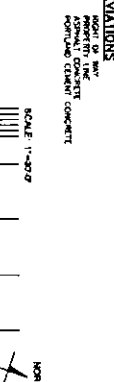
1. THE PROPOSED PARK & RECREATION CENTER IS LOCATED ON THE SOUTH SIDE OF THE SITE.
2. THE PROPOSED PARK & RECREATION CENTER IS LOCATED ON THE SOUTH SIDE OF THE SITE.
3. THE PROPOSED PARK & RECREATION CENTER IS LOCATED ON THE SOUTH SIDE OF THE SITE.
4. THE PROPOSED PARK & RECREATION CENTER IS LOCATED ON THE SOUTH SIDE OF THE SITE.
5. THE PROPOSED PARK & RECREATION CENTER IS LOCATED ON THE SOUTH SIDE OF THE SITE.
6. THE PROPOSED PARK & RECREATION CENTER IS LOCATED ON THE SOUTH SIDE OF THE SITE.
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8. THE PROPOSED PARK & RECREATION CENTER IS LOCATED ON THE SOUTH SIDE OF THE SITE.
9. THE PROPOSED PARK & RECREATION CENTER IS LOCATED ON THE SOUTH SIDE OF THE SITE.
10. THE PROPOSED PARK & RECREATION CENTER IS LOCATED ON THE SOUTH SIDE OF THE SITE.

STRIPING COLOR SCHEDULE

WHITE	PAVEMENT MARKING
YELLOW	TRUCK STOP MARKING
RED	NO PARKING
BLUE	NO PARKING
GREEN	NO PARKING
PINK	NO PARKING
BLACK	NO PARKING
GRAY	NO PARKING
BROWN	NO PARKING
PURPLE	NO PARKING
ORANGE	NO PARKING
TEAL	NO PARKING
INDIGO	NO PARKING
VIOLET	NO PARKING
PINK	NO PARKING
RED	NO PARKING
ORANGE	NO PARKING
YELLOW	NO PARKING
GREEN	NO PARKING
BLUE	NO PARKING
WHITE	NO PARKING

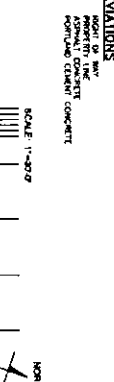
ABBREVIATIONS

AC	ASPHALT CONCRETE
CC	CONCRETE
FC	FLEXIBLE CURB
GC	GRAVEL CURB
PC	PORCELANE CURB
SC	STONE CURB
TC	TERRAZZO CURB
WC	WOOD CURB
CC	CONCRETE
FC	FLEXIBLE CURB
GC	GRAVEL CURB
PC	PORCELANE CURB
SC	STONE CURB
TC	TERRAZZO CURB
WC	WOOD CURB



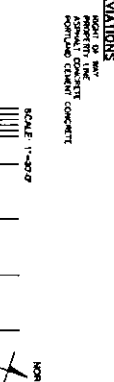
PAVEMENT NOTES

1. PAVEMENT TYPE PER SHEET C-HD-3-1
2. PAVEMENT TYPE PER SHEET C-HD-3-2
3. PAVEMENT TYPE PER SHEET C-HD-3-3
4. PAVEMENT TYPE PER SHEET C-HD-3-4
5. PAVEMENT TYPE PER SHEET C-HD-3-5
6. PAVEMENT TYPE PER SHEET C-HD-3-6
7. PAVEMENT TYPE PER SHEET C-HD-3-7
8. PAVEMENT TYPE PER SHEET C-HD-3-8
9. PAVEMENT TYPE PER SHEET C-HD-3-9
10. PAVEMENT TYPE PER SHEET C-HD-3-10



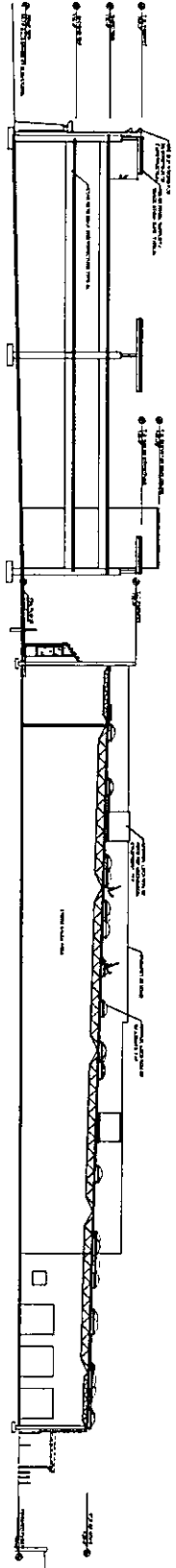
CONSTRUCTION NOTES

1. ALL SHADING SHALL BE PER SHEET C-HD-3-1
2. ALL SHADING SHALL BE PER SHEET C-HD-3-2
3. ALL SHADING SHALL BE PER SHEET C-HD-3-3
4. ALL SHADING SHALL BE PER SHEET C-HD-3-4
5. ALL SHADING SHALL BE PER SHEET C-HD-3-5
6. ALL SHADING SHALL BE PER SHEET C-HD-3-6
7. ALL SHADING SHALL BE PER SHEET C-HD-3-7
8. ALL SHADING SHALL BE PER SHEET C-HD-3-8
9. ALL SHADING SHALL BE PER SHEET C-HD-3-9
10. ALL SHADING SHALL BE PER SHEET C-HD-3-10

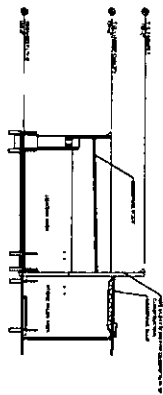


SCALE: 1"=20'-0"

NORTH



01 BUILDING SECTION
SCALE 1/8" = 1'-0"



02 SECTION THROUGH LUMBER CANOPY
SCALE 1/8" = 1'-0"



Ward

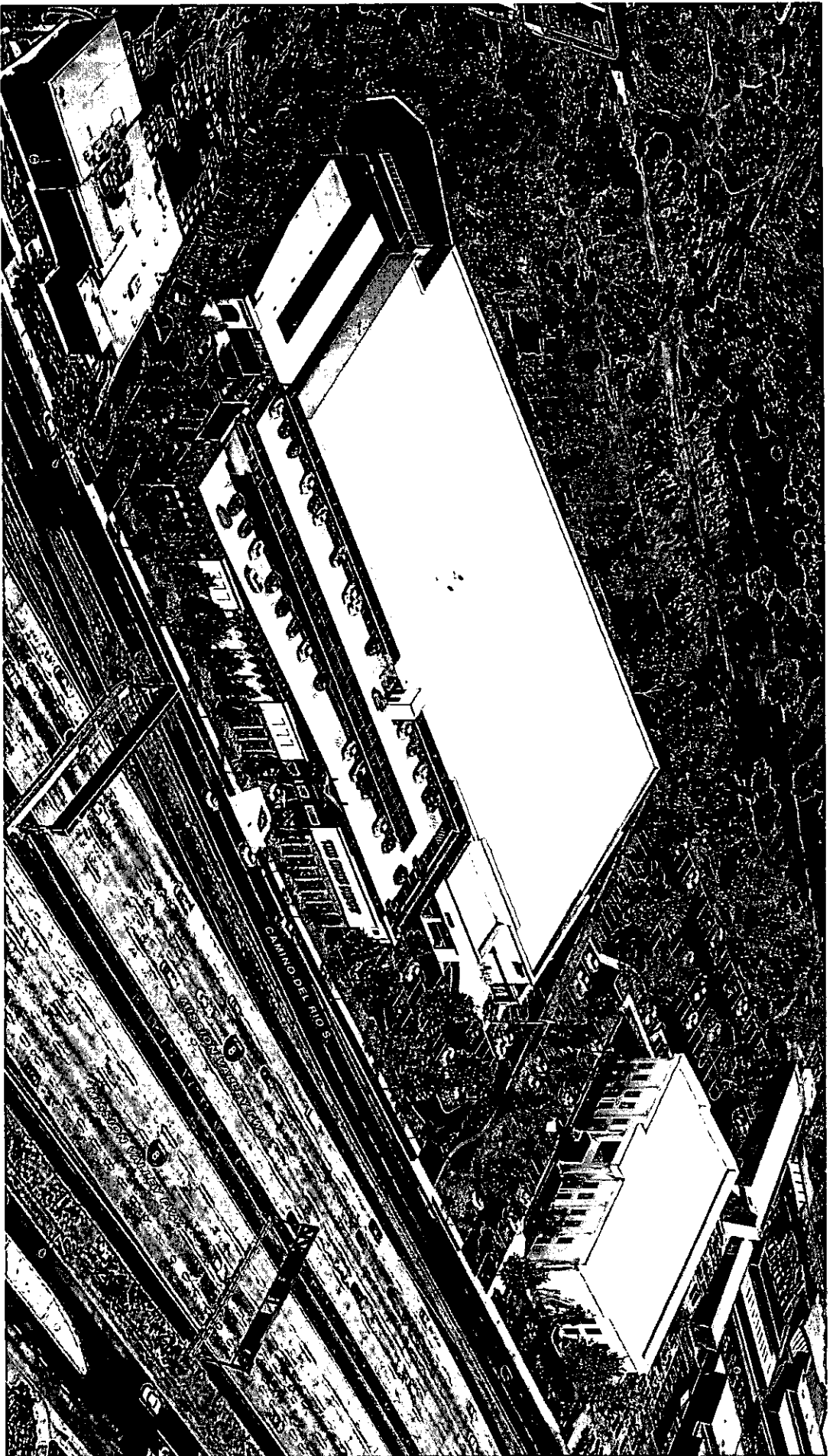
FUSCOE
CORPORATION
1800 S. GARDEN
SAN ANTONIO, TEXAS 78205
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WWW.FUSCOE.COM

WARE MALCOMB
Landing Design for Commercial Real Estate



SCOTTISH RITE / HOME DEPOT
1895 & 1961 CANINO DEL RIO S
SAN DIEGO, CA 92108

BUILDING SECTIONS
A-HD-6
REVISED 2/20 18134.00



wd

FUSCOE
 CONSULTANTS
 1400 S. GATEWAY BLVD.
 SUITE 200
 SAN DIEGO, CA 92108
 619.591.1233 www.fuscoecorp.com

WARE MALCOMB
 Landing Design for Commercial Real Estate



SCOTTISH RITE / AERIAL RENDERING
HOME DEPOT
 1895 & 1961 CAMINO DEL RIO S
 SAN DIEGO, CA 92108
A-HD-5
 AUGUST 17, 2020 18134.00



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FUSCO
ARCHITECTS
10000 Wilshire Blvd., Suite 1000
Los Angeles, California 90024
Tel: 310.274.1111 Fax: 310.274.1112

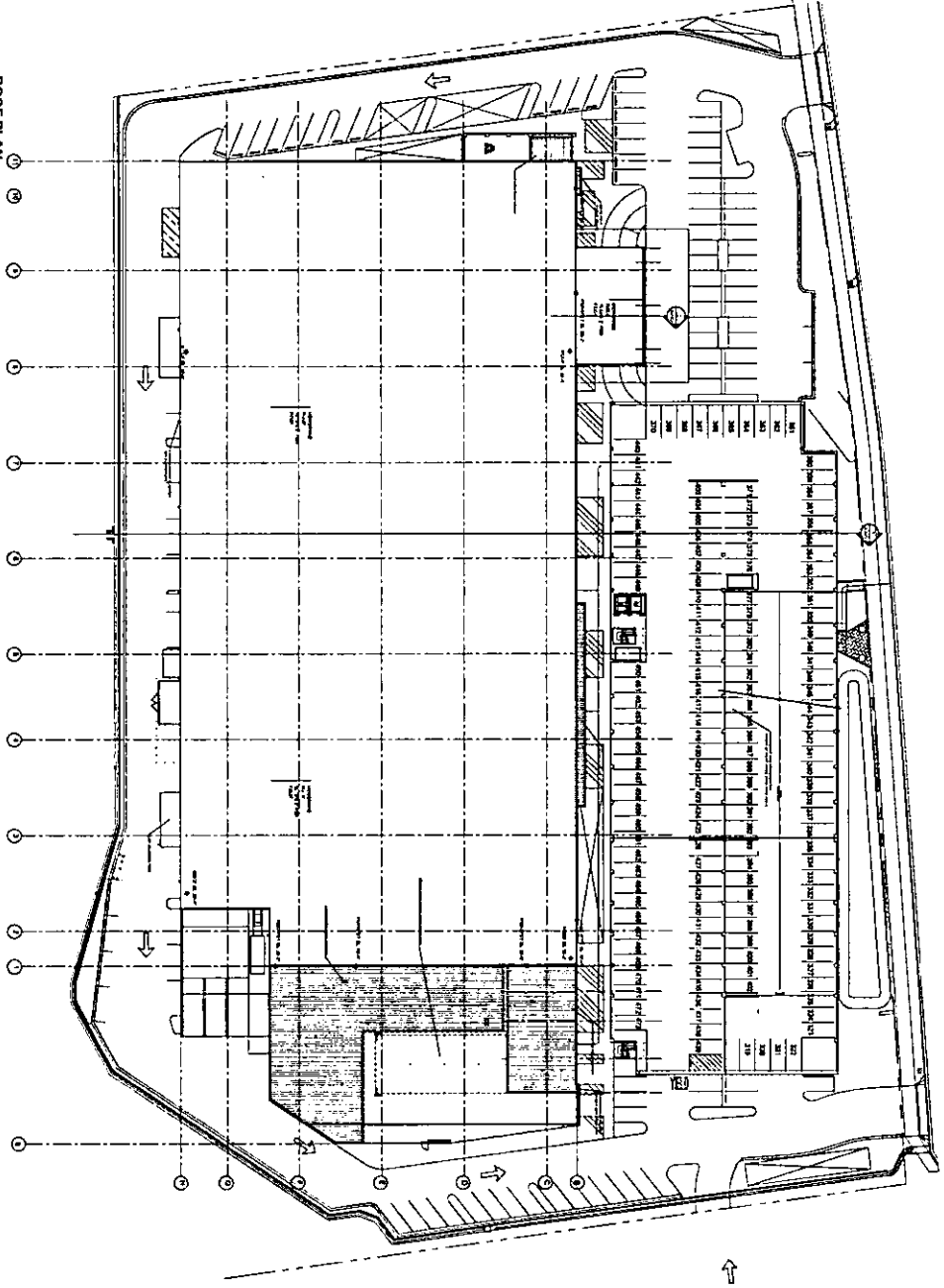
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Landing Design for Commercial Real Estate

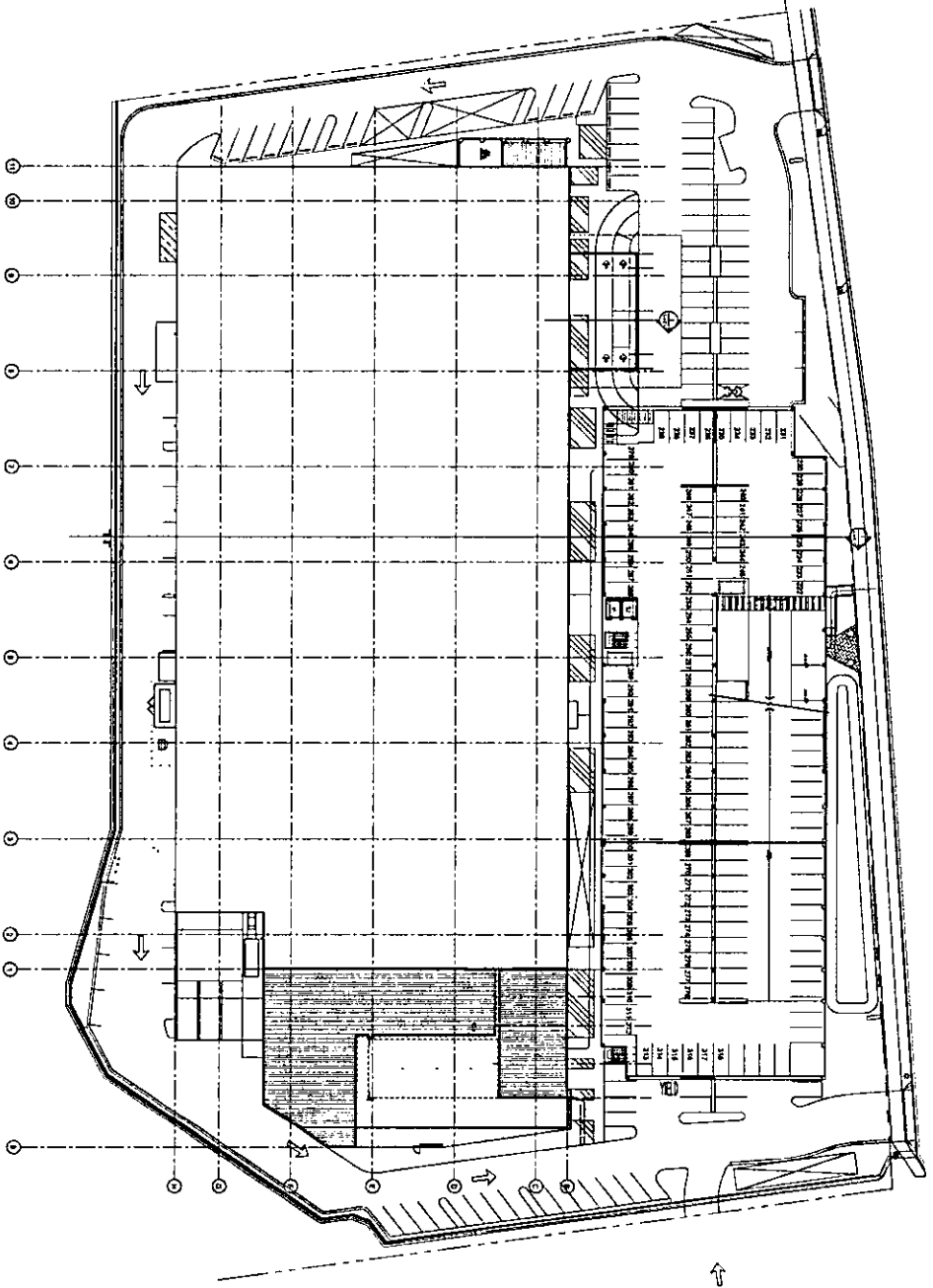


SCOTTISH RITE / HOME DEPOT
1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

BUILDING ROOF PLAN
A-HD-3
August 17, 2000 18134.00

01 ROOF PLAN
SCALE: 1/8" = 1'-0"





01 PARKING STRUCTURE LEVEL 2 PLAN
SCALE: 1/8" = 1'-0"



wcd

FUSCOE
ARCHITECTS
1000 15th Street, Suite 1000
San Diego, California 92101
Tel: 619.594.1500 • Fax: 619.597.0033
www.fuscoearchitects.com

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Leading Designer for Commercial Real Estate



SCOTTISH RITE / HOME DEPOT
1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

BUILDING FLOOR PLAN A-HD-2
PROJECT NORTH
AUGUST 12, 2020 18134.00



WARE MALCOMB

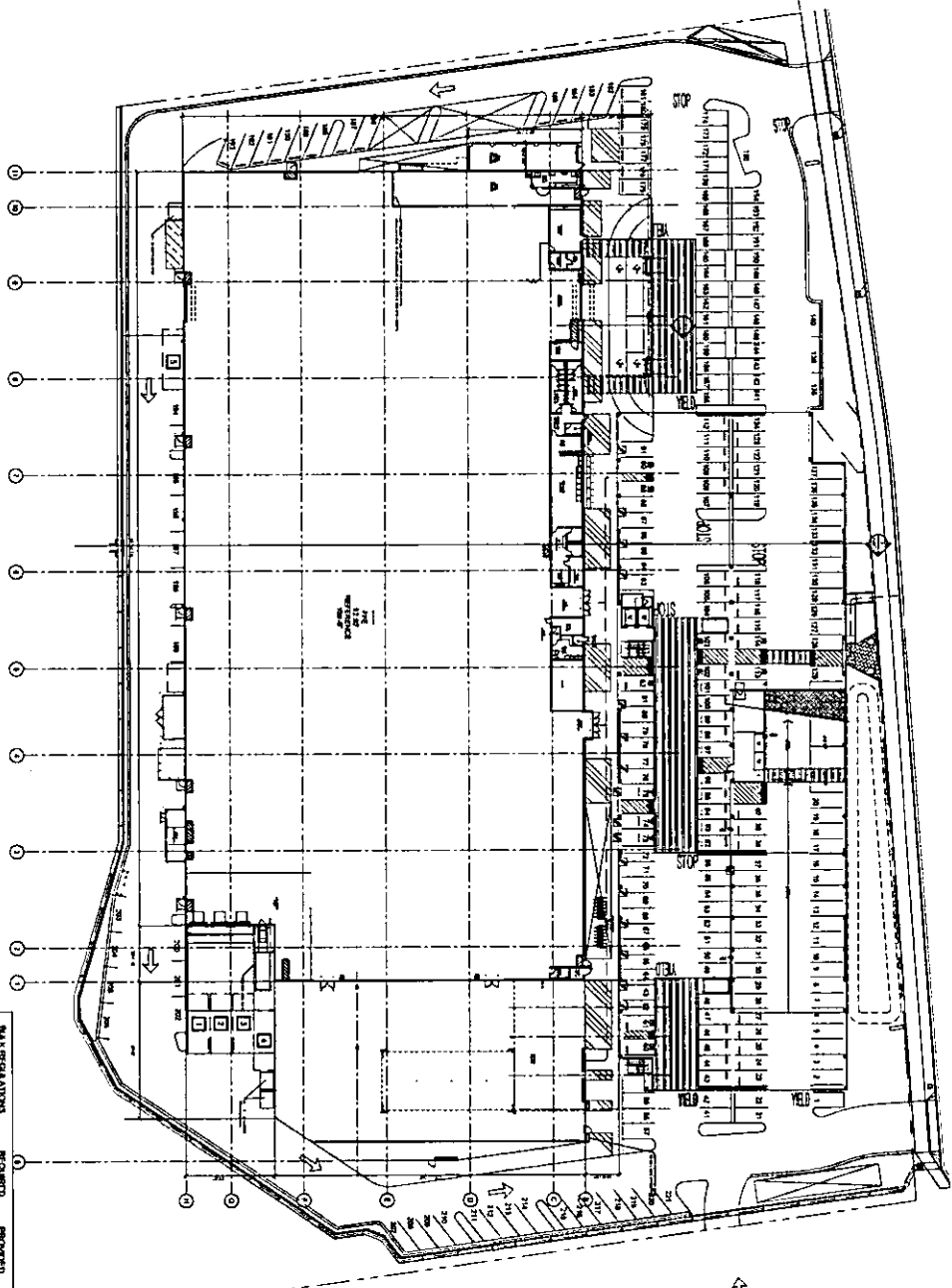


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Leading Design for Commercial Real Estate



SCOTTISH RITE / BUILDING FLOOR
HOME DEPOT PLAN
A-HD-1
1895 & 1561 CABINOS DEL RIO S
SAN DIEGO, CA 92108
AUGUST 12, 2020 18134.00

01 FLOOR PLAN
SCALE: 1/8" = 1'-0"



DESCRIPTION	REQUIREMENT	PROPOSED
MAX REGISTRATION	20	42.7%
MAX RETAIL (GROSS)	10	20%
MAX RETAIL (NET)	10	20%
MAX OFFICE	20	20%
MAX RESTAURANT	20	20%
MAX SERVICE	20	20%
MAX STORAGE	20	20%
MAX USE	20	20%

GENERAL NOTES:

- 1. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- 2. ALL WALLS SHALL BE 12" THICK UNLESS OTHERWISE NOTED.
- 3. ALL FLOORS SHALL BE 4" CONCRETE ON 8" GRC UNLESS OTHERWISE NOTED.
- 4. ALL ROOFS SHALL BE 4" CONCRETE ON 8" GRC UNLESS OTHERWISE NOTED.
- 5. ALL CEILING SHALL BE 8" GRC UNLESS OTHERWISE NOTED.
- 6. ALL MECHANICAL ROOMS SHALL BE 8' X 8' UNLESS OTHERWISE NOTED.
- 7. ALL ELECTRICAL ROOMS SHALL BE 8' X 8' UNLESS OTHERWISE NOTED.
- 8. ALL ELEVATOR SHAFTS SHALL BE 8' X 8' UNLESS OTHERWISE NOTED.
- 9. ALL STAIRS SHALL BE 8' X 8' UNLESS OTHERWISE NOTED.
- 10. ALL CORRIDORS SHALL BE 8' X 8' UNLESS OTHERWISE NOTED.
- 11. ALL OFFICES SHALL BE 10' X 10' UNLESS OTHERWISE NOTED.
- 12. ALL RESTROOMS SHALL BE 5' X 7' UNLESS OTHERWISE NOTED.
- 13. ALL SERVICE COUNTERS SHALL BE 4' X 2' UNLESS OTHERWISE NOTED.
- 14. ALL STORAGE AREAS SHALL BE 8' X 8' UNLESS OTHERWISE NOTED.
- 15. ALL LOADING DOCKS SHALL BE 10' X 10' UNLESS OTHERWISE NOTED.
- 16. ALL TRUCK DRIVELAYS SHALL BE 10' X 10' UNLESS OTHERWISE NOTED.
- 17. ALL TRUCK PARKING SHALL BE 10' X 10' UNLESS OTHERWISE NOTED.
- 18. ALL TRUCK LOADING SHALL BE 10' X 10' UNLESS OTHERWISE NOTED.
- 19. ALL TRUCK UNLOADING SHALL BE 10' X 10' UNLESS OTHERWISE NOTED.
- 20. ALL TRUCK STORAGE SHALL BE 10' X 10' UNLESS OTHERWISE NOTED.
- 21. ALL TRUCK SERVICE SHALL BE 10' X 10' UNLESS OTHERWISE NOTED.
- 22. ALL TRUCK REPAIR SHALL BE 10' X 10' UNLESS OTHERWISE NOTED.
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- 99. ALL TRUCK SERVICE SHALL BE 10' X 10' UNLESS OTHERWISE NOTED.
- 100. ALL TRUCK REPAIR SHALL BE 10' X 10' UNLESS OTHERWISE NOTED.



DATE: 08/14/09
 DRAWN BY: J. MALCOMB
 CHECKED BY: J. MALCOMB
 PROJECT: SCOTTISH RITE / HOME DEPOT
 1895 & 1561 CLAUDIO DE RIOS
 SAN DIEGO, CA 92108

Category	Area (SF)	Volume (GAL)	Flow Rate (GPM)
1	17,219	1,721,900	17.2
2	843	84,300	8.4
3	1,250	125,000	12.5
TOTAL	19,312	1,931,200	19.3

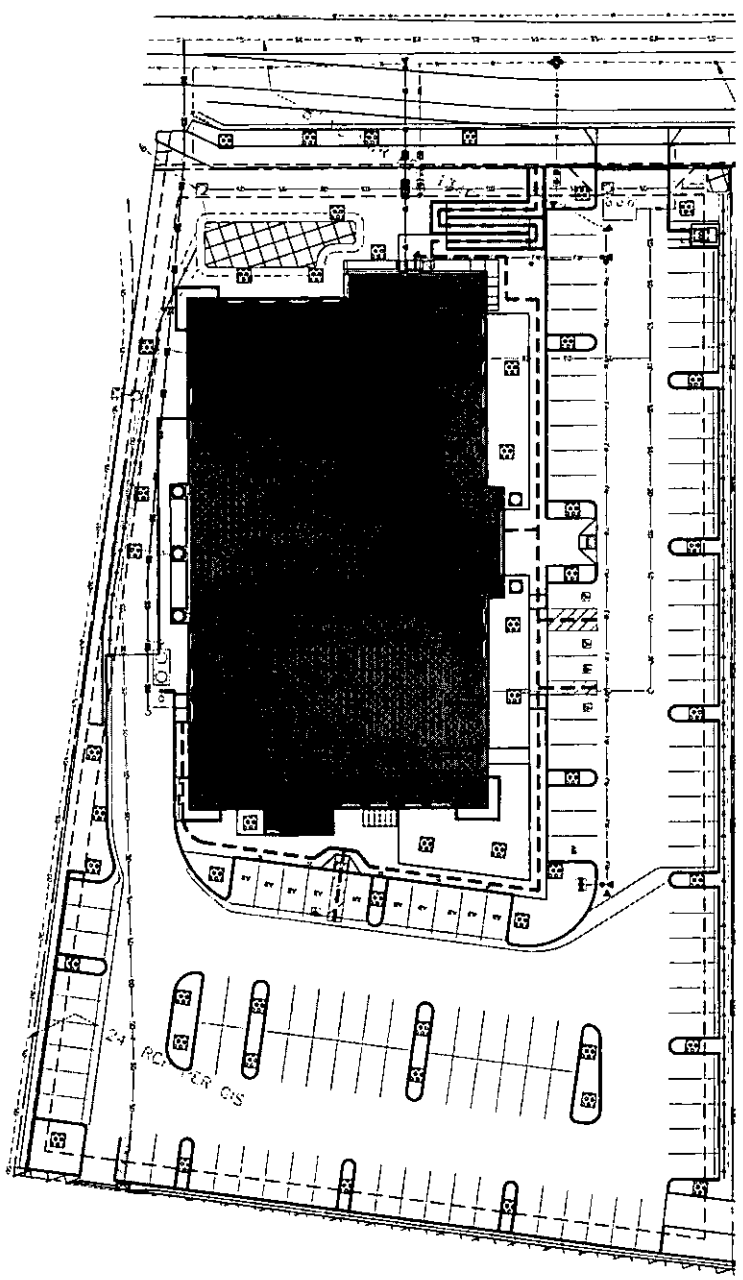
Category	Area (SF)	Volume (GAL)	Flow Rate (GPM)
1	17,219	1,721,900	17.2
2	843	84,300	8.4
3	1,250	125,000	12.5
TOTAL	19,312	1,931,200	19.3

Use the following table to select sprinklers based on the area.

Category	Area (SF)	Volume (GAL)	Flow Rate (GPM)
1	17,219	1,721,900	17.2
2	843	84,300	8.4
3	1,250	125,000	12.5
TOTAL	19,312	1,931,200	19.3

Note: This plan is for informational purposes only. It is not intended to be used for construction. The user of this plan is responsible for verifying the accuracy of the information provided. The user of this plan is responsible for obtaining all necessary permits and approvals from the appropriate authorities.

Category	Area (SF)	Volume (GAL)	Flow Rate (GPM)
1	17,219	1,721,900	17.2
2	843	84,300	8.4
3	1,250	125,000	12.5
TOTAL	19,312	1,931,200	19.3



HYDROZONE PLAN

LEGEND

- 1 [Symbol] HYDROZONE ONE: DRIP (LOW WATER USE)
(17,219 SF, 88% OF TOTAL LANDSCAPE AREA)
 - 2 [Symbol] HYDROZONE TWO: SPRAY MP ROTATOR (LOW WATER-USE)
(843 SF, 6% OF TOTAL LANDSCAPE AREA)
 - 3 [Symbol] HYDROZONE THREE: BUBBLERS (MEDIUM-WATER USE)
(1,250 SF, 6% OF TOTAL LANDSCAPE AREA)
- TOTAL AREA 19,312 SF

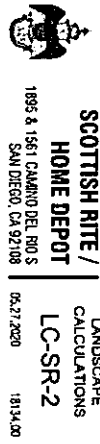
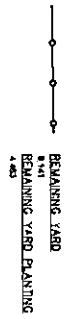
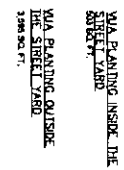
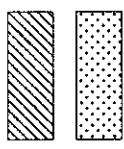
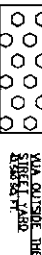
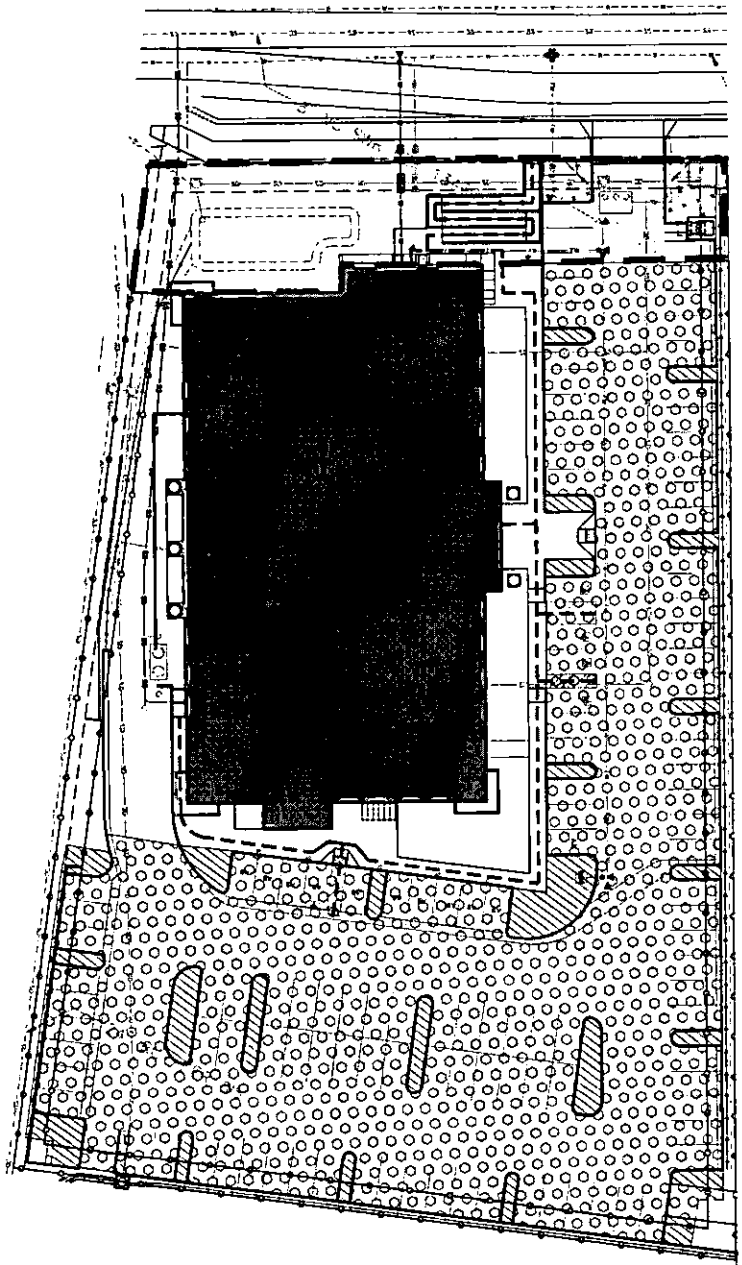


JPBIA
JAMES P. BENEDETTI
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 1001 BARRISTER AVENUE, SUITE 201
 SAN DIEGO, CALIFORNIA 92108
 (619) 594-1100

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 CONSULTING
 4326 Gateway Center, Suite 110
 San Diego, CA 92121
 (619) 594-1100

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SCOTTISH RITE / HOME DEPOT
 WATER CONSERVATION PLAN
 LC-SR-3
 1895 & 1561 CLAUDIO DE RIOS
 SAN DIEGO, CA 92108
 05.27.2009
 16134.00



Landscaping Calculations Worksheet

Vehicle Use Areas (VUA)

Planting Area	Planting Area (sq. ft.)	Planting Area (sq. ft.)	Planting Area (sq. ft.)
Planting Area (1) (1000000)	1000000	1000000	1000000
Planting Area (2) (2000000)	2000000	2000000	2000000
Planting Area (3) (3000000)	3000000	3000000	3000000
Planting Area (4) (4000000)	4000000	4000000	4000000
Planting Area (5) (5000000)	5000000	5000000	5000000
Planting Area (6) (6000000)	6000000	6000000	6000000
Planting Area (7) (7000000)	7000000	7000000	7000000
Planting Area (8) (8000000)	8000000	8000000	8000000
Planting Area (9) (9000000)	9000000	9000000	9000000
Planting Area (10) (10000000)	10000000	10000000	10000000

Landscaping Calculations Worksheet

Vehicle Use Areas (VUA)

Planting Area	Planting Area (sq. ft.)	Planting Area (sq. ft.)	Planting Area (sq. ft.)
Planting Area (1) (1000000)	1000000	1000000	1000000
Planting Area (2) (2000000)	2000000	2000000	2000000
Planting Area (3) (3000000)	3000000	3000000	3000000
Planting Area (4) (4000000)	4000000	4000000	4000000
Planting Area (5) (5000000)	5000000	5000000	5000000
Planting Area (6) (6000000)	6000000	6000000	6000000
Planting Area (7) (7000000)	7000000	7000000	7000000
Planting Area (8) (8000000)	8000000	8000000	8000000
Planting Area (9) (9000000)	9000000	9000000	9000000
Planting Area (10) (10000000)	10000000	10000000	10000000



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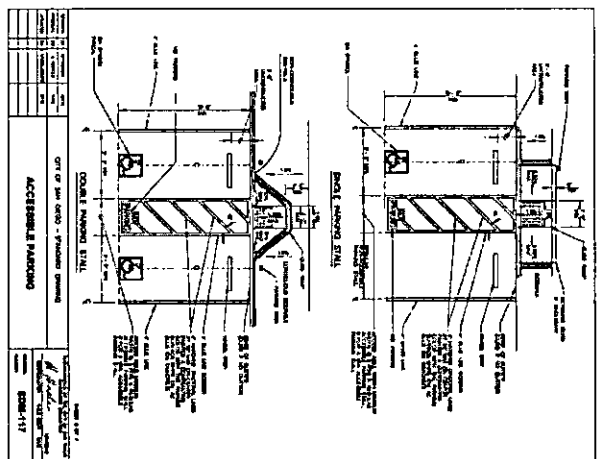
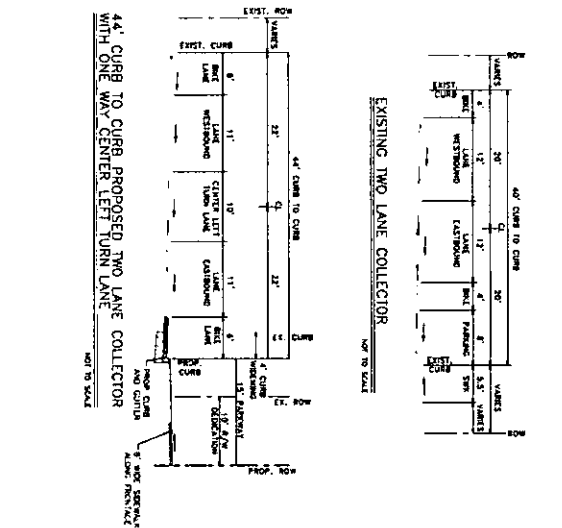
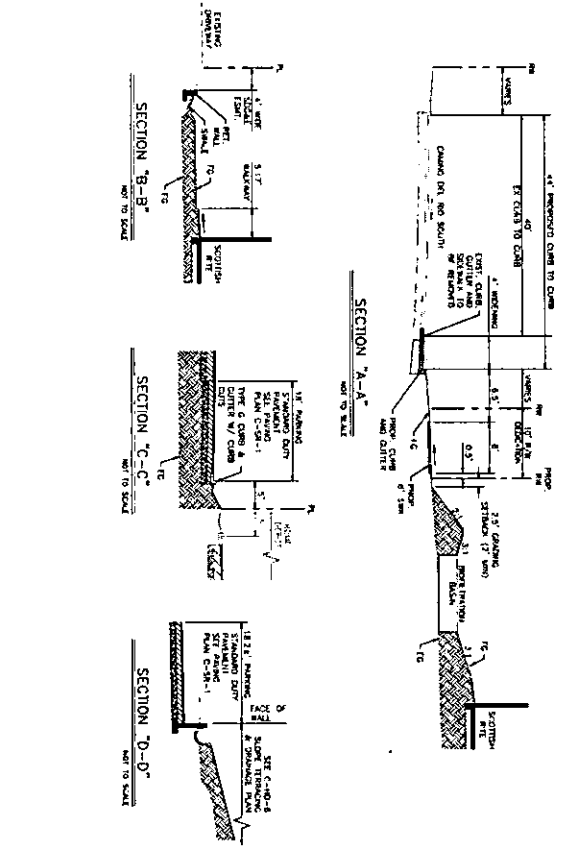
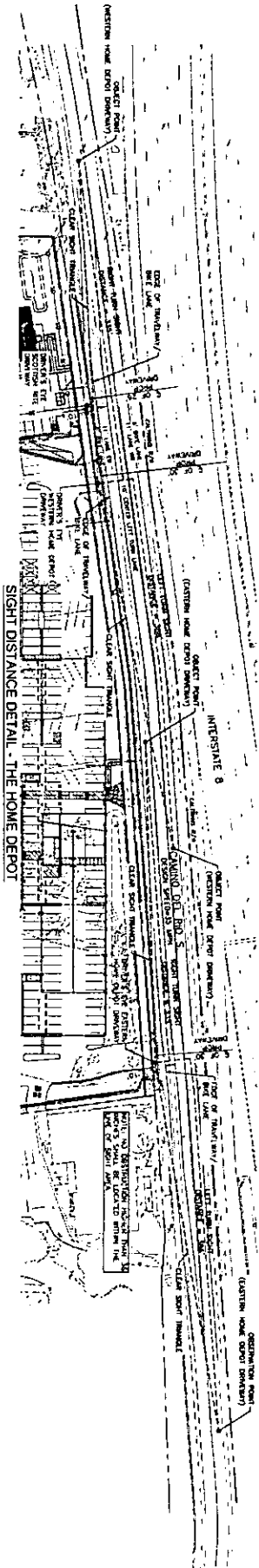
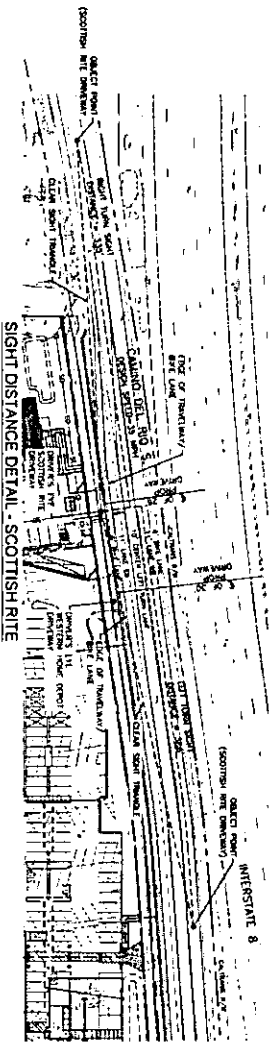
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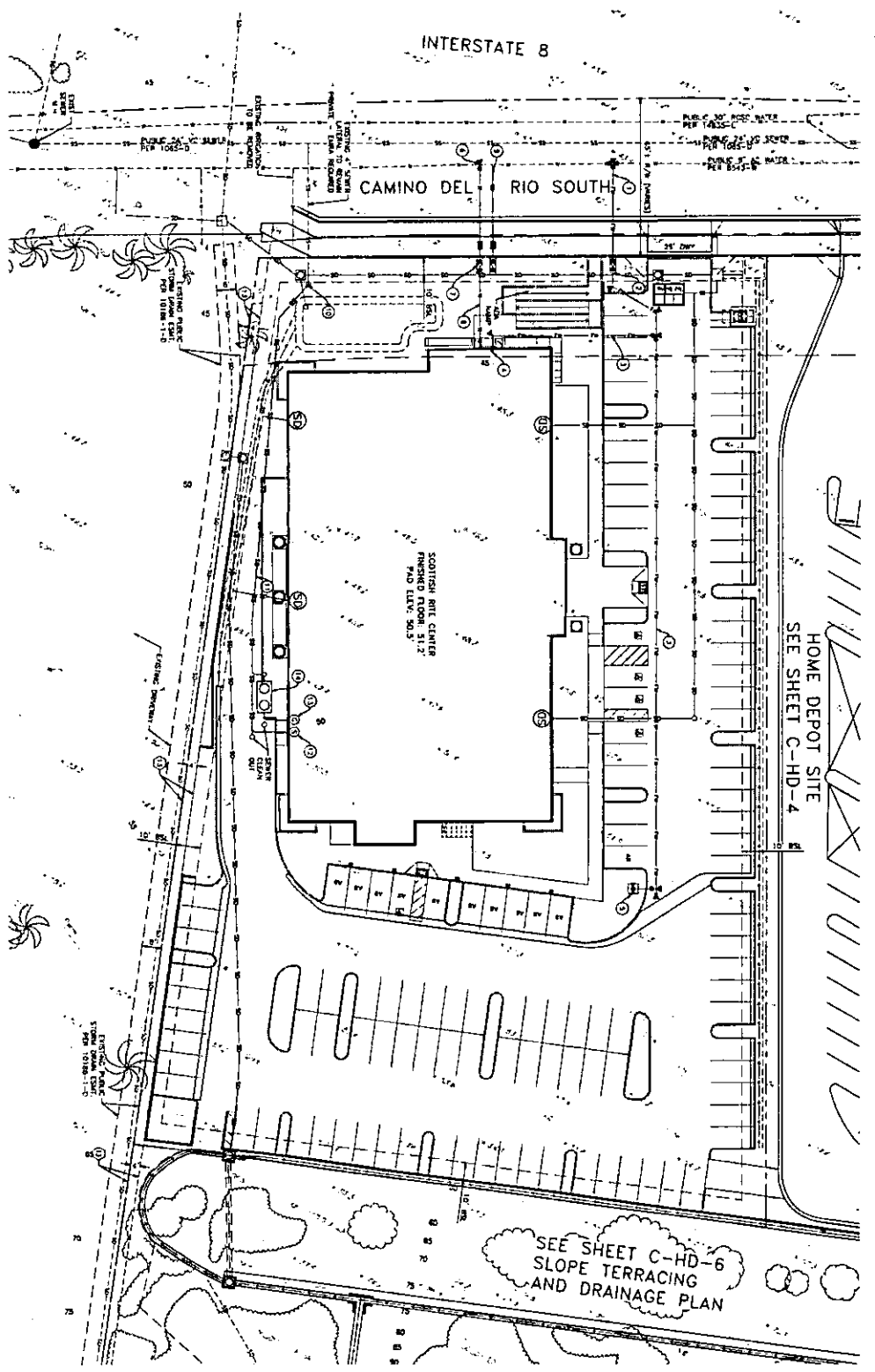


SCOTTISH RITE /
HOME DEPOT
1895 & 1561 CAMINO DEL RIOS
SAN DIEGO, CA 92108

SECTIONS AND
DETAILS
C-SR-4
08.17.2000

\$134.00



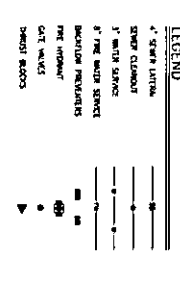


NOTES:

1. ALL UTILITY LOCATIONS SHOWN ARE BASED UPON THE PROVIDED INFORMATION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. ALL UTILITIES SHOWN ARE PRIVATE UNLESS OTHERWISE NOTED.

EASERMENT:

THE PROJECT IS SUBJECT TO THE EASERMENT FOR THE SCOTTISH RITE CENTER, AS SHOWN ON THE RECORD PLANS FOR THE SCOTTISH RITE CENTER, BOOK 1407, PAGE 438 OF OFFICIAL RECORDS IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY, A PUBLIC UTILITY COMPANY, RECORD 10388-113.



- CONSTRUCTION NOTES:**
1. 4" PVC (S-400) GAS SERVICE CONNECTION TO MAIN
 2. 4" PVC (S-400) GAS SERVICE CONNECTION TO MAIN
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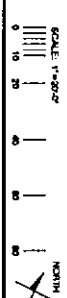
FUSCOE
 4000 Camino del Rio S., Suite 110
 San Diego, CA 92108
 Tel: 619.597.0233
 Fax: 619.597.0234



WARE MALCOMB
 LEADING DESIGN FOR COMMERCIAL REAL ESTATE



SCOTTISH RITE / HOME DEPOT
 1895 & 1561 CAMINO DEL RIO S
 SAN DIEGO, CA 92108
 08.17.2003
 15134.00





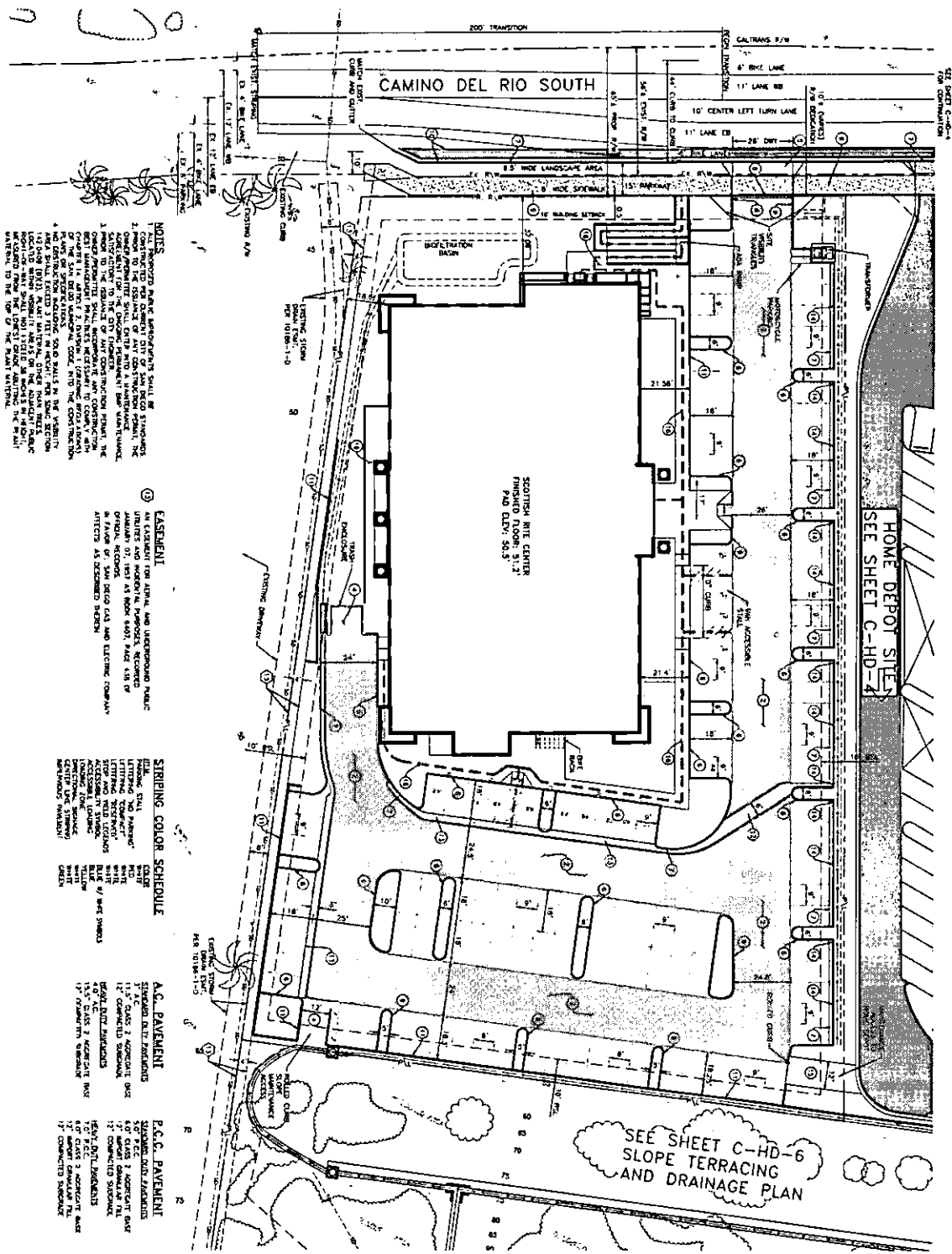
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SCOTTISH RITE / HOME DEPOT
PAVING PLAN
C-SR-1
1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108
08.17.2000
18134.00



NOTES

1. ALL PROPOSED PAVING, LANDSCAPING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT'S STANDARD SPECIFICATIONS FOR PAVING AND LANDSCAPING. THE CONTRACTOR SHALL OBTAIN AND MAINTAIN ALL NECESSARY PERMITS FROM THE CITY ENGINEERING DEPARTMENT.
2. REFER TO THE SEPARATE SET OF CONSTRUCTION PLANS FOR THE LOCATION OF ALL UTILITIES AND ERECTION OF ALL STRUCTURES.
3. ALL UTILITIES SHALL BE DEEPENED TO THE CITY ENGINEERING DEPARTMENT'S STANDARD SPECIFICATIONS FOR UTILITIES.
4. ALL UTILITIES SHALL BE DEEPENED TO THE CITY ENGINEERING DEPARTMENT'S STANDARD SPECIFICATIONS FOR UTILITIES.
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10. ALL UTILITIES SHALL BE DEEPENED TO THE CITY ENGINEERING DEPARTMENT'S STANDARD SPECIFICATIONS FOR UTILITIES.

EASEMENT

AN EASEMENT FOR ALTERNATE AND UNDERGROUND UTILITY LINES AND NEARBY UTILITIES, INCLUDING BUT NOT LIMITED TO, GAS, WATER, SANITARY, AND TELEPHONE LINES, IS GRANTED TO THE CITY ENGINEERING DEPARTMENT. THE EASEMENT SHALL BE DEEPENED TO THE CITY ENGINEERING DEPARTMENT'S STANDARD SPECIFICATIONS FOR UTILITIES.

STRIPING COLOR SCHEDULE

ITEM	DESCRIPTION	COLOR
1	PAVING	WHITE
2	PAVING	WHITE
3	PAVING	WHITE
4	PAVING	WHITE
5	PAVING	WHITE
6	PAVING	WHITE
7	PAVING	WHITE
8	PAVING	WHITE
9	PAVING	WHITE
10	PAVING	WHITE
11	PAVING	WHITE
12	PAVING	WHITE
13	PAVING	WHITE
14	PAVING	WHITE
15	PAVING	WHITE
16	PAVING	WHITE
17	PAVING	WHITE
18	PAVING	WHITE
19	PAVING	WHITE
20	PAVING	WHITE

A.C. PAVEMENT

ITEM	DESCRIPTION
1	1" A.C. CLASS 1
2	1" A.C. CLASS 2
3	1" A.C. CLASS 3
4	1" A.C. CLASS 4
5	1" A.C. CLASS 5
6	1" A.C. CLASS 6
7	1" A.C. CLASS 7
8	1" A.C. CLASS 8
9	1" A.C. CLASS 9
10	1" A.C. CLASS 10
11	1" A.C. CLASS 11
12	1" A.C. CLASS 12
13	1" A.C. CLASS 13
14	1" A.C. CLASS 14
15	1" A.C. CLASS 15
16	1" A.C. CLASS 16
17	1" A.C. CLASS 17
18	1" A.C. CLASS 18
19	1" A.C. CLASS 19
20	1" A.C. CLASS 20

P.C.C. PAVEMENT

ITEM	DESCRIPTION
1	1" P.C.C. CLASS 1
2	1" P.C.C. CLASS 2
3	1" P.C.C. CLASS 3
4	1" P.C.C. CLASS 4
5	1" P.C.C. CLASS 5
6	1" P.C.C. CLASS 6
7	1" P.C.C. CLASS 7
8	1" P.C.C. CLASS 8
9	1" P.C.C. CLASS 9
10	1" P.C.C. CLASS 10
11	1" P.C.C. CLASS 11
12	1" P.C.C. CLASS 12
13	1" P.C.C. CLASS 13
14	1" P.C.C. CLASS 14
15	1" P.C.C. CLASS 15
16	1" P.C.C. CLASS 16
17	1" P.C.C. CLASS 17
18	1" P.C.C. CLASS 18
19	1" P.C.C. CLASS 19
20	1" P.C.C. CLASS 20

ABBREVIATIONS

SYMBOL	DESCRIPTION
1	1" A.C. CLASS 1
2	1" A.C. CLASS 2
3	1" A.C. CLASS 3
4	1" A.C. CLASS 4
5	1" A.C. CLASS 5
6	1" A.C. CLASS 6
7	1" A.C. CLASS 7
8	1" A.C. CLASS 8
9	1" A.C. CLASS 9
10	1" A.C. CLASS 10
11	1" A.C. CLASS 11
12	1" A.C. CLASS 12
13	1" A.C. CLASS 13
14	1" A.C. CLASS 14
15	1" A.C. CLASS 15
16	1" A.C. CLASS 16
17	1" A.C. CLASS 17
18	1" A.C. CLASS 18
19	1" A.C. CLASS 19
20	1" A.C. CLASS 20

LEGEND

SYMBOL	DESCRIPTION
1	1" A.C. CLASS 1
2	1" A.C. CLASS 2
3	1" A.C. CLASS 3
4	1" A.C. CLASS 4
5	1" A.C. CLASS 5
6	1" A.C. CLASS 6
7	1" A.C. CLASS 7
8	1" A.C. CLASS 8
9	1" A.C. CLASS 9
10	1" A.C. CLASS 10
11	1" A.C. CLASS 11
12	1" A.C. CLASS 12
13	1" A.C. CLASS 13
14	1" A.C. CLASS 14
15	1" A.C. CLASS 15
16	1" A.C. CLASS 16
17	1" A.C. CLASS 17
18	1" A.C. CLASS 18
19	1" A.C. CLASS 19
20	1" A.C. CLASS 20

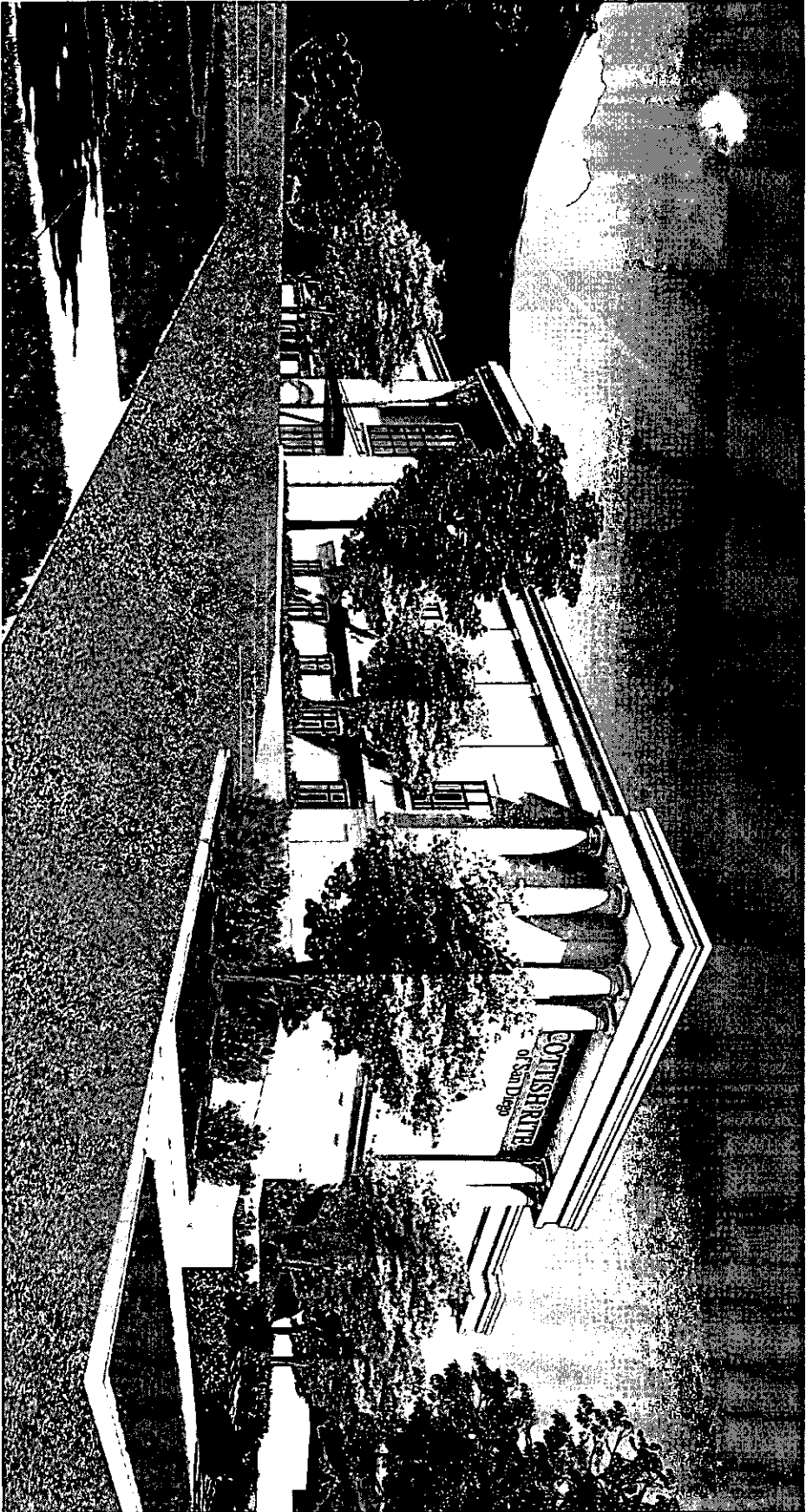
CONSTRUCTION NOTES

1. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT'S STANDARD SPECIFICATIONS FOR PAVING.
2. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT'S STANDARD SPECIFICATIONS FOR PAVING.
3. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT'S STANDARD SPECIFICATIONS FOR PAVING.
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19. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT'S STANDARD SPECIFICATIONS FOR PAVING.
20. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT'S STANDARD SPECIFICATIONS FOR PAVING.

SCALE: 1"=20'-0"

0 10 20 30 40 50 60 70 80 90 100

NORTH



wd

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 Leading Design for Commercial Real Estate



**SCOTTISH RITE /
 HOME DEPOT**
 1895 & 1561 CAMINO DEL RIO S
 SAN DIEGO, CA 92108

**PERSPECTIVE
 A-SR-6**
 (2020-06-07) 18134400



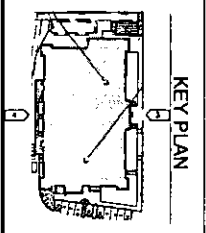
wd

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SCOTTISH RITE / HOME DEPOT
1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

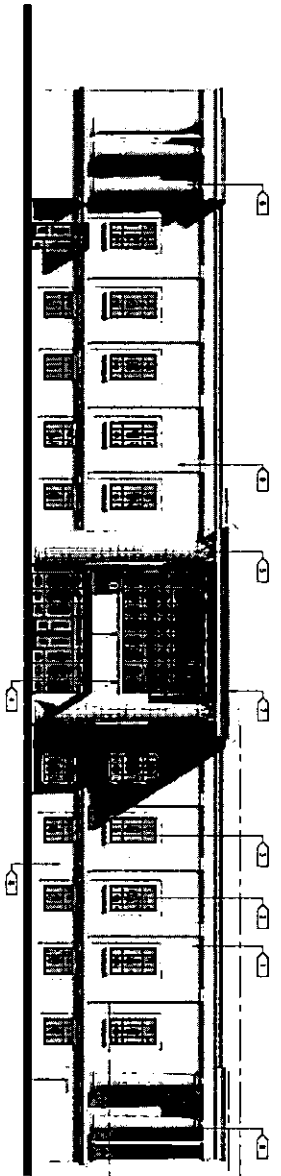
ELEVATIONS A-SR-5
(2020-08-07) 18134.00



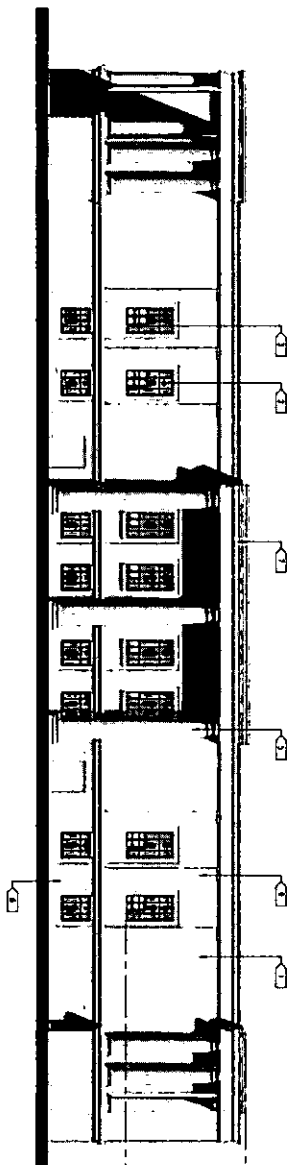
KEY PLAN

FINISHES

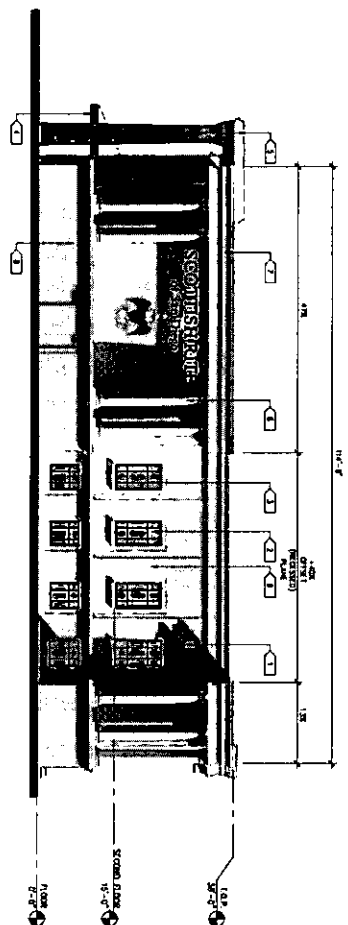
	PAINT - 07 WHITE
	METAL REINFORCED CONCRETE - 1020 GRAY
	METAL INSULATED SLABbing
	STEEL WIRE CONCRETE DECK w/ 40# MESH-20MM SPACING, JOGGED
	CONCRETE COLUMN
	BRICK COLUMN
	ARCHITECTURAL CONCRETE
	TILE/SLAB
	SQUARE TILES



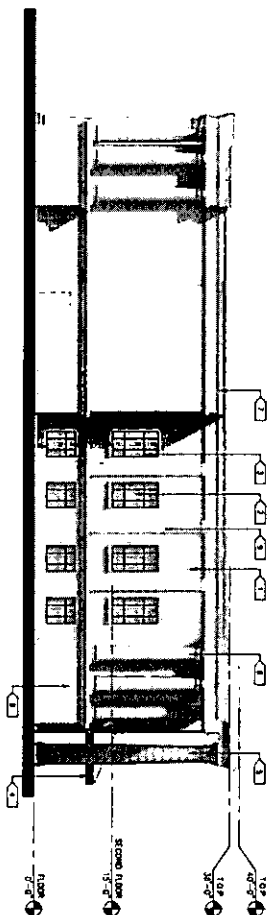
EAST ELEVATION
SCALE: 1/8\"/>



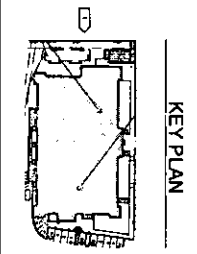
WEST ELEVATION
SCALE: 1/8\"/>



NORTH ELEVATION
SCALE: 3/8"=1'-0"



SOUTH ELEVATION
SCALE: 3/8"=1'-0"



KEY PLAN

- FINISHES**
- 1 PAINT - GF WHITE
 - 2 HIGH PERFORMANCE GLAZING - TINTED GLASS
 - 3 INTERIOR FINISHES - SEE SCHEDULE
 - 4 STEEL - PAINT - GLOSS - SEE SCHEDULE
 - 5 CONCRETE - POLISHED
 - 6 CERAMIC TILE - SEE SCHEDULE
 - 7 ARCHITECTURAL CORNER
 - 8 FINISHES
 - 9 FINISHES



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SCOTTISH RITE / HOME DEPOT
ELEVATIONS
A-SR-4
1855 & 1561 CALIANO DEL RIO S
SAN DIEGO, CA 92108
(760) 486-07 1813400



wd




WARE MALCOMB
Leading Design for Commercial Real Estate

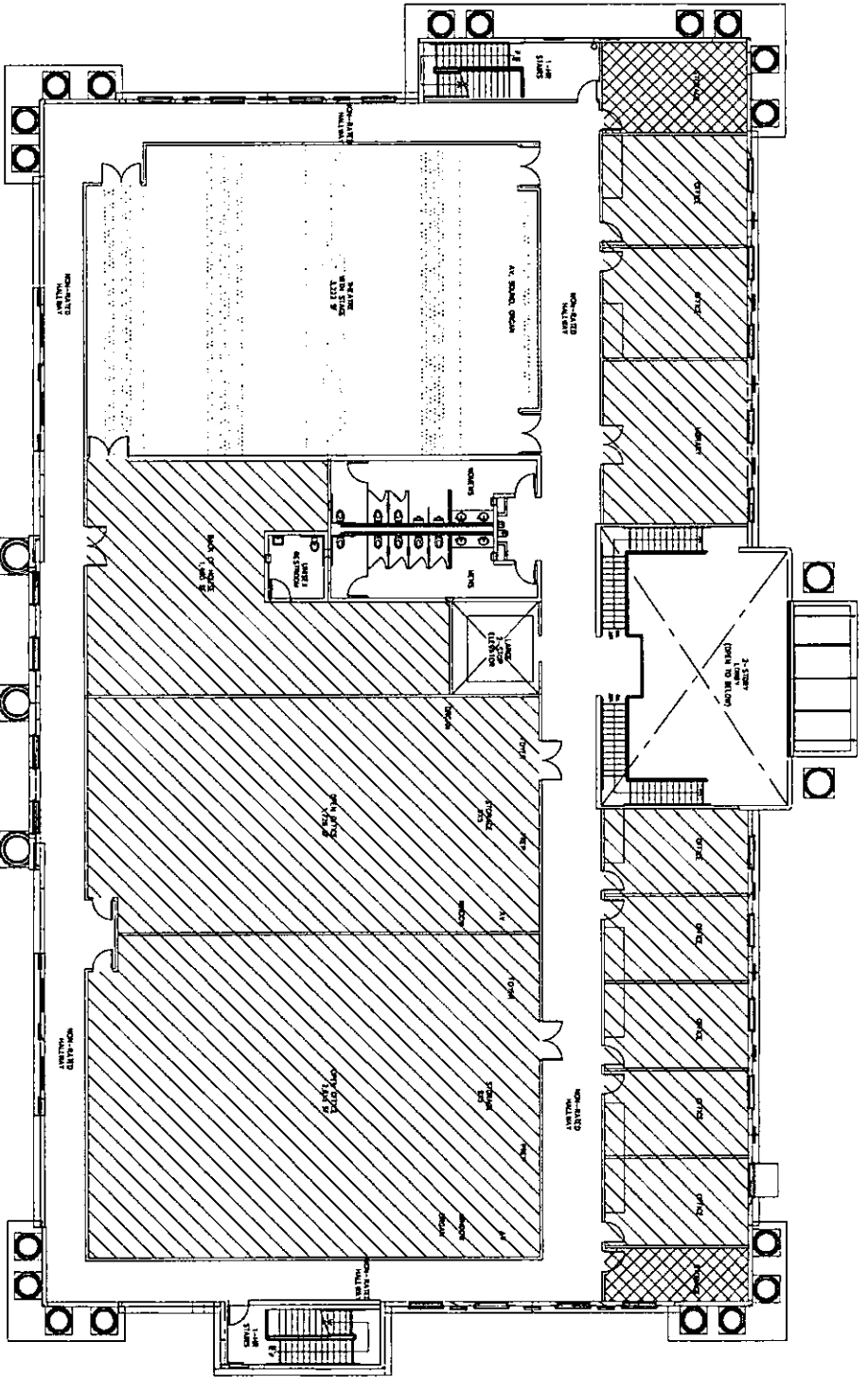


**SCOTTISH RITE /
HOME DEPOT**
1895 & 1561 CARMINE DEL RIO S
SAN DIEGO, CA 92108

**FLOOR-02
A-SR-02**
18394.00

1" = 12'-0"
0 4 8 12 16 20 24

-  BUSINESS USE +/- 8,457 SF
-  STORAGE +/- 496 SF
-  ASSEMBLY USE +/- 3,161 SF





wd



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Leading Design for Commercial Real Estate

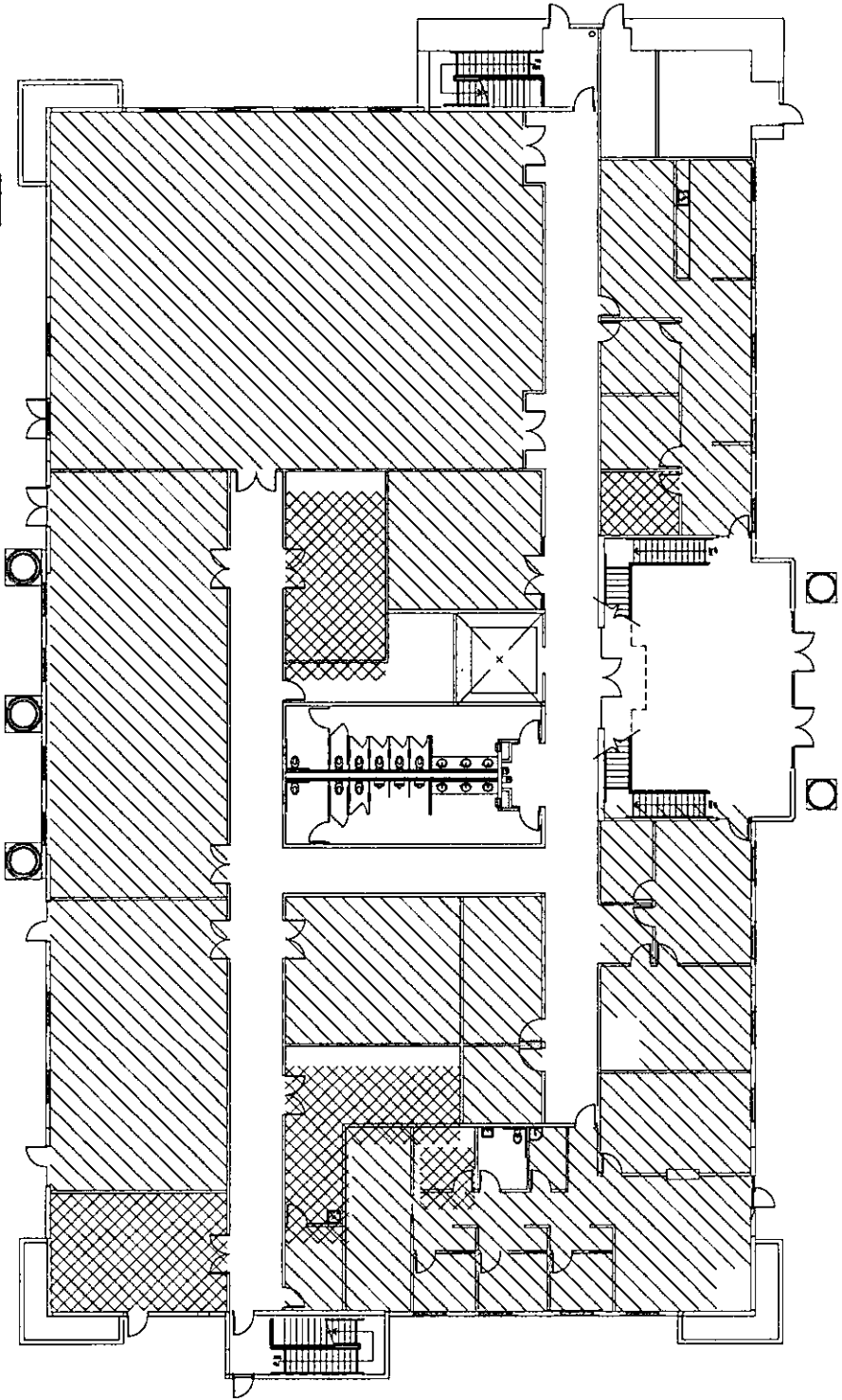


**SCOTTISH RITE /
HOME DEPOT**
1895 & 1861 CAMINO DEL RIO S
SAN DIEGO, CA 92108

**FLOOR-01
A-SR-2**
(202)-08-47 18134.00

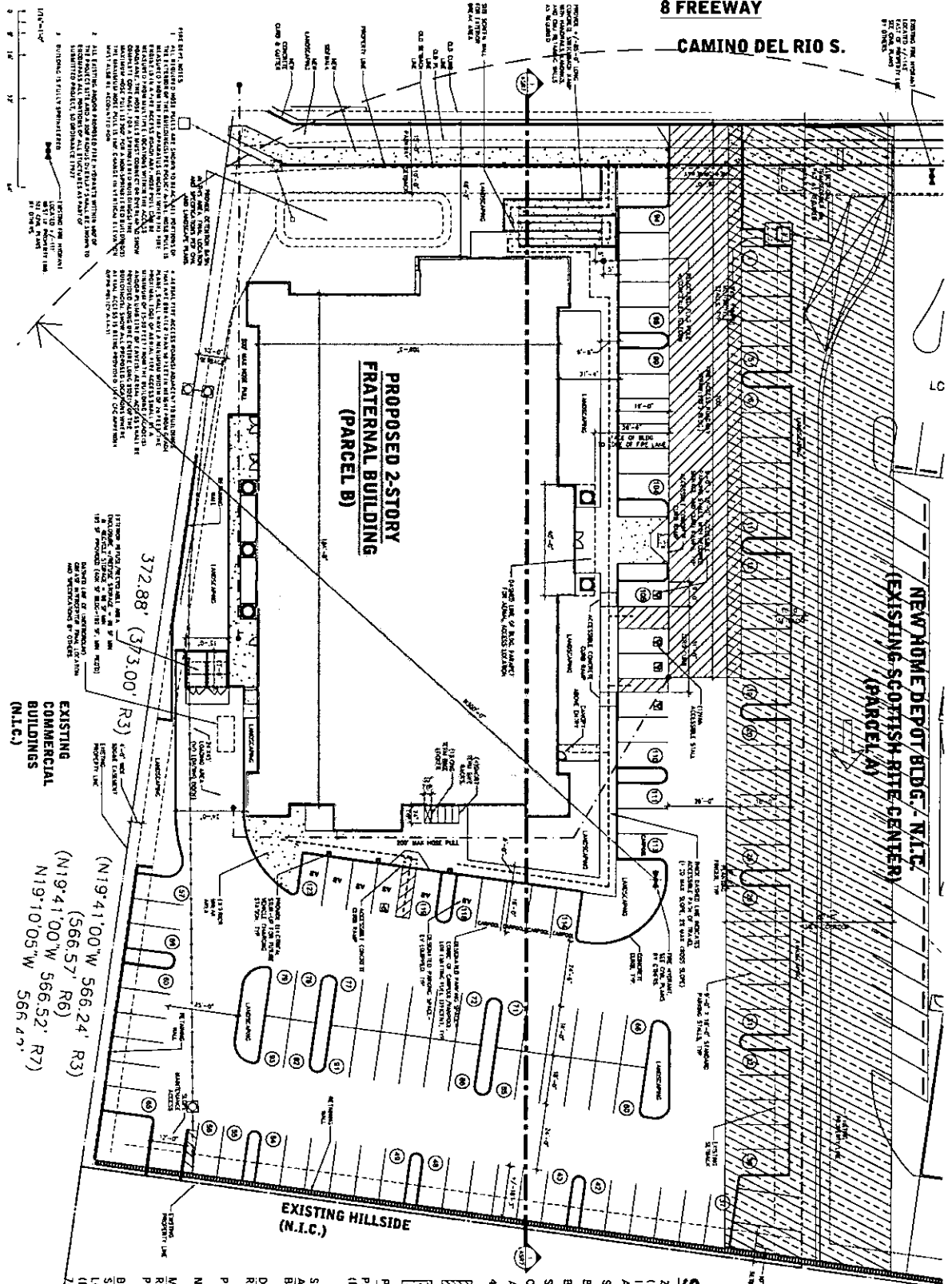
Scale: 1/8" = 1'-0"
0 1 2 3 4 5 6 7 8 9 10 11 12

 BUSINESS USE +/-12,413 SF
 STORAGE +/-1,472 SF



8 FREEWAY

CAMINO DEL RIO S.



**PROPOSED 2-STORY
FRATERNAL BUILDING
(PARCEL B)**

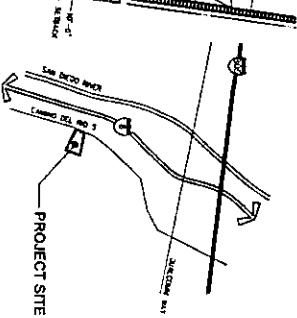
**NEW HOME DEPOT BLDG. - N.I.C.
EXISTING SCOTTISH RITE CENTER
(PARCEL A)**

**EXISTING
COMMERCIAL
BUILDINGS
(M.L.C.)**

**EXISTING HILLSIDE
(N.I.C.)**

(N19°41'00"W 566.24' R3)
(S66.57' R6)
(N19°41'00"W 566.52' R7)
(N19°10'05"W 566.47')

SITE DATA



ZONING: CR-21
SCOTTS VALLEY COMMUNITY PLAN
(IMPERIUM VALLEY OVERLAY ZONE)
APN: 428-090-34

SITE AREA: 12.06 AC 89,544.45 SF
BUILDING AREA: +/-40,800 SF
BUILDING HEIGHT: 40'-0"
SPRINKLERED: YES
CONSTRUCTION TYPE: III-B
ADA ACCESSIBLE P.O.T.: -----
40,000 SF/89,544 SF = 0.45 FAR (1.0 MAX ALLOWED)

PARKING SUMMARY:
PARKING REQUIRED (2.1/1000): 85 STALLS
(FRATERNAL USE)

STANDARD PARKING PROVIDED: 118 STALLS
ACCESSIBLE PARKING PROVIDED: 5 STALLS
BUILDING PARKING TOTAL: 123 STALLS

DESIGNATED PARKING SPACES REQUIRED: 9
(5) EV EQUIPPED, (4) FUEL EFFICIENT TYPE PROVIDED
(6) EV EQUIPPED, (5) FUEL EFFICIENT TYPE PROVIDED
NOTE: (1) STALL TO BE ADA COMPLIANT

MOTORCYCLE PARKING:
REQUIRED (O.D.Z.): 2
PROVIDED: 2

BICYCLE PARKING (RECD & PROVIDED):
SINGL TERM: 1
LONG TERM: 1
(CENTRATOR BIKE LOCKER 7'6" W X 48" H X 30" DEEP)



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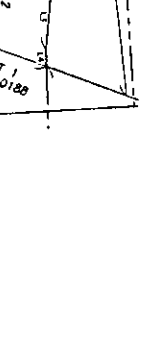
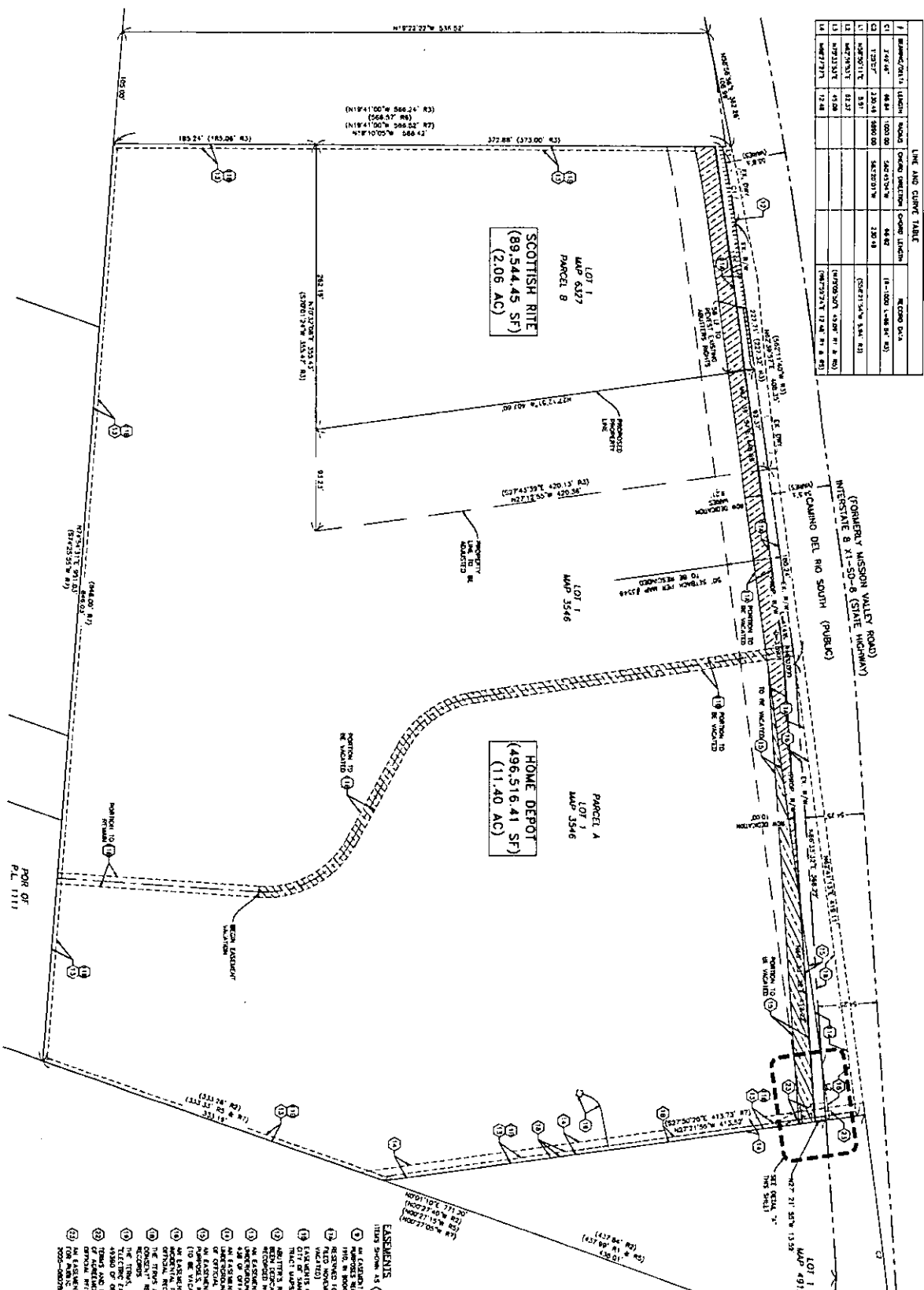


**SCOTTISH RITE /
HOME DEPOT**

1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108 | (2020-10-19) 1913400

**SITE
A-SR-1**

Station	Length	Radius	Chord	Chord BEARING	CHORD MIDPOINT	REC'D DATA
1+00.00	0.00	0.00	0.00	0.00		(1+100) (L&M ST. NO.)
1+00.00	48.34	1000.00	54.61	351° 20' 30"	44.82	
1+048.34	230.14	5000.00	342.92	351° 20' 30"	230.14	(2+210) (L&M ST. NO.)
1+278.48	492.81	2000.00	587.91	351° 20' 30"	492.81	(2+771) (L&M ST. NO.)
1+771.29	492.81	2000.00	587.91	168° 39' 30"	492.81	(3+264) (L&M ST. NO.)
1+264.48	412.96	2500.00	492.34	168° 39' 30"	412.96	(3+757) (L&M ST. NO.)
1+677.44	174.83	5000.00	185.75	168° 39' 30"	174.83	(4+250) (L&M ST. NO.)



ESSEMENTS

1. Lot shown as (1) HAVE BEEN PLOTTED HEREON.

2. All easements shown on the City of San Diego are valid, existing, and enforceable. All easements shown on the City of San Diego are valid, existing, and enforceable.

3. The easements shown on this plan are in accordance with the City of San Diego Municipal Code, Chapter 171.00, and the City of San Diego Municipal Code, Chapter 171.05.

4. The easements shown on this plan are in accordance with the City of San Diego Municipal Code, Chapter 171.00, and the City of San Diego Municipal Code, Chapter 171.05.

5. The easements shown on this plan are in accordance with the City of San Diego Municipal Code, Chapter 171.00, and the City of San Diego Municipal Code, Chapter 171.05.

6. The easements shown on this plan are in accordance with the City of San Diego Municipal Code, Chapter 171.00, and the City of San Diego Municipal Code, Chapter 171.05.

7. The easements shown on this plan are in accordance with the City of San Diego Municipal Code, Chapter 171.00, and the City of San Diego Municipal Code, Chapter 171.05.

8. The easements shown on this plan are in accordance with the City of San Diego Municipal Code, Chapter 171.00, and the City of San Diego Municipal Code, Chapter 171.05.

9. The easements shown on this plan are in accordance with the City of San Diego Municipal Code, Chapter 171.00, and the City of San Diego Municipal Code, Chapter 171.05.

10. The easements shown on this plan are in accordance with the City of San Diego Municipal Code, Chapter 171.00, and the City of San Diego Municipal Code, Chapter 171.05.

11. The easements shown on this plan are in accordance with the City of San Diego Municipal Code, Chapter 171.00, and the City of San Diego Municipal Code, Chapter 171.05.

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14. The easements shown on this plan are in accordance with the City of San Diego Municipal Code, Chapter 171.00, and the City of San Diego Municipal Code, Chapter 171.05.

15. The easements shown on this plan are in accordance with the City of San Diego Municipal Code, Chapter 171.00, and the City of San Diego Municipal Code, Chapter 171.05.



WD



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 Leading Design for Commercial Real Estate



SCOTTISH RITE /
HOME DEPOT
 1995 & 1561 CAMINO DEL BOS
 SAN DIEGO, CA 92108
C-HD-SR-2
 08/17/2000
 18134.00



WPD

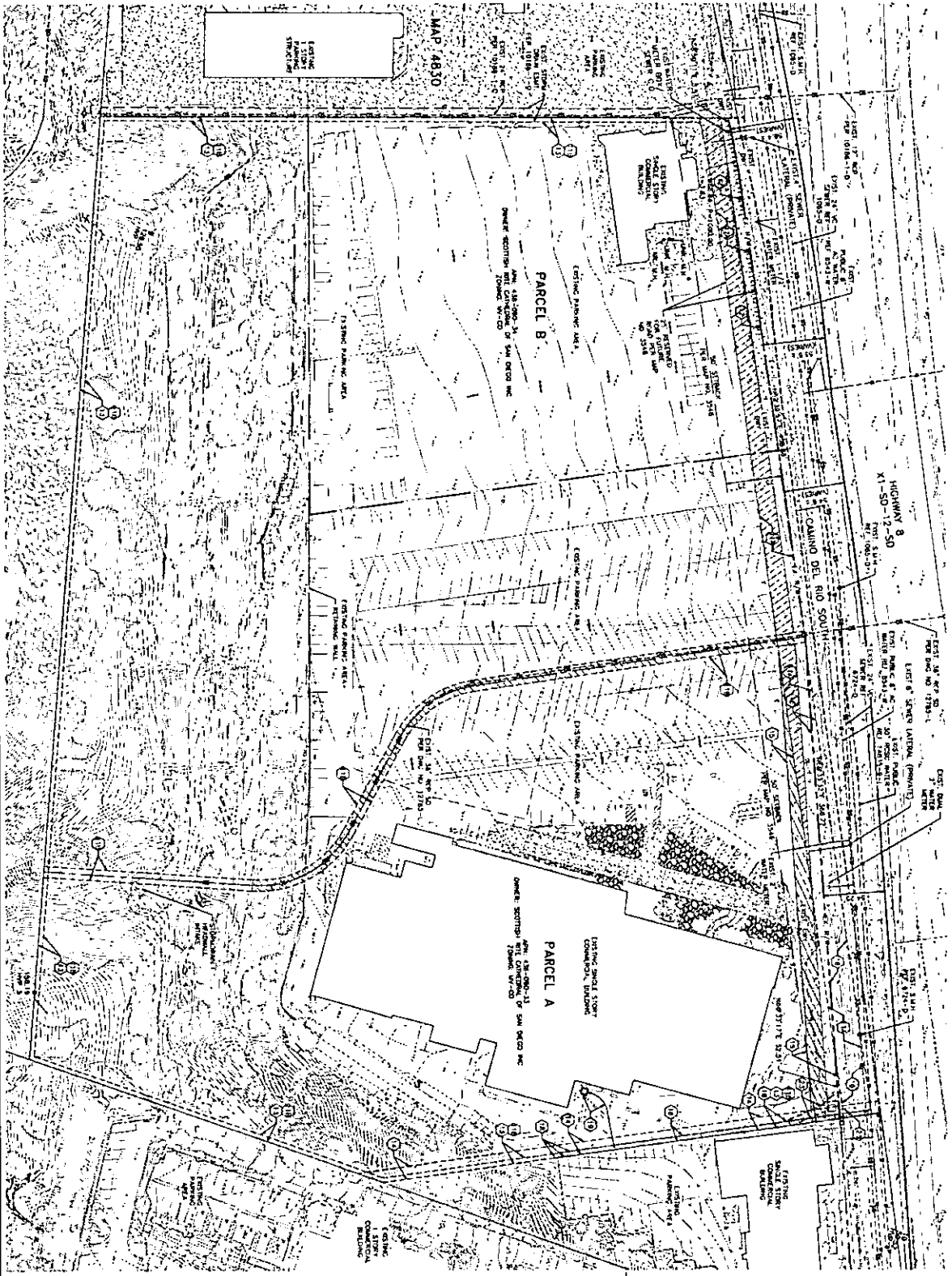
FUSCO
SAN DIEGO, CALIFORNIA
1117 S. LA JOLLA VILLAGE DRIVE
SAN DIEGO, CALIFORNIA 92108
TEL: 619-594-1177
FAX: 619-594-1178



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SCOTTISH RATE / EXISTING
HOME DEPOT
1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108
C-HD-SR-1
181123D
181110D



- EASEMENTS**
- 1. EASEMENT GRANTED TO THE CITY OF SAN DIEGO FOR WATER MAINS AND SEWER MAINS, RECORDS NUMBER 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



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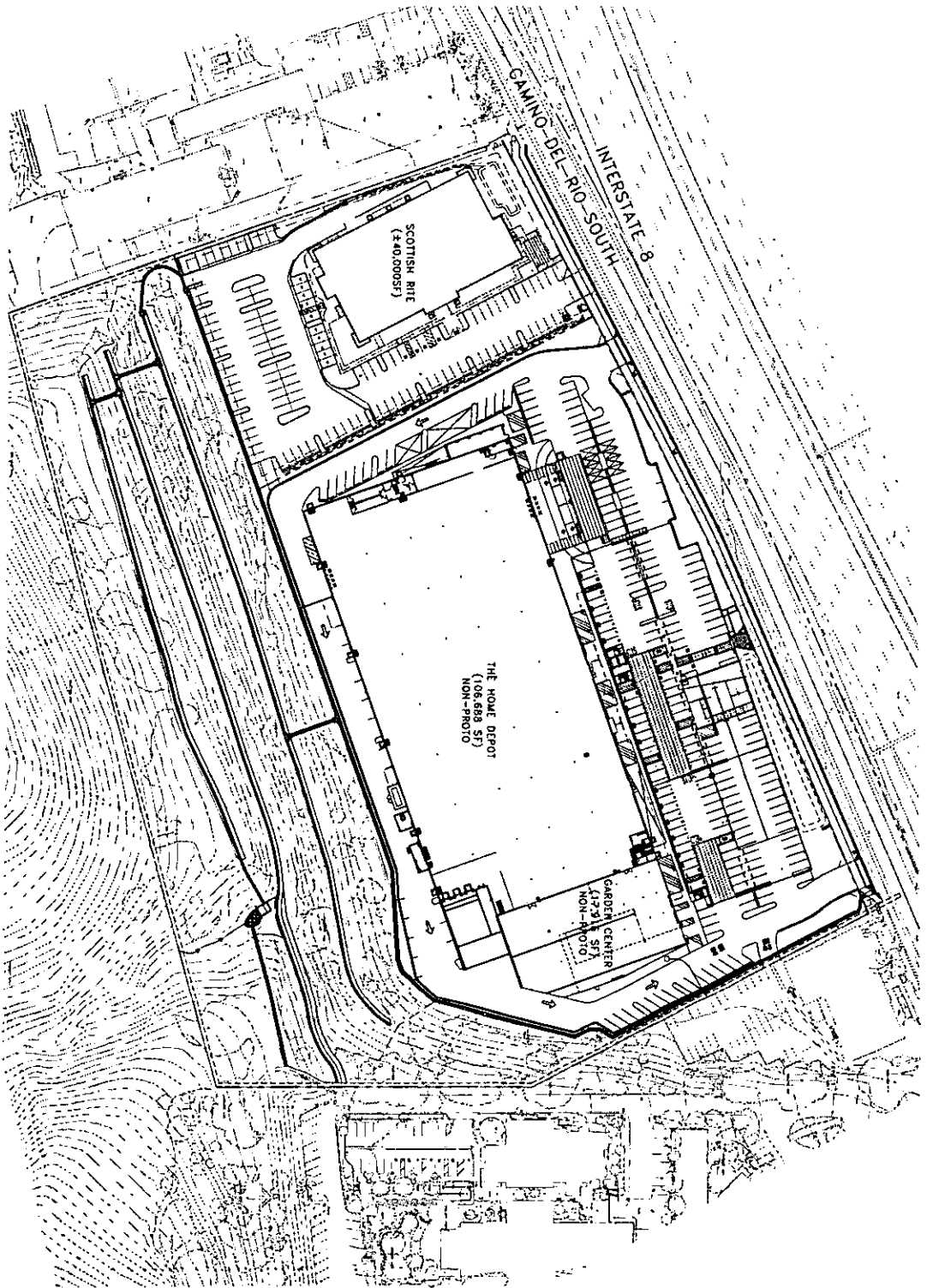
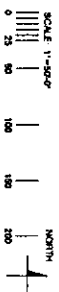
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Leading Design for Commercial Real Estate

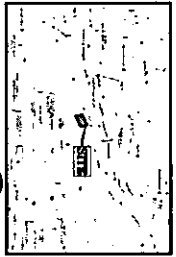


**SCOTTISH RITE /
HOME DEPOT**
1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

**OVERALL
SITE PLAN
SP-1**

18134.00



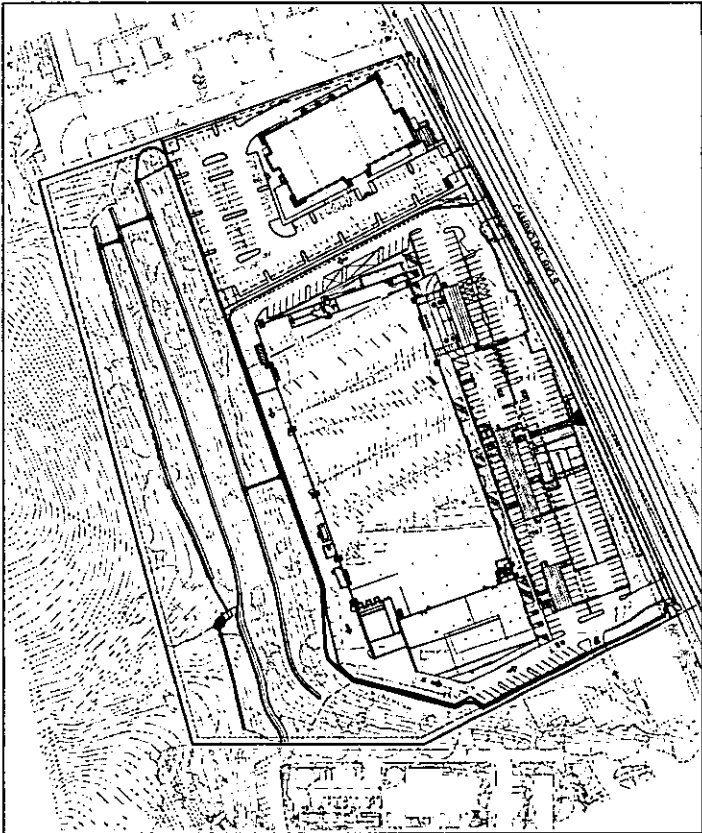


DEVELOPMENT PERMIT FOR

THE HOME DEPOT & SCOTTISH RITE

1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA

SHEET NUMBER	DESCRIPTION
CS-1	COVER SHEET
SP-1	OVERALL SITE PLAN
C-HD-SR-1	EXISTING CONDITIONS
C-HD-SR-2	PROPOSED OFFICE ADJUSTMENT STREET WALKWAY, & DEDICATION
A-SR-1	SITE PLAN
A-SR-2	FLOOR 01 PLAN
A-SR-3	FLOOR 02 PLAN
A-SR-4	ELEVATIONS
A-SR-5	ELEVATIONS
A-SR-6	PERSPECTIVE
A-SR-7	SITE/BUILDING SECTION
C-SR-1	SITE AND PAVING PLAN
C-SR-2	LANDSCAPE CONCEPT PLAN
C-SR-3	GARDENS AND DRAINAGE PLAN
C-SR-4	UTILITY PLAN
C-SR-5	SECTIONS AND DETAILS
LC-SR-1	LANDSCAPE CALCULATIONS
LC-SR-2	LANDSCAPE CALCULATIONS
LC-SR-3	LANDSCAPE CALCULATIONS
A-HD-1	LEVEL 1 PLAN
A-HD-2	LEVEL 2 PLAN
A-HD-3	ROOF PLAN
A-HD-4	ELEVATIONS
A-HD-5	AERIAL RENOVATION
A-HD-6	SECTIONS
C-HD-1	SITE AND PAVING PLAN
C-HD-2	GARDENS AND DRAINAGE PLAN
C-HD-3	UTILITY PLAN
C-HD-4	SECTION AND DETAILS
C-HD-5	EXISTING STORM ANALYSIS
C-HD-SR-3	PERMIT PAVING EXHIBIT
LC-HD-1	LANDSCAPE CONCEPT PLAN
LC-HD-2	LANDSCAPE CONCEPT PLAN
LC-HD-3	LANDSCAPE CALCULATIONS
LC-HD-4	WATER CONSERVATION PLANS



SCOTTISH RITE /
HOME DEPOT
1895 & 1561 CAMINO DEL RIO S
SAN DIEGO, CA 92108

COVER SHEET
CS-1

18134.00

CONTRACT LIST

CONTRACT NUMBER	DESCRIPTION
1	CONSTRUCTION MANAGER
2	PAVING DESIGN ARCHITECT
3	LANDSCAPE ARCHITECT
4	CONTRACTOR
5	CONTRACTOR
6	CONTRACTOR
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PROJECT DESCRIPTION

CONTRACT NUMBER: CS-1
 PROJECT NAME: SCOTTISH RITE / HOME DEPOT
 PROJECT ADDRESS: 1895 & 1561 CAMINO DEL RIO S, SAN DIEGO, CA 92108
 PROJECT CONTACT: [REDACTED]
 PROJECT PHONE: [REDACTED]
 PROJECT FAX: [REDACTED]
 PROJECT EMAIL: [REDACTED]
 PROJECT START DATE: [REDACTED]
 PROJECT END DATE: [REDACTED]
 PROJECT STATUS: [REDACTED]
 PROJECT TYPE: [REDACTED]
 PROJECT DESCRIPTION: [REDACTED]
 PROJECT LOCATION: [REDACTED]
 PROJECT AREA: [REDACTED]
 PROJECT PERMIT: [REDACTED]
 PROJECT PLAN: [REDACTED]
 PROJECT SHEET: [REDACTED]
 PROJECT DATE: [REDACTED]
 PROJECT DRAWN BY: [REDACTED]
 PROJECT CHECKED BY: [REDACTED]
 PROJECT APPROVED BY: [REDACTED]
 PROJECT SCALE: [REDACTED]
 PROJECT NOTES: [REDACTED]

CONTRACT LIST

CONTRACT NUMBER	DESCRIPTION
1	CONSTRUCTION MANAGER
2	PAVING DESIGN ARCHITECT
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100	CONTRACTOR

Passed by the Council of The City of San Diego on MAY 25 2021, by the following vote:

Councilmembers	Yeas	Nays	Not Present	Recused
Joe LaCava	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jennifer Campbell	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Stephen Whitburn	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Monica Montgomery Steppe	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Marni von Wilpert	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Chris Cate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Raúl A. Campillo	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Vivian Moreno	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sean Elo-Rivera	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Date of final passage MAY 25 2021

(Please note: When a resolution is approved by the Mayor, the date of final passage is the date the approved resolution was returned to the Office of the City Clerk.)

AUTHENTICATED BY:

TODD GLORIA
Mayor of The City of San Diego, California.

(Seal)

ELIZABETH S. MALAND
City Clerk of The City of San Diego, California.

By *Linda Arwin*, Deputy

Office of the City Clerk, San Diego, California

Resolution Number R- 313562