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RECOMMENDATIONS

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COMMUNITY PLANNING GROUP/STAFF'S/PLANNING COMMISSION

Project Manager must complete the following information for the Council docket:

CASE NO. 84791

STAFF'S

DENY the appeal and UPHOLD the Planning Commission's decision to approve the Rady Children's Hospital and Health Center, Project No. 84791; certify Mitigated Negative Declaration (MND) and adopt Mitigation, Monitoring, and Reporting Program (MMRP); approve Planned Development Permit (PDP); Conditional Use Permit (CUP), and Site Development Permit (SDP) to amend previously approved permits; and approve Multi-Habitat Planning Area (MHPA) Boundary Line Adjustment (BLA) to develop an expansion project for the Rady Children's Hospital and Health Center within the Serra Mesa Community.

PLANNING COMMISSION

YEAS: Garcia, Griswold, Otsuji, Naslund, and Ontai (5-0), *Shultz-absent*

NAYS:

ABSTAINING:

TO: Approve SDP, PDP, CUP, and MHPA Boundary Line Adjustment, certify MND, and adopt associated MMRP

COMMUNITY PLANNING GROUP (choose one)

LIST NAME OF GROUP: Serra Mesa Community Planning Group

- No officially recognized community planning group for this area.
- Community Planning Group has been notified of this project and has not submitted a recommendation.
- Community Planning Group has been notified of this project and has not taken a position.
- Community Planning Group has recommended approval of this project.
- Community Planning Group has recommended denial of this project.
- This is a matter of City-wide effect. The following community group(s) have taken a position on the item:

In favor: 7

Opposed: 0

By Anne B. Gargue
Project Manager

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THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: February 8, 2007 **REPORT NO. PC-07-023**

ATTENTION: Planning Commission, Agenda of February 15, 2007

SUBJECT: RADY CHILDREN'S HOSPITAL AND HEALTH CENTER (ACUTE CARE PAVILLON) - PROJECT NO. 84791. PROCESS NUMBER 4

REFERENCES: PC REPORT No. PC-05-236 for Project No. 2784
Long Range Plan for Expansion and Improvement (LRPEI) Plan
LRPEI Agreement, City Council Approved December 4, 1995

**OWNER/
APPLICANT:** Tim Jacoby, Senior Managing Director, Children's Hospital
Greg Konar, Project Design Consultants (Agent)

SUMMARY

Issue(s): Should the Planning Commission approve a proposal to construct a new 272,274 square-foot, six-level hospital building; a new 3,400 square-foot emergency generator facility; and add 12 more guest units to the previously approved Ronald McDonald House (RMH) residential facility and parking structure (Project No. 2784), located within the Children's Hospital Campus, within the Serra Mesa Community Planning Area?

Staff Recommendation:

1. **Certify** Mitigated Negative Declaration (MND) No. 84791, and **Adopt** the Mitigation Monitoring and Reporting Program (MMRP);
2. **Approve** Planned Development Permit (PDP) No. 268049, Conditional Use Permit (CUP) No. 268050, and Site Development Permit (SDP) No. 413591 to amend previously approved CUP/Hillside Review/Resource Protection Overlay Zone Permit No. 87-1096 and CUP No. 4741/SDP No. 4742/PDP No. 267312;
3. **Approve** Multi-Habitat Planning Area (MHPA) Boundary Line Adjustment No. 414363.



Community Planning Group Recommendation: On March 16, 2006, the Serra Mesa Planning Group voted 7-0-1 to recommend approval of the project with no conditions (Attachment 12).

Environmental Review: A Mitigated Negative Declaration (MND No. 84791) has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring, and Reporting Program (MMRP) has been prepared and would be implemented which would reduce potential impacts to a level below significance

Fiscal Impact Statement: All costs associated with the processing of this project are recovered by a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: The proposed project is located on a site designated as Health-Institutional Complex use as identified in the Serra Mesa Community Plan. The project includes a proposal to add 12 guest rooms to the previously approved 35-unit residential facility (Ronald McDonald House) that is located on the top (7th) floor of a parking structure and new square footage for the expansion of 84 additional beds. The result is a no net impact on the housing capacity or inventory in Serra Mesa. The additional guest rooms are needed to accommodate the temporary short-term housing for families with children who are receiving medical treatment at the hospital.

BACKGROUND

The Children's Hospital Campus is approximately 26.98-acres and is located at 3020 Children's Way, between Birmingham Way and Frost Street, within the Serra Mesa Community Planning Area (Attachment 1). The proposed Rady Children's Hospital and Health Center (CHHC) would be located on an existing 18.04 acre surface parking lot that would be removed (Location 1). An associated emergency generator facility would be constructed on a 2.39-acres site located on the south side of Birmingham Way (Location 2). The parking structure/Ronald McDonald House (RMH) residential facility is located at the terminus of Birmingham Way and Children's Way (Location 3) and is currently under construction (Project No. 2784).

The Serra Mesa Community Plan designates this site and the surrounding area for Health-Institutional Complex uses in the Serra Mesa Community Plan (Attachment 2) and is zoned CO-1-2 (Commercial-Office). Together with the surrounding properties, which include Sharp Memorial Hospital and Health Center Campus to the west and the San Diego Medical Center to the north, this area comprises a total of 79-acres (approximate) of hospital and medical office uses, that is generally bounded by Mesa College Drive to the north, Interstate Highway 805 to the east, Genesee Avenue to the south, and Highway 163 to west (Attachment 3).

On August 8, 1989, the City Council approved Conditional Use Permit (CUP), Hillside Review (HR) Permit and Resource Protection Overlay Zone (RPOZ) Permit No. 87-1096. This Permit authorized a total of 505,931 square feet of additions to the site, including a 100-bed children's

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hospital, a 120-bed patient wing, child convalescent hospital, medical office buildings, fiscal services building, 12 modular buildings, an energy plant, expansion of the existing diagnostic and treatment facilities and off-street parking facilities. That Permit had superseded all previously approved discretionary permits on the site (Attachment 10).

On December 4, 1995, the City Council approved an agreement with Children's Hospital and Health Center (CHHC), Sharp HealthCare/Sharp Memorial Hospital (SHC/SMH), and San Diego Medical Center which referenced a long range plan for expansion and improvement. This Plan is intended to assure that public transportation infrastructure needs are met in connection with any future expansion. Council approved this Agreement, (Resolution No. RR-286734), known as the "Long Range Plan for Expansion and Improvement" (LRPEI), in lieu of an earlier Council requirement that the three parties prepare a "Master Conditional Use Permit" (MCUP). The LRPEI had been intended to allow review of future expansion of any of the existing facilities in the context of the public infrastructure needs for the general area rather than for each health care facility, deleting the requirement for a MCUP.

The LRPEI specifies that future development applications by CHHC and SHC/SMH be reviewed for consistency with the LRPEI, and processed in accordance with the applicable provisions of the CUP ordinance and the underlying zone. The LRPEI does not vest any development rights.

On November 25, 2005, the Planning Commission approved CUP No. 4741/SDP No. 4742/PDP No. 267312, that amended the previous CUP/HR/RPOZ Permit No. 87-1096, to allow development of a six-level parking structure, with a 35-unit residential facility (Ronald McDonald House) on the seventh level atop the parking structure (Project No. 2784) (Attachment 11). The 42,257 square-foot residential facility would provide on-site living accommodations for family members of patients being treated at Children's Hospital. In addition, the six-level parking structure would provide the necessary parking for the anticipated expansion of Children's Hospital and the new Ronald McDonald House (RMH) residential facility. On February 21, 2006, a Substantial Conformance Review (SCR) was approved to increase the size of the facility by 1,625 square feet (3.8 percent increase) for a total of 43,882 square-feet of space available for the RMH residential facility.

DISCUSSION

Project Description

The proposed project includes the construction of the new Rady CHHC, an emergency generator facility for the hospital, and the addition of 12-guest units to the new Ronald McDonald House (RMH) residential facility. The development would amend both CUP/HR/RPOZ No. 87-1096 and 4741/SDP No. 4742/PDP No. 267312 and would require a Conditional Use Permit (CUP) to continue the existing hospital use within the CO-1-2 zone; a Planned Development Permit (PDP) to deviate from the CO-1-2 zone setback and height requirements; a Site Development Permit (SDP) for development within environmentally sensitive lands (ESL); and a Multi-Habitat Planning Area (MHPA) Boundary Line Adjustment (BLA) to adjust the existing MHPA line to accommodate the proposed emergency generator facility.

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The new Rady CHHC would be approximately 272,274 square feet of new gross floor area within a six-level, 96-foot high building, where 60 feet is the maximum height allowed in the CO-1-2 zone. A second deviation request to the CO-1-2 zone requirements, would allow a portion of the façade (at two locations) along Birmingham Way to encroach into the required 10-foot front setback. Because of the building design and site constraints, a six-foot, eight inch setback is needed to permit a curbside ladder access (at the southwest corner of the building) for the City Fire Department and an open air exterior stairway (at the southeast corner of the building) will observe a zero (0)-foot setback (Attachment 5).

The expansion would contain a new medical surgical unit with 16 operating rooms and 84 recovery beds; a hematology/oncology unit with 28 beds; a neonatal intensive care unit with 32 beds; and a bone marrow transplant unit with 10 beds. The existing surgical unit and hematology/oncology unit (70 inpatient beds) at the main hospital would be relocated to the new building. The current convalescent home will then be relocated in these vacated rooms in the main hospital. When construction for the Rady CHHC expansion is complete, 84 additional beds would be available.

The surface parking lot (365 parking spaces) will be removed to accommodate the new building. Sufficient off-street parking (1,035 spaces) would be provided for in the new parking structure under construction. When construction of the Rady Children's Hospital and parking structure/RMH is complete, a total of 2,239 parking spaces (which is more than required) will be provided for the entire Children's Hospital Campus, where 1,414 parking spaces is required.

The proposed emergency generator facility for the hospital would be located on a 2.39 acre site on the south side of Birmingham Way across the street from the proposed expansion site (Attachment 5). The generators/equipment would be enclosed in a one-story, approximate 3,400 square-foot building. A portion of the site currently contains a propane tank which will be relocated next to the proposed emergency generator facility. The parcel contains environmentally sensitive lands (steep hillsides and biological resources) and is mapped within the City's Multi-Habitat Planning Area (MHPA).

The previously approved parking structure/Ronald McDonald House (RMH) residential facility (Project No. 2784) is located on a 2.69 acre parcel and is currently under construction (Attachment 6). Subsequent to the project's approval, Children's Hospital requested an additional 12 guest units to the 35-rooms anticipated for the RMH residential facility. An amendment to CUP No. 4741/SDP No. 4742/PDP No. 267312 is required to include the additional rooms and reconfigure the existing floor plan within the development footprint. The six-level parking structure will maintain approximately 1,035 parking spaces and 34 handicapped parking spaces.

All three project locations can be accessed from Birmingham Way and Children's Way. Rady Children's Hospital will have one driveway located along Birmingham Way. The emergency generator facility will have one driveway accessed from Birmingham Way. The parking structure/RMH is being constructed with one driveway accessed at the terminus of Birmingham

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Way/Children's Way and a second driveway would be accessed further north along Children's Way.

Proposed grading for the Rady Children's Hospital and the emergency generator facility would include approximately 15,000 cubic yards of soil cut at a maximum depth of 13 feet and approximately 3,900 cubic yards of soil fill within 4.2 acres of land. No further grading beyond what was anticipated for the development of the parking structure/RMH would be required for the additional 12 guest units at the RMH residential facility.

Project Related Issues

Conditional Use Permit

In accordance with Land Development Code (LDC) Section 126.0303(b), a CUP (Process 4) is required for hospitals, intermediate care, and nursing facilities located within the CO-1-2 zone, which allows for a mix of office and residential uses that serve an employment center. To redevelop the site with the new buildings and continue the operation of the existing hospital within the CO-1-2 zone, a Conditional Use Permit (CUP) to amend the previous CUP/HR/RPOZ No. 87-1096 and CUP 4741/SDP 4742/PDP 267312 is required pursuant to Land Development Code Section 126.0303.

As a separately regulated use, LDC Section 141.0413 requires that the design of the structures incorporate a variety of architectural elements that help diminish building bulk; the location of larger structures; areas of high activity, and parking areas be planned to minimize impacts to surrounding development that is smaller in scale and less intense; access to the site be as direct as possible from freeways, primary arterials, and major streets and shall avoid residential streets; off-street parking shall be provided; and all storage, service, and repair areas shall be located on the premises or screened so that they are not visible from adjacent development and the public-right-of-way.

As shown on the elevation and sign plans (Attachment 5), the design of the new structure incorporates a variety of architectural elements, such as glass lanterns on the façade, which would diminish bulk. Pedestrian pathways are also provided with improved sidewalks along Birmingham Way and Childrens' Way to and from the parking structure/RMH and the Rady CHHC. Internal pedestrian pathways, including a 2-level pedestrian walkway/bridge to the Rose Pavillon structure is also provided. Areas of high pedestrian activity related to the RMH are located atop the parking structure, away from vehicular traffic patterns. There are no residential streets in the vicinity and direct vehicular access to the site will be retained from adjacent freeways (Highway 163 to the west and Interstate-805 to the east) and arterials via existing streets. The hospital's refuse and recycling area and loading dock would be located on the interior side of the building, which is accessed from the driveway along Birmingham Way. In addition, mechanical equipment on the rooftop would be screened from the public right-of-way and the emergency generator facility would be enclosed in a one-story building.

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Planned Development Permit

The applicant is requesting deviations to the CO-1-2 zoning regulations to allow the new Rady CHHC to exceed the minimum height limit of 60 feet and portions of the building along Birmingham Way to encroach into the 10-foot setback. Pursuant to Land Development Code Section 126.0602(b)(1) a Planned Development Permit is required, to allow deviations to the CO-1-2 setback and height requirements. The PDP regulations allows for deviations from applicable zone regulations with the intent to encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that the proposed project would be preferable to what would be achieved if strict conformance with the regulations were applied.

The new building would be approximately 96-feet in overall height. Several existing structures on both the Children's and adjacent Sharp Memorial Hospital Campus within the surrounding Health-Institutional Complex and CO-1-2 zone exceed the 60-foot height limit. These structures include the adjacent Rose Pavilion building built in 1992 (88 feet), the Children's Medical Office Building (66 feet), the north and south towers on the adjacent Sharp Hospital Campus (approximately 117 feet). In addition the approximate 95-foot tall parking structure/RMH across the street (Children's Way), was also approved in 2005 through the PDP process. The Serra Mesa Community Plan allows flexibility regarding the height of structures located on lands designated for development as Health-Institutional Complex. A deviation to allow the proposed Rady CHHC building to observe an increased height would provide a more efficient use of available land on the campus. The Physical Environment-Urban Design section of the Serra Mesa Community Plan does not identify any potential issues with regards to height of structures in the Health-Institutional Complex and therefore would not adversely affect the Serra Mesa Community Plan.

The applicant also requests a deviation at two locations within the front yard setback for the Rady CHHC. The first location is at the southwest corner of the proposed building along Birmingham Way. City of San Diego Fire Department requires curbside ladder access from Birmingham Way. To accommodate this, a portion of the building at the curving point of Birmingham Way will encroach into the front setback approximately 4 feet to observe a 6-foot, 8-inch setback, where 10 feet is the minimum.

The second location is at the southwest corner of the Rady CHHC building at the terminus of Birmingham Way and Children's Way, where an open-air exterior stairway will encroach entirely into the 10-foot setback to observe a zero-foot setback. The stairway is needed to provide an alternative egress from the building.

Considering the site constraints within the Children's Hospital campus, staff can support this deviation to encroach into the front setback since it does not adversely impact adjacent parcels and is required for the public's safety. Staff has reviewed and considered each of the requested deviations and determined that they are minor in scope, provide for a superior site design, and that the project as a whole is consistent with the purpose and intent of the CO-1-2 regulations and Health-Institutional Complex land use designation.

Site Development Permit

The proposed 3,400 square-foot emergency generator and relocated propane tank would be constructed on a 2.39 acre parcel that contains steep hillsides and sensitive biological resources, and therefore is subject to the ESL regulations and a Site Development Permit (SDP) is required.

A slope analysis (*RBF Consulting, September 5, 2006*) was submitted which delineated steep hillsides, and identified disturbed and natural slopes on-site. The development footprint would not encroach into identified steep slopes.

A biological resources report (*Helix Environmental Planning, June 14, 2006*) was submitted that identified approximately 1.99 acres of Diegan coastal sage scrub (DCSS), 0.06 acres of non-native grasslands, 0.14 acres of native-native vegetation, 0.09 acres of disturbed habitat, 0.05 acres of developed habitat, and 0.06 acres of southern willow scrub on the parcel. The generators/propane tank have been sited on the least environmentally sensitive portion of the parcel and would only directly impact 0.04 acres of Diegan coastal sage scrub, 0.10 acres of non-native vegetation, 0.04 acres of disturbed habitat, and 0.04 acres of developed land. Approximately 1.15 acres of DCSS (0.87 acres of which is within the MHPA) would be indirectly impacted by construction, operational, and testing noise from the emergency generator. Both direct and indirect impacts have been appropriately mitigated to a level below significance through a MHPA BLA, on-site conservation easement, and off-site MHPA land acquisition, as disclosed in Mitigated Negative Declaration No. 84791.

MHPA Boundary Line Adjustment

A portion of the 2.39 acre parcel, where the emergency generator facility and relocated propane tank would be located, is within the City's Multiple Species Conservation Program (MSCP) Multi-Habitat Planning Area (MHPA) (Attachment 7). Therefore the construction and operation of the emergency generator facility would require a MHPA Boundary Line Adjustment (BLA) to appropriately compensate for the loss of MHPA land resulting from development within the MHPA. A MHPA BLA may be made without amending the Subarea Plan or MSCP Plan in cases where the new MHPA boundary preserves an area with equivalent or greater biological value. The final determination regarding the biological value of a proposed boundary change would be made by the City per the MSCP and with concurrence of the wildlife agencies (Section 5.4.2 of the MSCP Plan, August 1998).

As disclosed in the biological resources report (*Helix Environmental Planning, June 14, 2006*), the proposed project would directly impact approximately 0.14 acre of habitat/land within the MHPA. In addition, approximately 0.90 acre of habitat/land within the MHPA, which includes 0.87 acres of DCSS (breeding habitat for the sensitive California Gnatcatcher), may be indirectly impacted from operational noise from the emergency generator facility. Therefore a total of 1.04 acres of land within the MHPA would have to be adjusted either on-site or else-where.

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Therefore, to offset the land to be adjusted out/in the MHPA, the applicant proposes to preserve through a conservation easement/deed, as MHPA open space and include 0.14 acres of Diegan coastal sage scrub on-site. In addition, acquisition of 0.90 acres of Tier II MHPA habitat off-site in East Elliot would be made by paying into the City's Habitat Acquisition Fund.

On November 14, 2006, MSCP and wildlife agencies (US Fish and Wildlife and Cal Fish and Game) staff supported the conclusions and findings to approve the MHPA BLA, as disclosed in the biological resources report.

Community Plan Analysis

The project site, located 3020 Children's Way, is designated as Institutional and Open Space in the Serra Mesa Community Plan. Children's Hospital is one of the facilities identified in the Serra Mesa Health-Institutional Complex discussion within the Employment Center Element.

The objective of the plan is to foster coordinated development of the Serra Mesa Health-Institutional Complex as a regional human care facility. Proposals for the Complex include encouraging children's health facilities, and specify that Children's Hospital should continue to give high priority outpatient, primary care and emergency services.

The proposal to construct a new 272,274 square-foot six-level building, and the construction of 12 guest units for the Ronald McDonald House/parking structure would implement the objective and proposals of the Serra Mesa Community Plan, and would not have an adverse impact.

The Open Space Element of the plan includes the objective of designating Multiple Species Conservation areas, canyons and hillsides for preservation as open space and for strictly controlled utilization for the enjoyment of this generation and in perpetuity. The plan includes the proposal of maintaining open space in its natural condition, and undertaking studies to determine uses compatible with the open space concept.

The project proposes a Multi-Habitat Planning Area (MHPA) Boundary Line Adjustment (BLA) to accommodate a new emergency generator facility located within environmentally sensitive lands. Studies undertaken in conjunction with the project provide mitigation measures which include an added MHPA area (0.14 acre) to offset development intrusion into the MHPA in the project vicinity. Therefore, the proposed MHPA BLA to accommodate a new emergency generator facility will not adversely impact the objective and proposals of the Serra Mesa Community Plan.

Environmental Analysis

During the environmental Initial Study, staff identified potentially significant impacts to biological resources, noise (related to sensitive bird species), land use (MSCP), paleontological resources and transportation/circulation, and hydrology/water quality impacts that could result from the proposed development. Substantial evidence in the administrative record (i.e. technical reports, project re-design, etc.) has been provided to conclude that the project as revised now

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avoids or mitigates the potentially significant environmental effects identified, and the preparation of an Environmental Impact Report (EIR) would not be required.

Discussion of the environmental review is disclosed in the Mitigated Negative Declaration (MND) No. 84791, which has been prepared in accordance with the California Environmental Quality Act (CEQA). The MND concluded that the project would result in potentially significant but mitigable impacts to biological resources, noise, land use, paleontological resources, and transportation/circulation. Implementation of the proposed Mitigation, Monitoring, and Reporting Program (MMRP) would reduce identified environmental effects to a level below significant.

CONCLUSION

The proposed Rady CHHC, emergency generator facility, and additional 12 guest units to the RMH residential facility would enable Children's Hospital to expand and still provide the needed health care services within their own campus. The development conforms to the Health-Institutional Complex land use designation and is compatible with the existing hospital and medical offices in the surrounding area.

A Mitigated Negative Declaration (MND No. 84791) has been prepared in accordance with California Environmental Quality Act (CEQA), and implementation of the Mitigation, Monitoring, and Reporting Program (MMRP) would avoid and mitigate potentially significant impacts to a level below significance. Draft conditions of approval have been prepared for the project (Attachments 8). Conditional Use Permit, Site Development Permit, and Planned Development Permit findings required to approve the project are included in draft resolutions (Attachments 9).

The Serra Mesa Community Planning Group voted 11-0-0 to recommend approval of the project with no conditions (Attachment 12).

Therefore, through the CUP amendment, SDP, PDP, and MHPA BLA process and development review, staff has determined the Rady Children's Hospital project would be in compliance with the applicable regulations of the Land Development Code and consistent with the Serra Mesa Community Plan.

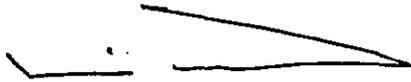
ALTERNATIVES

1. Approve Planned Development Permit (PDP) No. 268049, Conditional Use Permit (CUP) No. 268050, and Site Development Permit (SDP) No. 413591 (amending Conditional Use/Hillside Review/Resource Protection Overlay Zone Permit No. 87-1096 and Conditional Use Permit No. 4741/Site Development Permit No. 4742/Planned Development Permit No. 267312); and Multi-Habitat Planning Area Boundary Line Adjustment No. 414363, with modifications.

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2. Deny Planned Development Permit (PDP) No. 268049, Conditional Use Permit (CUP) No. 268050, and Site Development Permit (SDP) No. 413591 (amending Conditional Use/Hillside Review/Resource Protection Overlay Zone Permit No. 87-1096 and Conditional Use Permit No. 4741/Site Development Permit No. 4742/Planned Development Permit No. 267312); and Multi-Habitat Planning Area Boundary Line Adjustment No. 414363, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Mike Westlake
Program Manager
Development Services Department



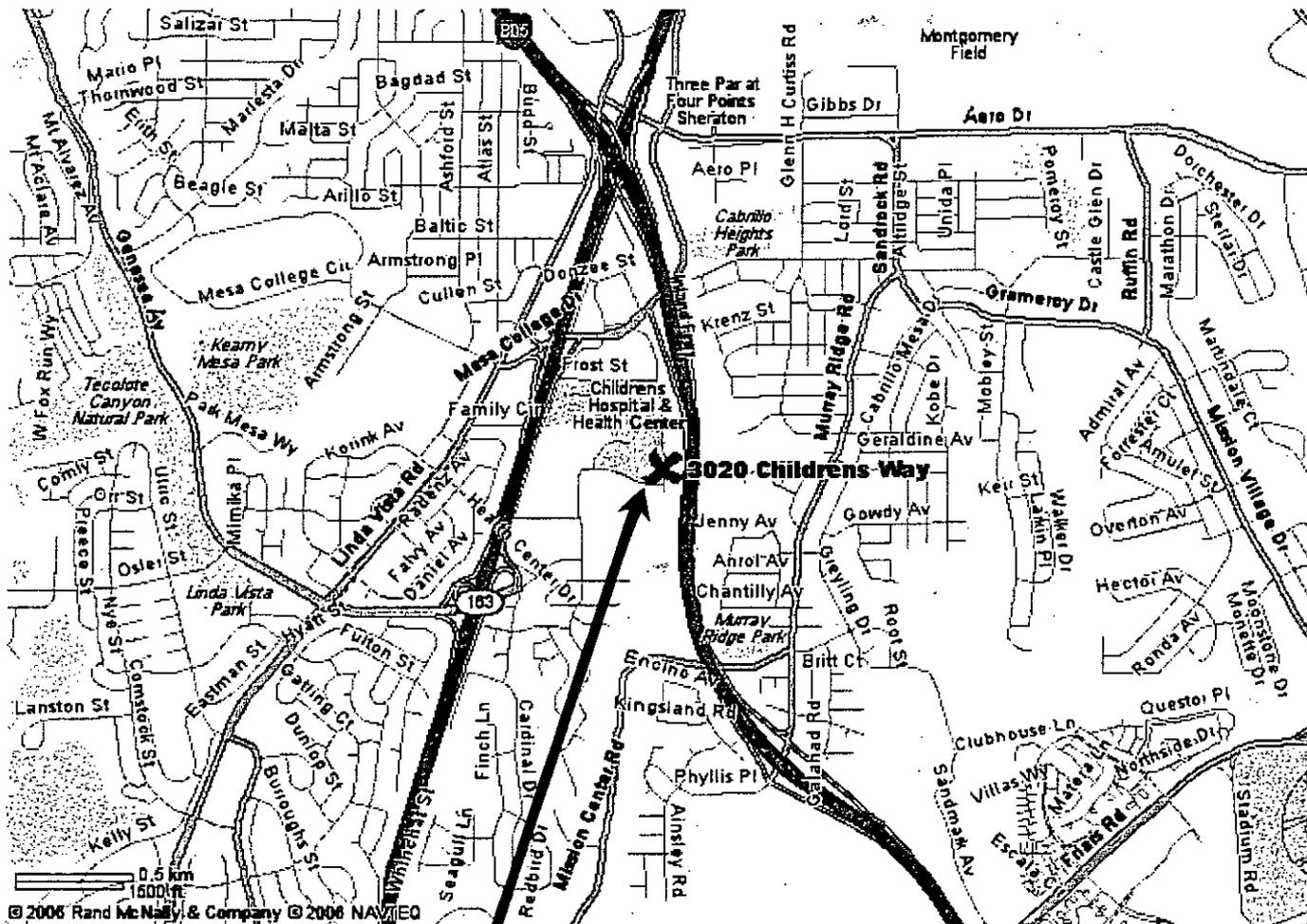
Anne B. Jarque
Development Project Manager
Development Services Department

ESCOBAR-ECK/ABJ

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Project Data Sheet
5. Rady Children's Hospital and Health Center/Emergency Generator Facility Exhibits
6. Parking Structure/Ronald McDonald House Addition Exhibits
7. MHPA Boundary Line Adjustment Exhibit
8. Draft Permit with Conditions
9. Draft Resolution with Findings
10. Copy of CUP/HR/RPOZ No. 87-1096
11. Copy of CUP 4741/SDP 4742/PDP 267312
12. Community Planning Group Recommendation
13. Ownership Disclosure Statement
14. Project Chronology

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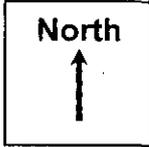


Project Site

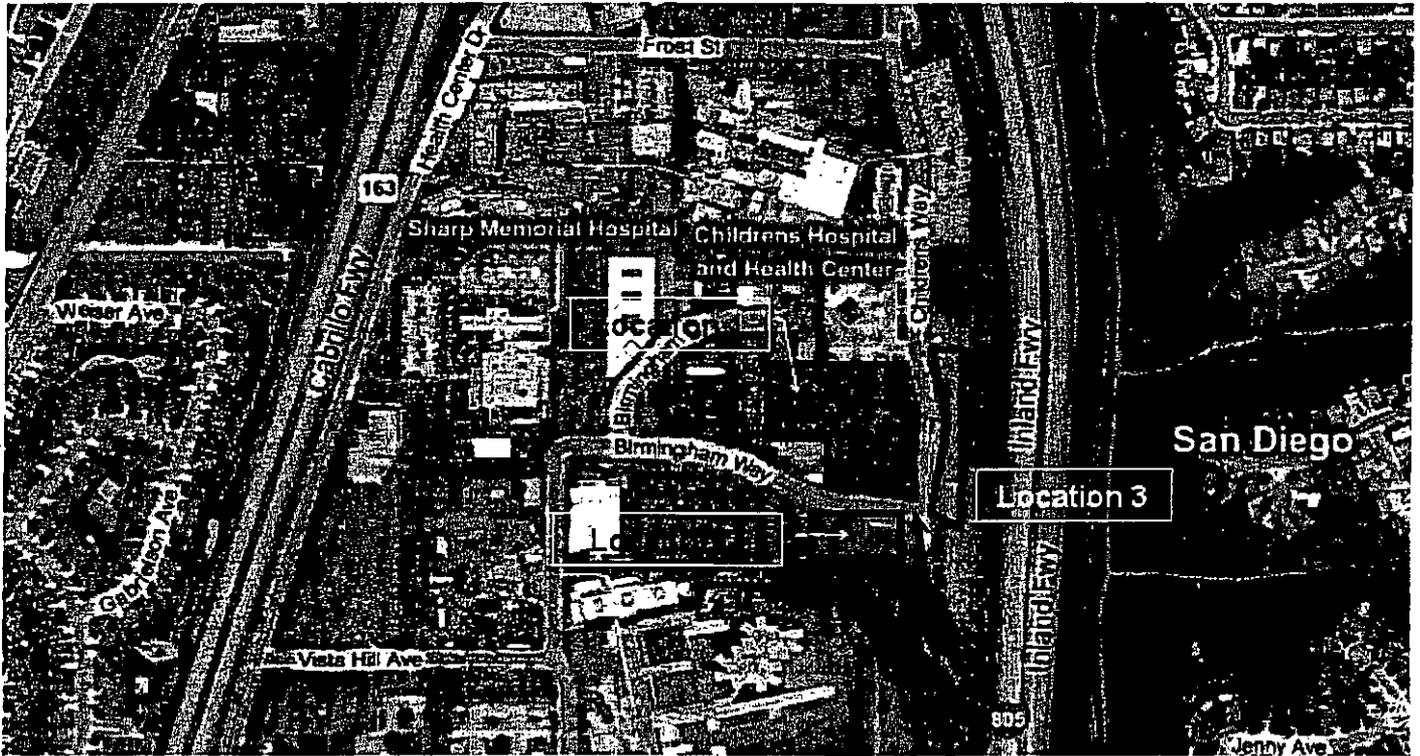


PROJECT LOCATION

Rady Children's Hospital and Health Center / Project No. 84791
3020 Children's Way



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Location 3

Project Site

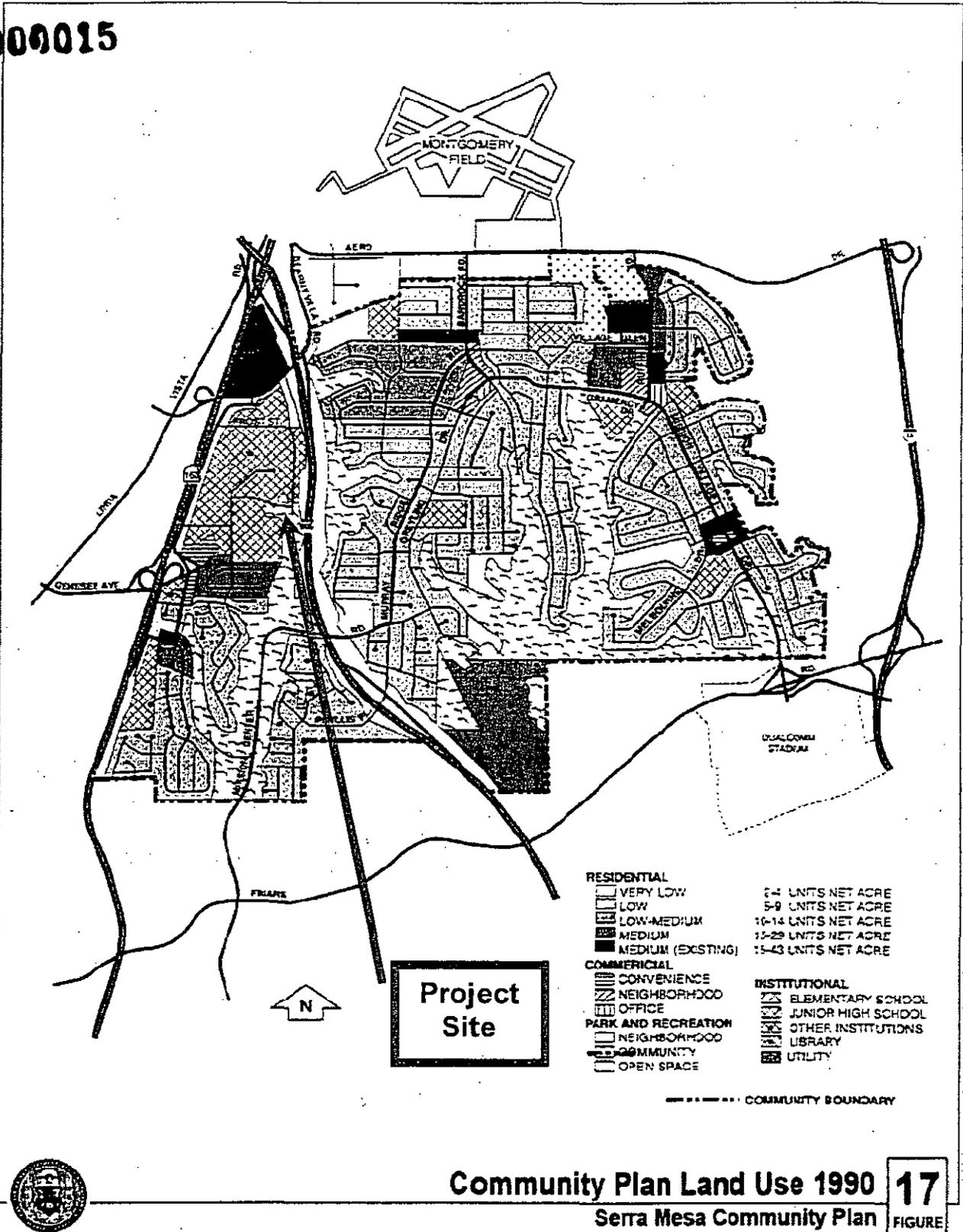


AERIAL PHOTO

Rady Children's Hospital and Health Center / Project No. 84791
3020 Children's Way

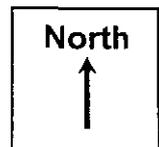


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COMMUNITY LAND USE MAP

Rady Children's Hospital and Health Center / Project No. 84791
3020 Children's Way



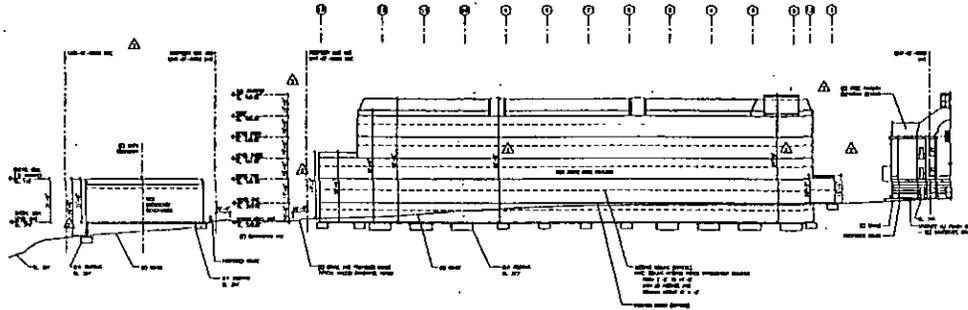
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PROJECT DATA SHEET

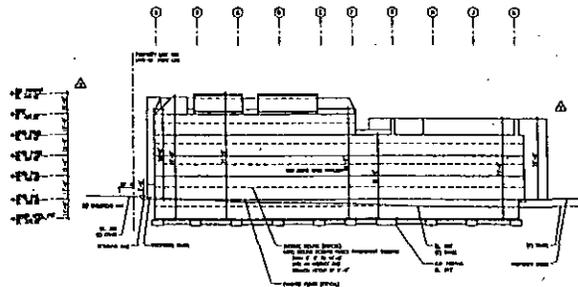
PROJECT NAME:	Rady Children's Hospital and Health Center	
PROJECT DESCRIPTION:	Construction of a new 272,274 square-foot, six-level building with deviations to the front setback and height requirements within the CO-1-2 zone; a new emergency generator facility to be located within environmentally sensitive lands; and 12 more guest units to the previously approved Ronald McDonald House (RMH) residential facility and parking structure (Project No. 2784).	
COMMUNITY PLAN:	Serra Mesa.	
DISCRETIONARY ACTIONS:	Conditional Use Permit (Amendment to CUP/HRP/RPOZ Permit No. 87-1096 and CUP 4741/SDP 4742/PDP No. 267312), Site Development Permit (ESL), Planned Development Permit, and MHPA Boundary Line Adjustment	
COMMUNITY PLAN LAND USE DESIGNATION:	Health – Institutional Complex	
<u>ZONING INFORMATION:</u>		
ZONE: CO-1-2 (Commercial-Office) HEIGHT LIMIT: 60-foot maximum height limit. LOT SIZE: 5,000 square-foot minimum lot size. FLOOR AREA RATIO: 1.50 maximum. FRONT SETBACK: 10 feet. SIDE SETBACK: 10 feet. STREETSIDE SETBACK: 10 feet. REAR SETBACK: 10 feet. PARKING: 1,035 spaces		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Commercial-Office; CO-1-2	Medical Office
SOUTH:	Commercial- Office; CO-1-2	Medical Office
EAST:	Freeway and Single-Family Residential further westward; RS-1-7	Freeway and SFR further west
WEST:	Commercial-Office; CO-1-2	Medical Office
DEVIATIONS OR VARIANCES REQUESTED:	1. Deviation to allow a maximum building height of 96 feet where a maximum of 60 feet is allowed. 2. Encroachment into the 10 foot setback. a) Curbside ladder access will observe a 6 foot, 8-inch setback. b) Open-air stairway will observe a zero-foot setback.	
COMMUNITY PLANNING GROUP RECOMMENDATION	On March 16, 2006, the Serra Mesa Community Planning Group voted 7-0-1 to approve this project, with no conditions.	

ATTACHMENT 5

NOTES



23 N-S BUILDING SECTION
SCALE: 1/4" = 1'-0"



21 E-W BUILDING SECTION
SCALE: 1/4" = 1'-0"

A+A PROJECT # 24017.00
SHEET 3 OF 25.

CHILDREN'S HOSPITAL
ANSTEIN + ALLEN
ARCHITECTS

Rady
Children's
Hospital
Columbus, OH

PROJECT NO. 24017.00
SHEET NO. 3 OF 25



Project No. 24017.00

24017.00 - Building Section 3
1/2" Scale, 1/4" = 1'-0"
DATE: 10/15/01

Building Consulting Engineers, Inc.
10000 North State Rd., Suite 100
Columbus, OH 43240
614.861.1111

James R. Anderson, P.E.
No. 12371, State of Ohio

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No. 12371, State of Ohio

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No. 12371, State of Ohio

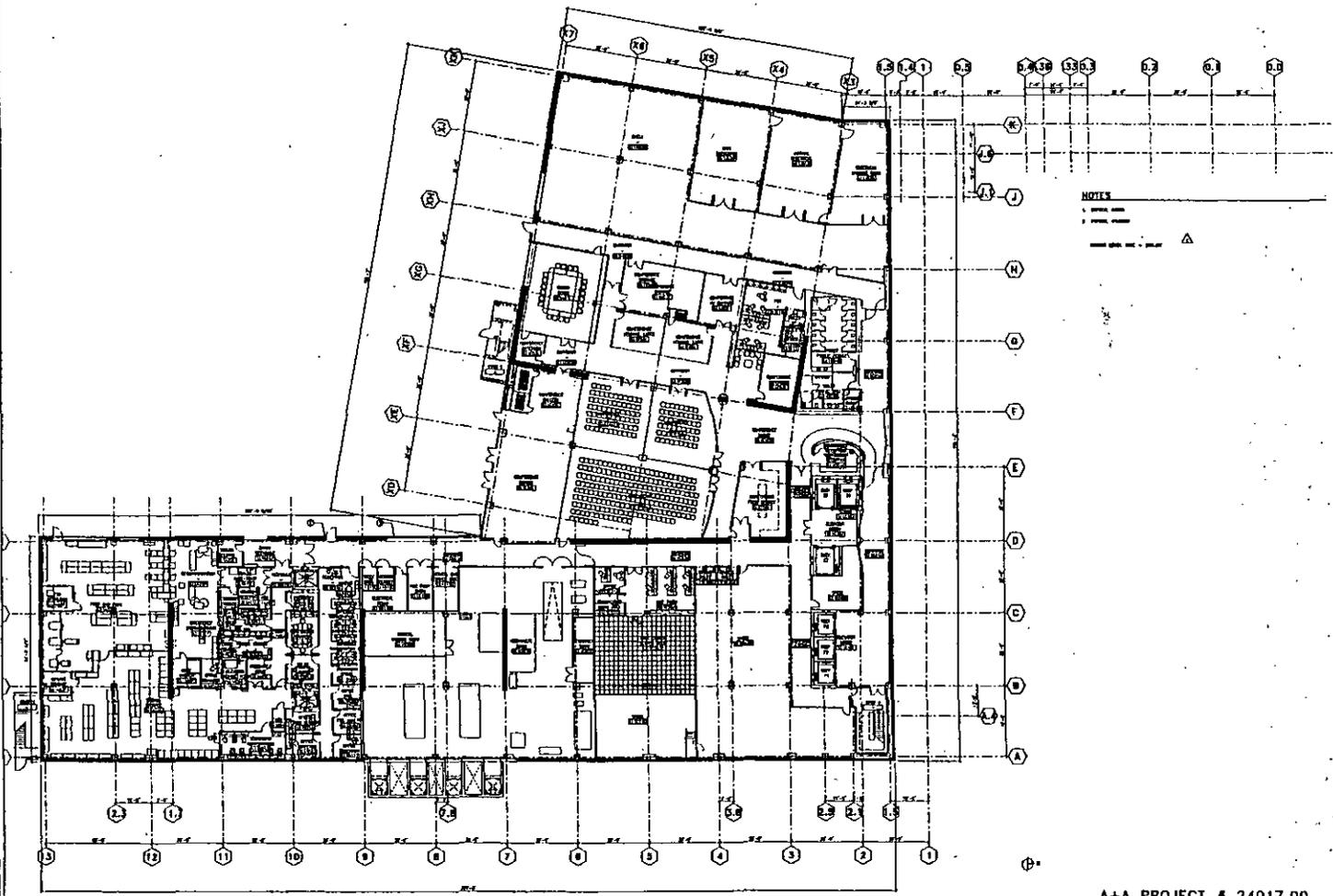
James R. Anderson, P.E.
No. 12371, State of Ohio

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No. 12371, State of Ohio

James R. Anderson, P.E.
No. 12371, State of Ohio

James R. Anderson, P.E.
No. 12371, State of Ohio

61000



NOTES
 - - - - -
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21 LOWER LEVEL ONE
 1/2" = 1'-0"

A+A PROJECT # 24017.00
 SHEET 4 OF 25

000020

CHILDREN'S HOSPITAL
 ANSHEA CENTER
 101 SOUTH GUYTON AVENUE
 CHICAGO, ILLINOIS 60607

Redy Children's
 Architects

CHICAGO OFFICE
 101 SOUTH GUYTON AVENUE
 CHICAGO, ILLINOIS 60607
 TEL: 312.235.1000
 FAX: 312.235.1001



Project No. 24017

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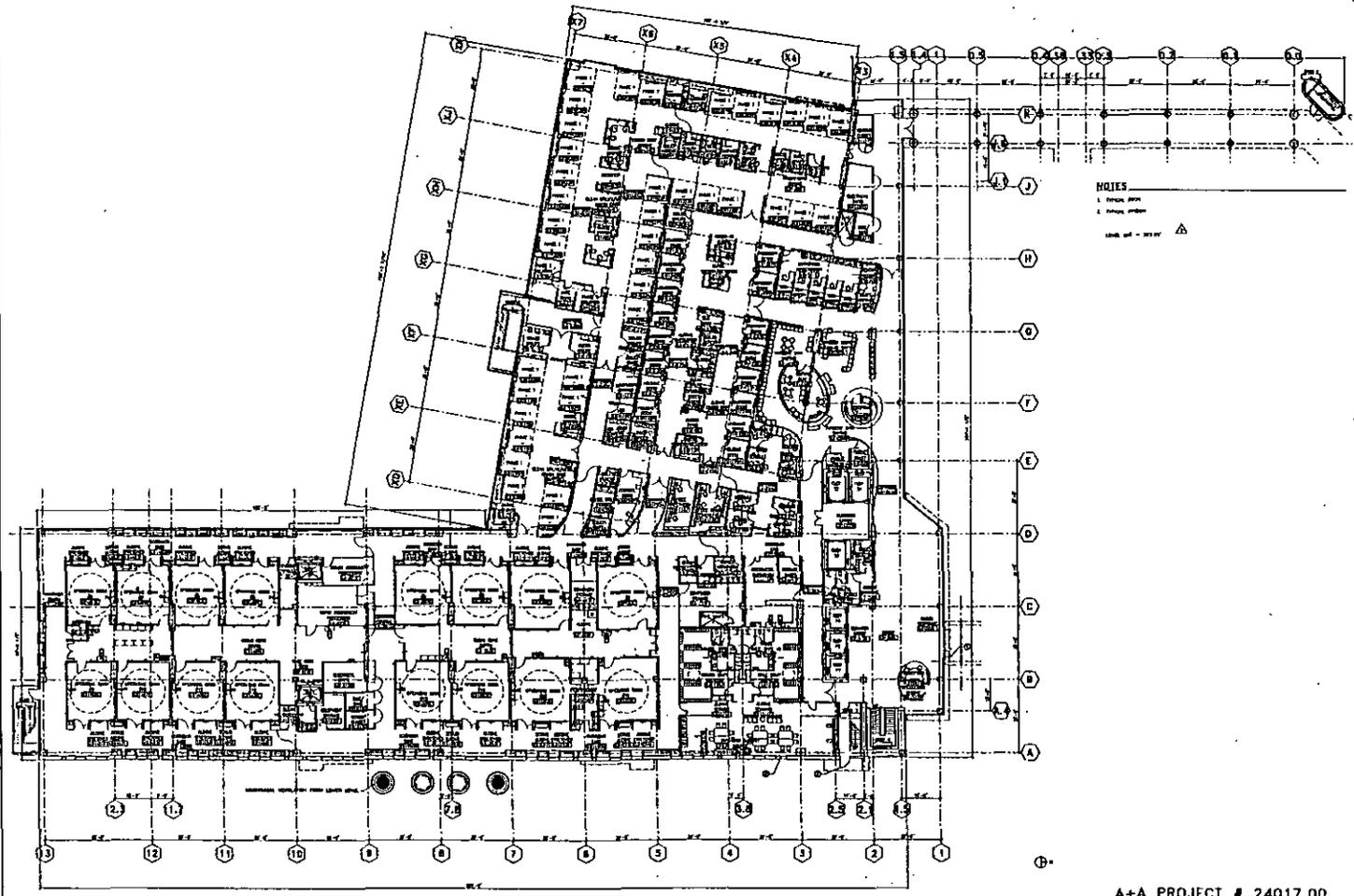
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A1.72

009021

ATTACHMENT 5



HOLES

- 1. Floor hole
- 2. Ceiling hole

Scale: 1/8" = 1'-0"

21 LEVEL ONE

A+A PROJECT # 24017.00
SHEET 5 OF 25.

NEW YORK STATE
CHILDREN'S HOSPITAL
AUSTIN PEASE CENTER

Rady Children's
1000 Walnut Street
Cincinnati, OH 45229
Tel: 513.636.1000
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Project No. 24017.00

Architect: **STV Architects**
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Structural Consulting Engineer: **WSP | Parsons**
1000 Walnut Street, Suite 1000
Cincinnati, OH 45229
Tel: 513.636.1000
Fax: 513.636.1001

Contract No. 24017.00

Scale: 1/8" = 1'-0"

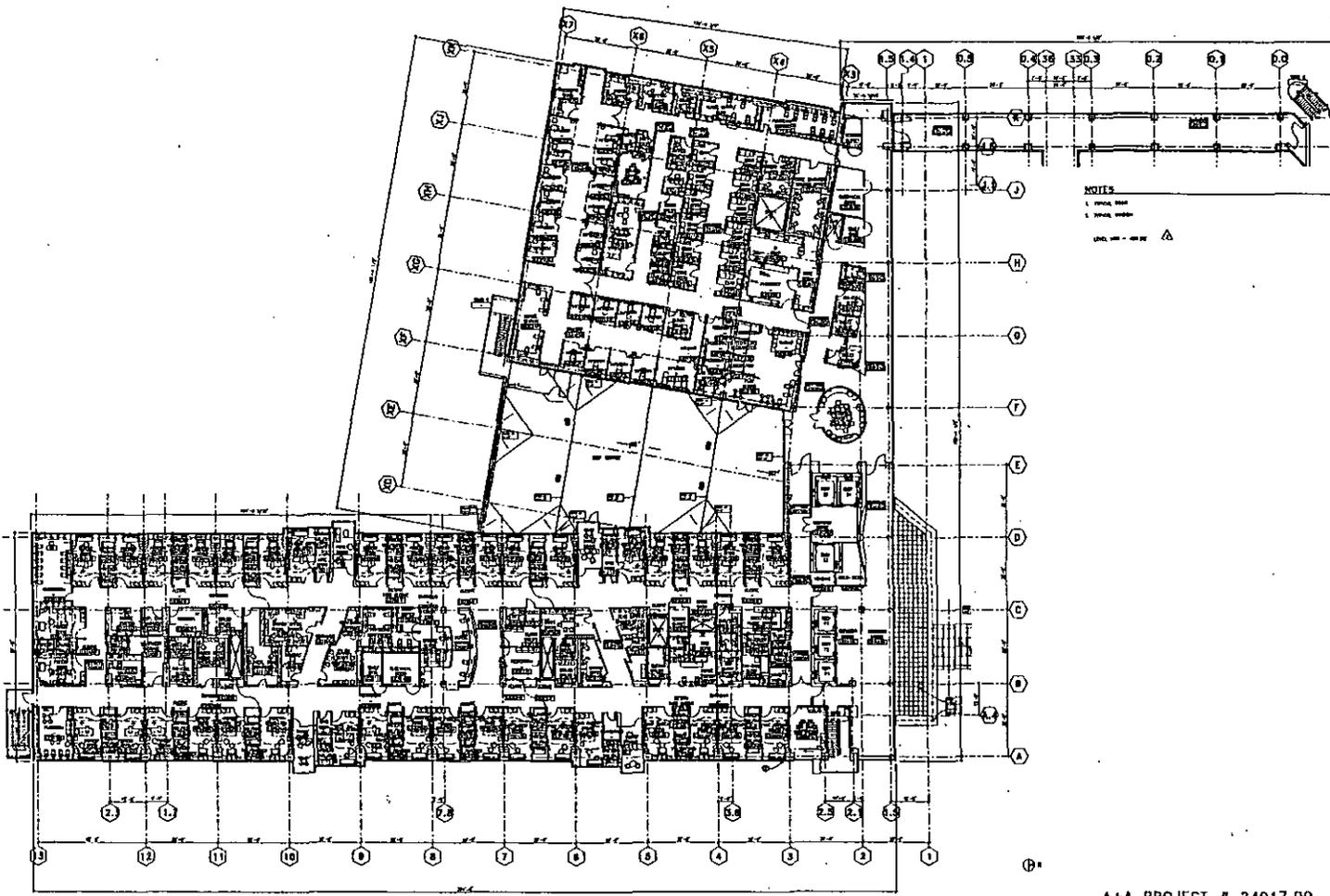
Sheet No. **Level One**

Project No. 24017.00

Sheet No. **Level One**

Scale: 1/8" = 1'-0"

A1.73



NOTES

1. FINISH, 2000
2. FINISH, 2000

DATE: 08-14-00

21 LEVEL TWO

A+A PROJECT # 24017.00
SHEET 6 OF 25

CHILDREN'S HOSPITAL
ANSHELIEN

Rady Children's

CHILDREN'S HOSPITAL
300 Ohio Avenue, Columbus, OH 43204
614.722.1000
www.radychildrens.com



Project No. 00000

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Structural Engineer
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MECHANICAL ENGINEER
2000 Lakeside Drive, Columbus, OH 43204
614.722.1000
www.radychildrens.com

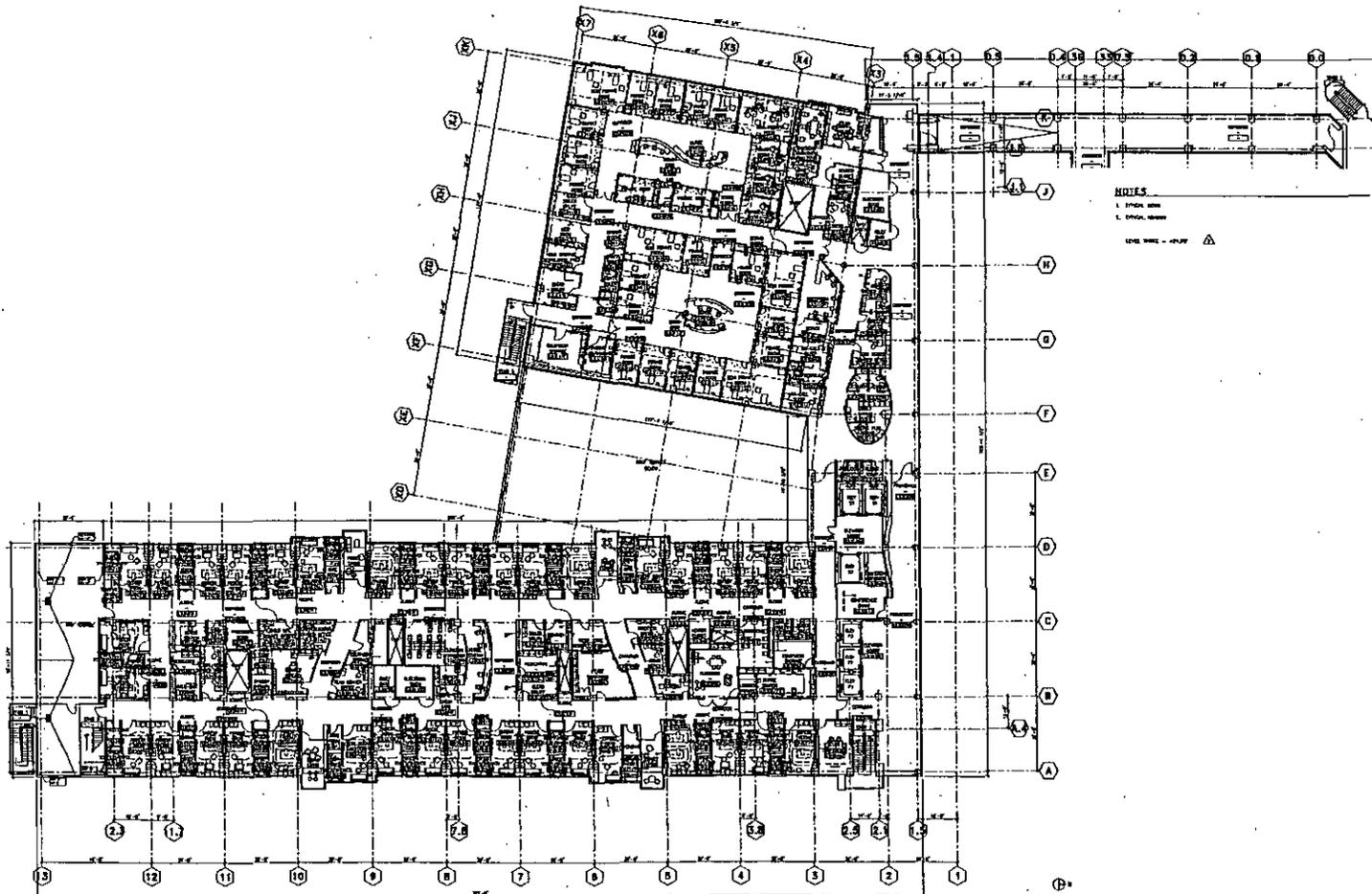
ELECTRICAL ENGINEER
2000 Lakeside Drive, Columbus, OH 43204
614.722.1000
www.radychildrens.com

DATE: August 14, 2000
Sheet No. Floor Plan Level Two

Scale: 1/8" = 1'-0"

A1.74

000022



NOTES
 1. 07/24/00, 0000
 2. 07/24/00, 0000
 3. 07/24/00, 0000

21 LEVEL THREE
 0000 0000

A+A PROJECT # 24017.00
 SHEET 7 OF 25

CHILDREN'S HOSPITAL
ANSHENBERGER
ARCHITECTS

Rady Children's
 Hospital
 333 East Broad Street
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Project No. 24017.00

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Engineer
 HOK
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 Columbus, OH 43260
 Tel: 614.221.1000
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Architectural Firm
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 Tel: 614.221.1000
 Fax: 614.221.1001

Scale: 1/8" = 1'-0"

A1.75

000023

000026

CHILDREN'S HOSPITAL
ANSHEN + SHEN

Rady
Children's



Project No. 24017.00
A+A PROJECT # 24017.00
SHEET 10 OF 25

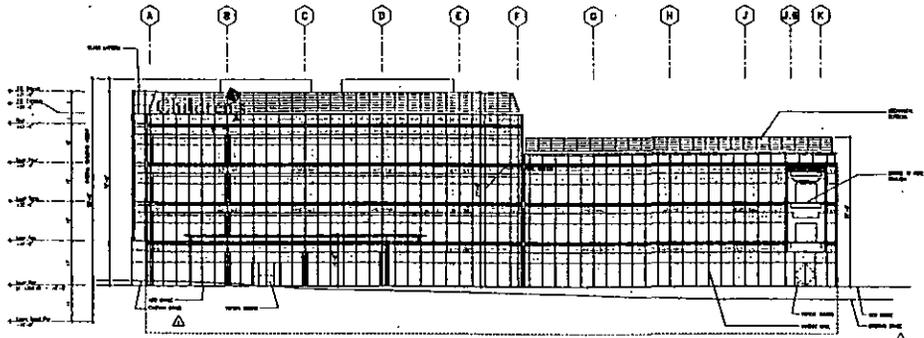
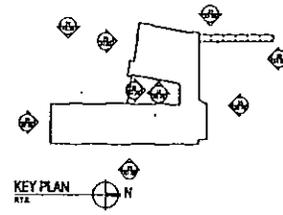
Architect
A.A. Anshen + Shen
10000 Eastman Avenue, Suite 100
Cincinnati, Ohio 45228
Tel: (513) 763-1000
Fax: (513) 763-1001

Date: August 2001

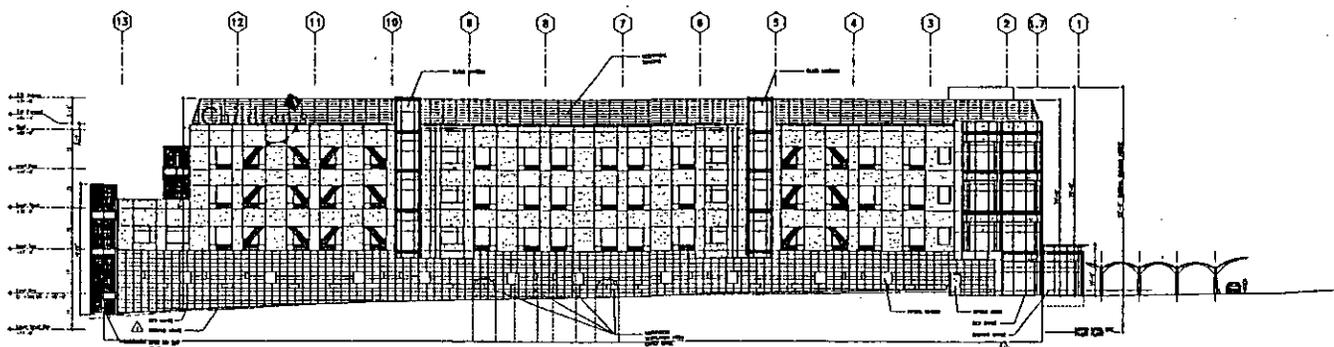
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Sheet No.
Elevation
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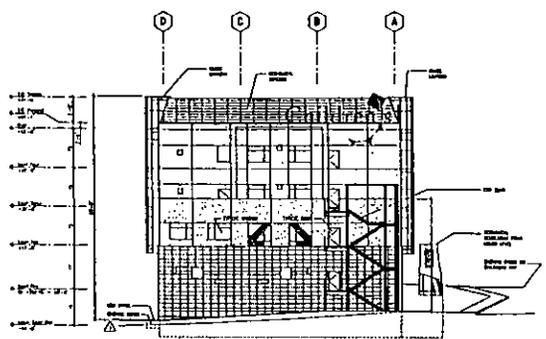
ATTACHMENT 5



25 NORTH ELEVATION
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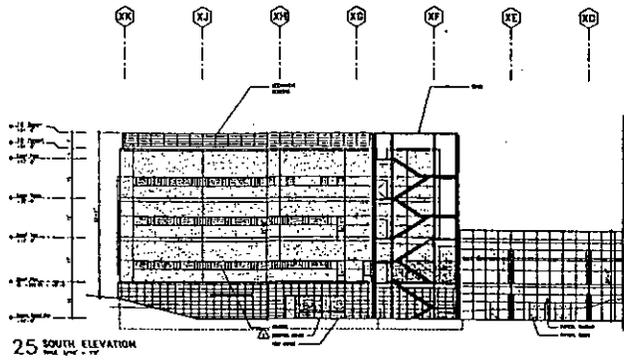


23 EAST ELEVATION
Scale: 1/8" = 1'-0"

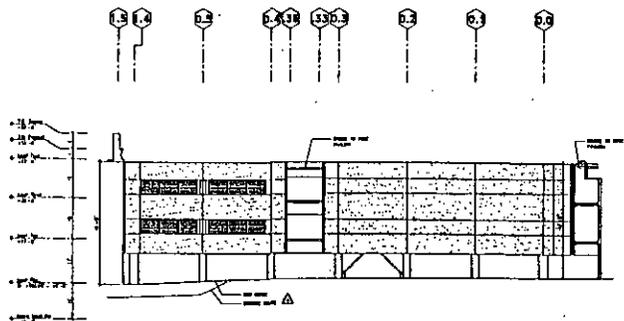


21 SOUTH ELEVATION
Scale: 1/8" = 1'-0"

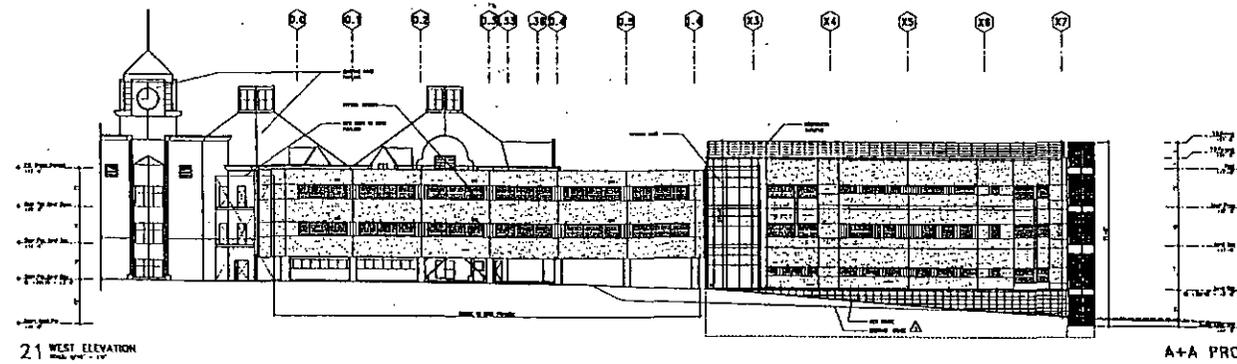
A+A PROJECT # 24017.00
SHEET 10 OF 25



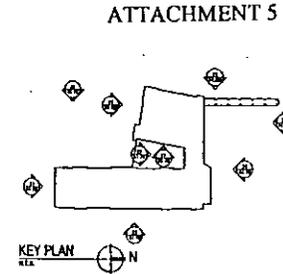
25 SOUTH ELEVATION



22 EAST ELEVATION OF CONNECTION BRIDGE



21 WEST ELEVATION



A+A PROJECT # 24017.00
SHEET 12 OF 25

CHILDREN'S HOSPITAL
ANSHIE-KLEINER
11100 UNIVERSITY BLVD. SUITE 100
MEMPHIS, TN 38163
Rady Children's
11100 UNIVERSITY BLVD. SUITE 100
MEMPHIS, TN 38163



Project No. 24017
Architect
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Structural Consulting Systems, Inc.
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Professional Seal
11100 UNIVERSITY BLVD. SUITE 100
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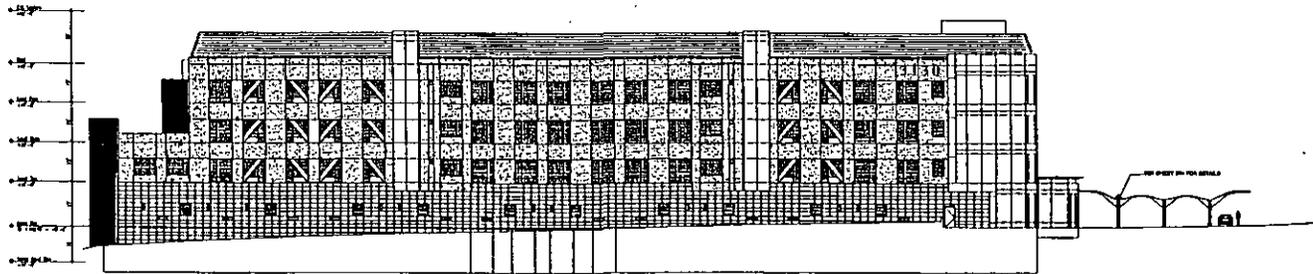
11100 UNIVERSITY BLVD. SUITE 100
MEMPHIS, TN 38163
TEL: 901-596-1000
FAX: 901-596-1001

Sheet No.
Exterior
Elevations

Scale: 1/8" = 1'-0"

A1.80

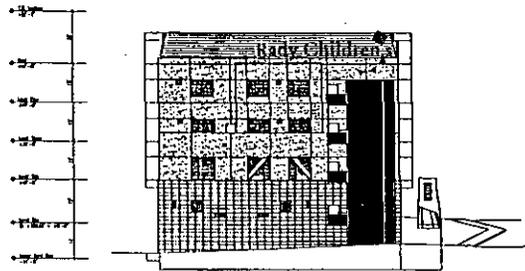
000028



1 East Elevation 1/18"=1'-0"

SIGN AREA CALCULATION PER SAN DIEGO MUNICIPAL CODE CHAPTER 14, ARTICLE 2 DIVISION 12
(STREET FRONTAGE LENGTH X 3) / 2 = ALLOWABLE SIGN AREA (SIGN AREA MAX. 176SF)

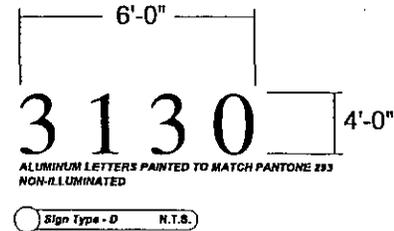
ALLOWABLE - (360 L.F. X 3) / 2 = 540 S.F. (175 S.F. MAX.)
PROPOSAL - 90.5S.F.



2 South Elevation 1/18"=1'-0"

SIGN AREA CALCULATION PER SAN DIEGO MUNICIPAL CODE CHAPTER 14, ARTICLE 2 DIVISION 12
(STREET FRONTAGE LENGTH X 3) / 2 = ALLOWABLE SIGN AREA (SIGN AREA MAX. 176SF)

ALLOWABLE - (95 S.F. X 3) / 2 = 142.5 S.F.
PROPOSAL - 90.5S.F.



000031

CHILDREN'S HOSPITAL
ANSHEN ELLIEN

Rady Children's
Logo

CHILDREN'S HOSPITAL
3600 La Jolla Village Drive
San Diego, CA 92161
Tel: 619 594 1111

Project No. 10000

DATE: 08/11/10

BY: [Signature]

Checked: [Signature]

Scale: 1/8" = 1'-0"

Sheet No. S01

BUILDING ELEVATIONS

S01

PLANT LEGEND:

SYMBOL	CODE	QTY	SCIENTIFIC NAME, COMMON NAME	SEX	HT	CA	SPREAD	REMARKS
TREES								
○	CPV-10A	37	Caryopteris intermedia, Coral Weed	3" Dia	20'	10-11-12'	12'	
○	DRY-08	3	Syzygium volucre-pall, Candy Tree	3" Dia	20'		12'	
○	JAC-10A	13	Jacquinia intermedia, Jacquinia	3" Dia	20'	1-10'-12'	20'	
○	LAG-10A	3	Lagerströmia indica, Crown Plant	3" Dia	20'		12'	
○	CLM-10A	1	Clusia rosea, Holy Oak	3" Dia	20'		20'	
○	CDP-10A	1	Carissa indica, Purple Dogwood	3" Dia	20'		12'	
○	WHE-10A	11	Wrightia indica, Cultivar Pink Pine	3" Dia	20'		12'	
SHRUBS								
○	AGA-10A	41	Agave americana, Century Lily	1 GA.	3.5'		7'	
○	BUR-10A	22	Bursera indica, Gumbo Limbo	1 GA.	4'		7'	Planted to Hedge
○	CPV-10A	3	Caryopteris indica, Coral Weed	1 GA.	4'		7'	
○	CLM-10A	13	Clusia rosea, Holy Oak	1 GA.	4'		7'	
○	CYC-10A	26	Cycas indica, Palm Tree	1 GA.	4'		7'	
○	DEW-10A	26	Clusia indica, Holy Oak	1 GA.	4'		7'	
○	HET-10A	27	Heterostemma indica, Heterostemma	1 GA.	4'		7'	
○	HOU-10A	22	Housetonia indica, Coral Tree	1 GA.	4'		7'	
○	IBI-10A	51	Isbergia indica, Douglas Elm	1 GA.	4'		7'	
○	INL-10A	43	Inula indica, Tree Lily	1 GA.	4'		7'	
○	INL-10A	23	Inula indica, Tree Lily	1 GA.	4'		2.2'	
○	ITI-10A	46	Itinella indica, Tree Lily	1 GA.	4'		7'	Planted to Hedge
○	ROD-10A	282	Roseodora indica, Tree Lily	1 GA.	4'		1.3'	
○	PHI-10A	29	Philodendron indica, Tree Lily	1 GA.	10-12'		8'	
PERENNIALS								
■	CHR-10A	25-100	Chromolaena indica, Tree Lily	1 GA.			20' dia.	
■	PHI-10A	25-100	Philodendron indica, Tree Lily	1 GA.			10' dia.	
■	CPV-10A	25-100	Caryopteris indica, Tree Lily	1 GA.			10' dia.	
■	PHI-10A	25-100	Philodendron indica, Tree Lily	1 GA.			2.2'	
■	TURF	11-100	Turf					
GRASS/PAVEMENT								
■	APP-10A	220	Apparent				12' dia.	
■	GR-10A	220	Grass				12' dia.	
■	TR-10A	220	Turf				20' dia.	
■	APP-10A	220	Apparent				20' dia.	

NOTE: NO SHRUBS OR PERENNIALS ARE TO BE ALLOWED ADJACENT TO THE MAIN P.A.

GENERAL LANDSCAPE NOTES

- A THOROUGH SOIL ANALYSIS BY A QUALIFIED AGRICULTURIST WILL INFLUENCE FINAL PLANT SELECTION, SOIL AMENDMENT, IRRIGATION SYSTEM DESIGN AND USE, AND FUTURE MAINTENANCE PRACTICES.
- ALL LANDSCAPE MAINTENANCE SHALL BE PROVIDED BY THE OWNER. THE SOIL, MAINTENANCE PERSONNEL WILL BE SUBJECT TO SUPERVISION TO INSURE THAT ALL SPECIFICATIONS ARE MET. THIS INCLUDES REMOVAL OF WEEDS, WEEDING, REPAIRS OF PLANT REPLACEMENT WHERE NECESSARY, WATER AND DISEASE CONTROL, AND CONTINUED FERTILIZATION AS RECOMMENDED BY THE AGRICULTURIST.
- PLANT MATERIALS HAVE BEEN SELECTED THAT ARE SUITABLE FOR THE CLIMATE, AND THAT INTEGRATE WITH THE ARCHITECTURAL DESIGN.
- LANDSCAPE DRIVING SHALL BE INSTALLED IN PLANTING AREAS AS NEEDED TO PREVENT DAMAGE TO EXISTING DRIVEWAYS AND PAVED SURFACES.
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5' OF PUBLIC IMPROVEMENTS.
- ALL TREES WILL BE PLANTED IN A MINIMUM OF 40 S.F. OF SPACE.

PLANTING NOTES

- ALL UNDERGROUND UTILITIES SHALL BE LOCATED BEFORE START OF WORK.
- ALL CHECKS SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLANTING OF ANY PLANT MATERIALS.
- CONTRACTOR SHALL LAYOUT TREES, SHRUBS AND UNDERCOVERS AS SHOWN ON THE PLANS. LAYOUT OF PLANT MATERIALS, WHEN STILL IN CONTAINERS, SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF ANY PLANTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY DAMAGE OR RESTRICTION TO EXISTING PLANT MATERIALS AND TO RESTORE IT TO ITS ORIGINAL CONDITION TO THE SATISFACTION OF THE ENGINEER.
- THE AREA OF UNDERCOVER IS APPROXIMATE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE REQUIRED NUMBER OF PLANTS TO COVER THE AREA WHICH IS SHOWN ON THE PLANS.
- UPON RECEIPT OF "NOTICE TO PROCEED", THE CONTRACTOR SHALL ORDER PLANT MATERIAL TO BE DELIVERED QUANTITIES AND SIZES OF PLANT MATERIALS WILL BE AVAILABLE. COPY OF THE NURSERY INVOICE SHALL BE SUBMITTED TO THE PROJECT ENGINEER.
- ALL PLANTS SHALL BE OF THE SEXUAL SPECIES, VARIETY, CULTURE, AND SIZES AS SHOWN ON THE PLANS. UNDER NO CIRCUMSTANCES SHALL THERE BE ANY SUBSTITUTION OF PLANTS OR SIZES FOR THOSE LISTED ON THE PLANS, EXCEPT WITH THE EXPRESS WRITTEN CONSENT OF THE PROJECT LANDSCAPE ARCHITECT.
- ALL TREES SHALL BE TRUE TO NAME, AND ONE OF EACH BUNDLE OR LOT SHALL BE TAGGED WITH THE NAME AND SIZE OF THE PLANT, IN ACCORDANCE WITH THE STANDARDS OF PRACTICE RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- AFTER PLANTING IS COMPLETE, FURNISH AND SPREAD MULCH TO 2" DEPTH OVER THE ENTIRE PLANTED AREA. MULCH SHALL BE NITROGEN TREATED 1/4" - 1/2" SIZE FIBER BARK TREATED WITH A WEEDING AGENT. QUANTITY OF FIBER BARK SHALL BE THE CONTRACTOR'S RESPONSIBILITY. SUBMIT SAMPLE PRIOR TO DELIVERY TO THE PROJECT SITE.
- EXISTING PLANTING TO REMAIN WHICH IS DAMAGED DURING CONSTRUCTION, SHALL BE RESTORED TO PRE-EXISTING CONDITIONS WITH THE SAME PLANT MATERIALS IN MATURE SIZES.
- EXISTING TURF DAMAGED DURING IRRIGATION TRENCHING SHALL BE RESTORED OR REPAIRED TO MATCH EXISTING TURF.
- IMPORT TOPSOIL SHALL CONFORM TO THE CITY OF SAN DIEGO STANDARD SPECIFICATIONS. A SAMPLE OF THE TOPSOIL, ALONG WITH A COMPLETE SOIL ANALYSIS REPORT BY A HORTICULTURAL CONSULTANT SHALL BE APPROVED BY THE PROJECT ENGINEER PRIOR TO DELIVERY TO THE SITE.
- CALIPER OF TREES SHALL BE MEASURED 8" ABOVE FINISH GRADE.
- ALL UNDERCOVERS SHALL BE TRIANGULARLY SPACED WITHIN EACH PLANTING AREA.
- ALL TREES SHALL BE PLANTED A MINIMUM OF 10' FEET FROM P.C.C. WALKS AND DRIVEWAYS. NEW TREES IN TURF AREAS ONLY ALONG A FORCE LINE SHALL BE PLANTED A MINIMUM OF 15' FROM THE FENCE AND 20' AWAY.
- MINIMUM TREE SEPARATION DISTANCE:
IMPROVEMENT/UNDERGROUND UTILITY TO STREET LINE:
TRAFFIC SIGNALS/STOP SIGNS - 20 FT
UNDERGROUND UTILITY LINES - 5 FT
ABOVE GROUND UTILITY STRUCTURES - 10 FT
DRIVEWAYS (ENTREES) - 10 FT
UNDERCOVERS - 25 FT
SEWER - 10 FT.

IRRIGATION NOTES

- THE IRRIGATION SYSTEM IS A PERMANENT BELLOW-DROOP, FULLY AUTOMATIC IRRIGATION SYSTEM.
- THIS SYSTEM WILL BE CONTROLLED BY A DUAL PROGRAM ELECTRONIC TIME CLOCK AND REMOTE CONTROL VALVES. POP-UP TYPE HEADS WILL BE USED ADJACENT TO DRIVEWAYS AND ROADWAYS. BUBBLER HEADS WILL BE USED FOR LANDSCAPED AREAS LESS THAN 6" WIDE. THE SYSTEM WILL BE INSTALLED AS SOON AS POSSIBLE AFTER CONSTRUCTION AND PRIOR TO PLACEMENT OF PLANT MATERIALS.
- ALL WORK SHALL CONFORM TO LOCAL AND STATE CODES AND ORDINANCES. ALL IRRIGATION WORK SHALL CONFORM TO THE LANDSCAPE SECTION OF THE STANDARD PLAN DETAILS FOR PUBLIC WORKS CONSTRUCTION, CITY OF SAN DIEGO AND THE PLANS AND DETAILS FOR THIS PROJECT.
- THE IRRIGATION SYSTEM IS DESIGNED TO OPERATE ON THE MINIMUM EXISTING WATER PRESSURE OF THE WATER MAIN.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND WATER PRESSURE. IF ANY INADEQUACY EXISTS BETWEEN DESIGN AND ACTUAL FIELD CONDITIONS, NOTIFY THE PROJECT ENGINEER PRIOR TO ANY INSTALLATION.
- THE CONTRACTOR SHALL NOTIFY THE CITY LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS PRIOR TO START OF ANY IRRIGATION WORK.
- CONTROL WIRES SHALL BE 1/4 GAUGE (BID), SEPARATE WIRES SHALL RUN FROM THE CONTROLLER TO EACH VALVE. COMMON COMMON WIRES SHALL BE 1/2 GAUGE (BID). ALL CONTROL WIRES LEADING FROM MAINS TO CONTROLLER MUST BE LOCATED IN A MINIMUM OF 12" (2) FEET INTO EVERY VALVE BOX INTERCEPTED ON THE WAY TO THE CONTROLLER.
- SPICES IN THE FIELD SHALL BE MADE EXCLUSIVELY WITH RAINBOW "BUMP-FIT" CONNECTIONS OR EQUALLY SPAN PRODUCTS, INC. "BUMP-FIT" IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS OR APPROVED EQUAL.
- ALL PLASTIC FITTINGS SHALL BE A MINIMUM OF 1/2" APART TO FACILITATE REMOVAL AND REPLACEMENT OF INDIVIDUAL FITTINGS.
- TRENCHING DEPTHS FOR IRRIGATION PIPES ARE AS FOLLOWS: MAIN-14", ALL LATERALS-10". ALL DIMENSIONS ARE FROM THE TOP OF THE PIPE. TRENCHING DEPTHS OF POTABLE WATER SHALL BE 24".
- ALL MAINS, LATERALS, AND CONTROL WIRES SHALL BE INSTALLED IN SCHEDULE 40 P.V.C. SLEEVES (OF APPROPRIATE SIZE) UNDER ALL A.C. AND P.C.C. PAVEMENT.
- THE CONTRACTOR SHALL MARK THE LOCATION OF EACH O.C.V. AND R.E.V. ON TOP OF CURB WITH A REFLECTIVE DELINEATOR BY "XINGSONITE" OR APPROVED EQUAL. EPOXY IN PLACE. O.C.V.'S AND R.E.V.'S SHALL BE MARKED AND CLEAR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE AND OFFICIAL EVIDENCE OF ALL PLANTED AREAS, INCLUDING EACH SYSTEM TO OFFICIAL CONTRACT, NEARLY EACH A.C. ROAD AND NOZZLE AS DIRECTED ON SITE BY THE ENGINEER.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE PORTION OF WORK WITH THE UNDERGROUND ELECTRICAL CONTRACTOR TO AVOID CONTACTS.
- GATE VALVES SHALL BE INSTALLED IN A ROUND CONCRETE BOX WITH LOCKABLE STEEL LID, INSTALLED WITH 2 CUBIC FEET OF DRAIN ROCK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE AND OFFICIAL EVIDENCE OF ALL PLANTED AREAS, INCLUDING EACH SYSTEM TO OFFICIAL CONTRACT, NEARLY EACH A.C. ROAD AND NOZZLE AS DIRECTED ON SITE BY THE ENGINEER.
- CUT AND CAP EXISTING 4" IRRIGATION MAIN AND ABANDON EXISTING IRRIGATION LATERALS IN PLACE AS INDICATED ON PLANS. SALVAGE IRRIGATION HEADS, VALVES, ETC.

MAINTENANCE NOTES

ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF WEEDS AND LITTER AND ALL PLANT MATERIAL SHALL BE HANDLED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED FOR THE CONDITIONS OF THE PLANS.

000041

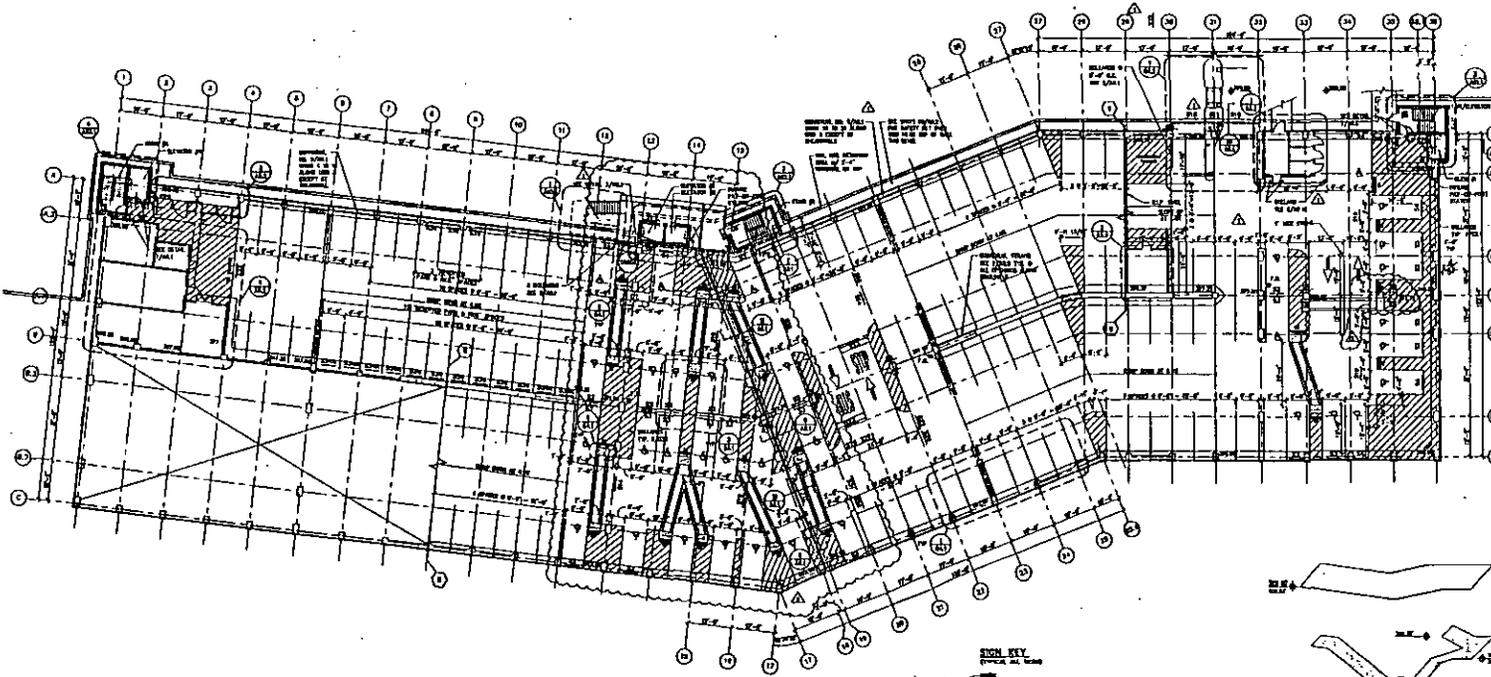
CHILDREN'S HOSPITAL
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 WWW: www.radychildrens.org

Standard Notes & Legends

L1.2

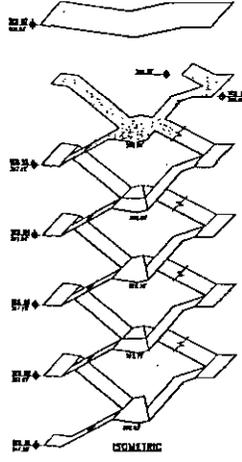
000044



TIER B6 PLAN
SCALE 1/8" = 1'-0"

SECTION KEY
 (Symbol) = SECTION
 (Symbol) = FACE OF WALL
 (Symbol) = FACE OF DOOR

ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED.
 DIMENSIONS SHALL BE GIVEN TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE SPECIFIED.
 ALL DIMENSIONS SHALL BE GIVEN TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE SPECIFIED.



McCarthy Building
Companies Inc.
1234 5th Street
San Diego, CA 92101
Tel: 619-555-1234



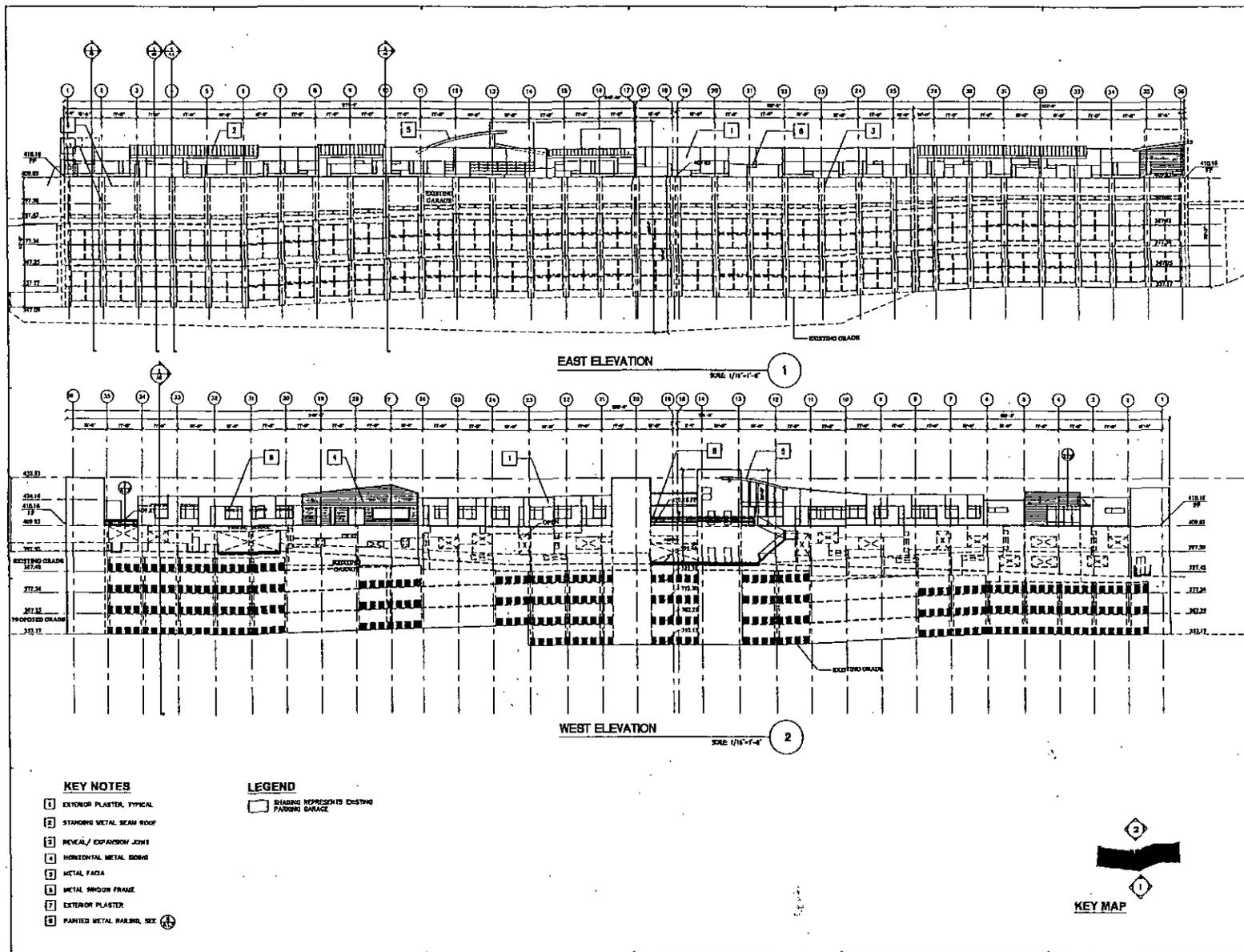
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2	11/10/08	REVISION	JL	ML
3	12/15/08	REVISION	JL	ML
4	01/15/09	REVISION	JL	ML
5	02/15/09	REVISION	JL	ML
6	03/15/09	REVISION	JL	ML
7	04/15/09	REVISION	JL	ML
8	05/15/09	REVISION	JL	ML
9	06/15/09	REVISION	JL	ML
10	07/15/09	REVISION	JL	ML
11	08/15/09	REVISION	JL	ML
12	09/15/09	REVISION	JL	ML
13	10/15/09	REVISION	JL	ML
14	11/15/09	REVISION	JL	ML
15	12/15/09	REVISION	JL	ML
16	01/15/10	REVISION	JL	ML
17	02/15/10	REVISION	JL	ML
18	03/15/10	REVISION	JL	ML
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23	08/15/10	REVISION	JL	ML
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27	12/15/10	REVISION	JL	ML
28	01/15/11	REVISION	JL	ML
29	02/15/11	REVISION	JL	ML
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98	11/15/16	REVISION	JL	ML
99	12/15/16	REVISION	JL	ML
100	01/15/17	REVISION	JL	ML

CHILDREN'S HOSPITAL
 PARKING STRUCTURE
 SAN DIEGO CALIFORNIA

TIER B6
 PLAN
 A1.6

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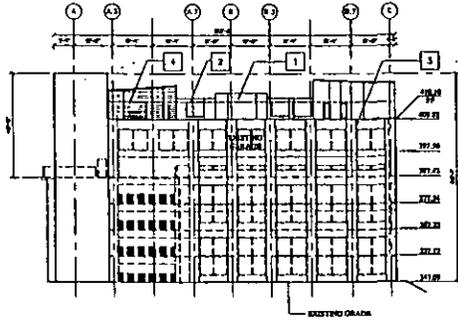
- KEY NOTES**
- 1 EXTERIOR PLASTER, TYPICAL
 - 2 STANDING METAL SEAM ROOF
 - 3 REVEAL / EXPANSION JOINT
 - 4 HORIZONTAL METAL BOND
 - 5 METAL FACIA
 - 6 METAL BRIDGE FRAME
 - 7 EXTERIOR PLASTER
 - 8 PAINTED METAL RAILING, SEE 10

- LEGEND**
- ▭ SHADING REPRESENTS EXISTING PARKING GARAGE

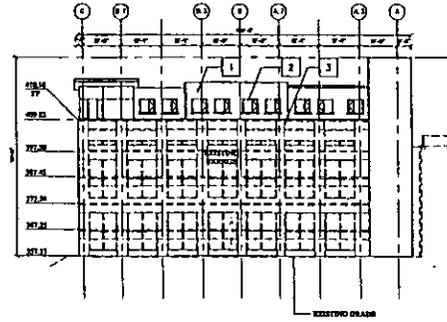


<p>RONALD MCDONALD HOUSE ADDITION TO CHILDREN'S HOSPITAL PARKING GARAGE SAN DIEGO, CALIFORNIA</p>								
<p>JWDA</p>								
<p>EXTERIOR ELEVATIONS</p>								
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>DATE</td> <td>03-21-08</td> </tr> <tr> <td>SCALE</td> <td>1/16" = 1'-0"</td> </tr> <tr> <td>DRAWN BY</td> <td>JCM</td> </tr> <tr> <td>CHECKED BY</td> <td>2481</td> </tr> </table>	DATE	03-21-08	SCALE	1/16" = 1'-0"	DRAWN BY	JCM	CHECKED BY	2481
DATE	03-21-08							
SCALE	1/16" = 1'-0"							
DRAWN BY	JCM							
CHECKED BY	2481							
<p>A-5A</p>								

000047



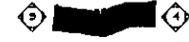
SOUTH ELEVATION
SCALE 1/8"=1'-0" 3



NORTH ELEVATION
SCALE 1/8"=1'-0" 4

- KEY NOTES**
- 1 EXTERIOR PLASTER, TYPICAL
 - 2 METAL WINDOW FRAME
 - 3 REVEAL/ EXPANSION JOINT
 - 4 HORIZONTAL METAL BEAM

- LEGEND**
- SHADING REPRESENTS EXISTING PARKING GARAGE



KEY MAP

RONALD MCDONALD HOUSE
ADDITION TO CHILDREN'S
HOSPITAL PARKING GARAGE
SAN DIEGO, CALIFORNIA



JWDA
JAMES W. DAVIS ARCHITECTS
ARCHITECTS

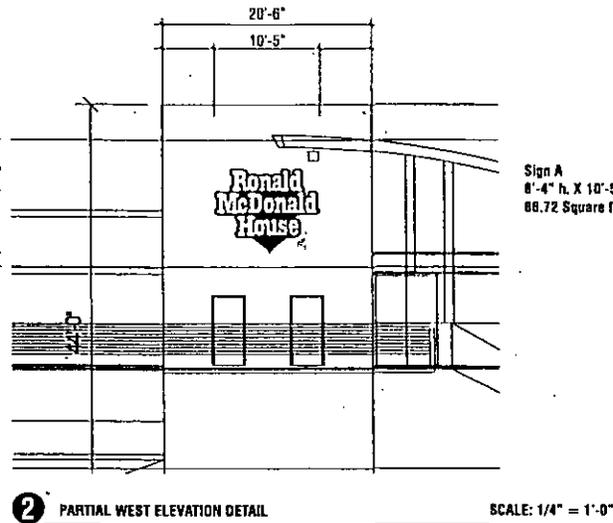
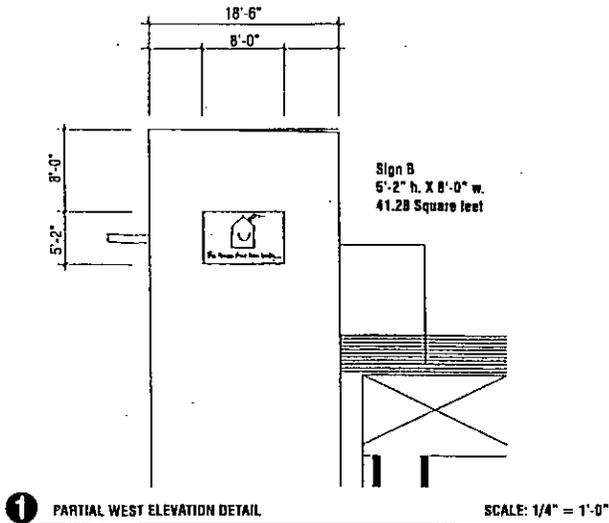
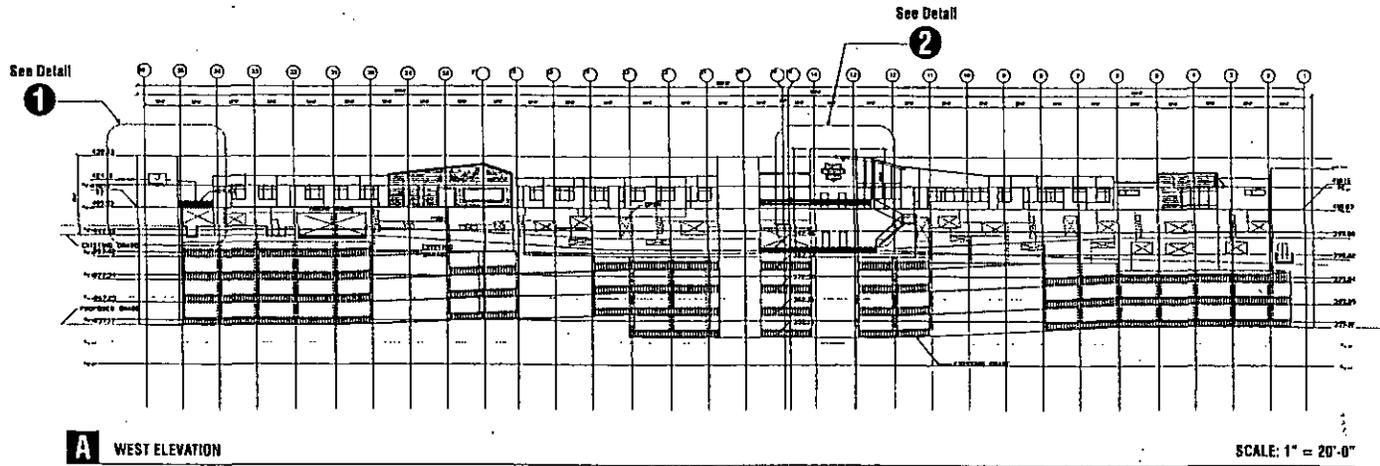


EXTERIOR ELEVATIONS

DATE	03-21-08
SCALE	1/8"=1'-0"
DESIGNER	JWDA
PROJECT	2401

A-5B

000048



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Long Beach, California
90813-1195
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facsimile: 562.435.1897

www.superiorsigns.com
design@superior-signs.com

Project:
**RONALD
McDONALD'S
HOUSE**
Address:
Parking Structure
San Diego, Ca

Account Manager:
Stan Janocha

Designer:
John Naulta 3.50

Scale:
AS NOTED

Design No.:
05-12-8834-04

Date:
12.27.05

Reg. No.:

Revisions:
R1 (1.05) in 01.08.06 Revise per Mark Lombard
R2 (1.06) JEC 01/30/06 Add string
R3 (2) revise 02-23-06 Change dimensions and notes.
R4 (3) revise 03-17-06 Move C1 letters to grid 19 on east elev.

Page: 01
Of: 03

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fax: 562.435.1867

www.superiorsigns.com
design@superiorsigns.com

Project:
**RONALD
MCDONALD'S
HOUSE**
Address:
Parking Structure
San Diego, Ca

Account Manager:
Starr Janocha

Designer:
John Nauta 3.50

Scale:
AS NOTED

Design No.:
05-12-6334-04

Date:
12.27.05

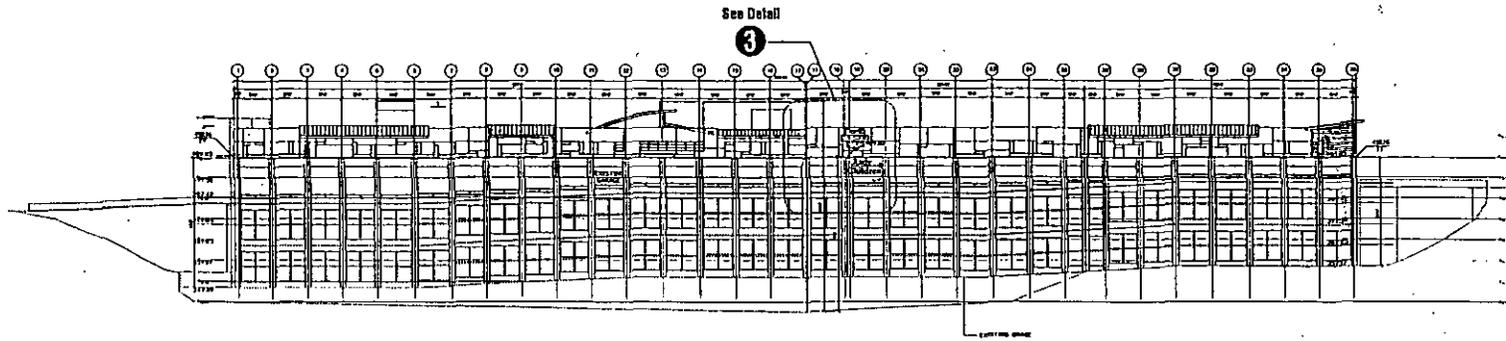
Reg. No.:

Revisions:
R1 (1.05) Jan 01.09 06 Revise per Tom Lombardi
R2 (1.20) JCO 01.09.06 Add signage
R3 (2.20) JCO 02-23-06 Change signage add notes.
R4 (1.20) JCO 03-17-06 Move CH letters to grid 18 on east elev.

Page: 02 of 03

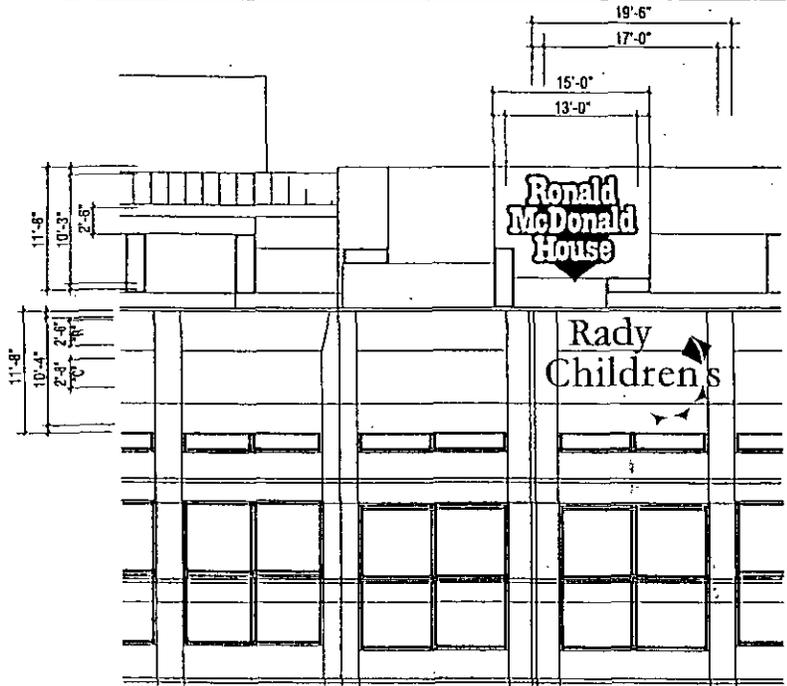
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B EAST ELEVATION

SCALE: 1" = 20'-0"



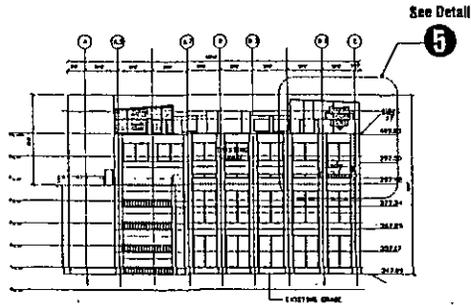
Sign C
10'-3" h. X 13'-0" w.
133.25 Square feet

Sign E
2'-6" h. X 17'-0" w. = "Children's"
2'-6" h. X 8'-2" w. = "Rady"
65.22 Square feet

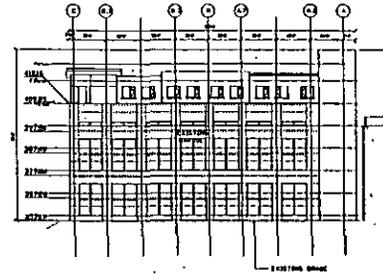
3 PARTIAL EAST ELEVATION DETAIL

SCALE: 1/4" = 1'-0"

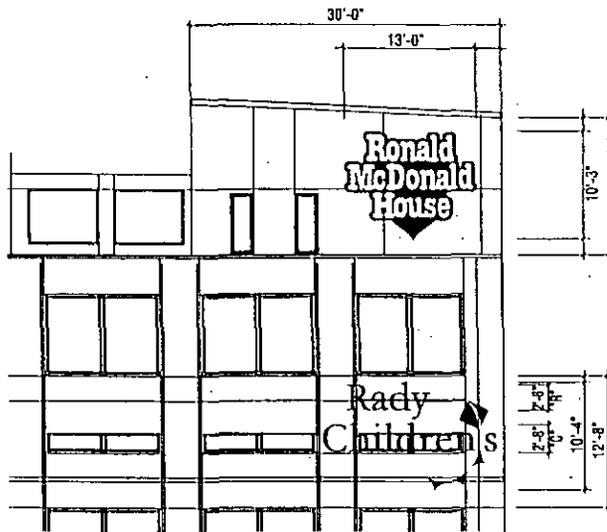
000050



C SOUTH ELEVATION SCALE: 1" = 20'-0"



D NORTH ELEVATION SCALE: 1" = 20'-0"



E PARTIAL SOUTH ELEVATION DETAIL SCALE: 1/4" = 1'-0"

Sign D
10'-3" h. X 13'-0" w.
133.25 Square feet

Sign F
2'-8" h. X 17'-0" w. = "Children's"
2'-6" h. X 8'-2" w. = "Rady"
65.22 Square feet



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Project:
**RONALD
MCDONALD'S
HOUSE**
Address:
Parking Structure
San Diego, Ca

Account Manager:
Stan Janocha

Designer:
John Naurta 3.50

Scale:
AS NOTED

Design No.:
05-12-6834-05

Date:
12.27.05

Reg. No.:

Revisions:

R1 (1.20) In D1.02 08 Review
per Rob Lunsford
R2 (1.03) E05 05/20/08 Add
stringer
R3 (2) mod 02 23-08 Change
stringer and notes
R4 (2) mod 03 11-08 Move
CA letters to grid 19 on next elev.
R5 (2) mod 07 13-08 Add "Rady"
to Children's horizontal sign.

Page: 01
03 03

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000052

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 42-5309

PLANNED DEVELOPMENT PERMIT NO. 268049
 CONDITIONAL USE PERMIT NO. 268050
 SITE DEVELOPMENT PERMIT NO. 413591
 MULTI-HABITAT PLANNING AREA BOUNDARY LINE ADJUSTMENT NO. 414363
RADY CHILDREN'S HOSPITAL AND HEALTH CENTER [MMRP] –
PROJECT NO. 84791
 (AMENDMENT TO CONDITIONAL USE PERMIT/HILLSIDE REVIEW/
 RESOURCE PROTECTION OVERLAY ZONE PERMIT NO. 87-1096 AND
 AMENDMENT TO CONDITIONAL USE PERMIT NO. 4741/SITE DEVELOPMENT
 PERMIT NO. 4742/PLANNED DEVELOPMENT PERMIT NO. 267312)
 PLANNING COMMISSION

This Planned Development Permit (PDP No. 268049), Conditional Use Permit (CDP No. 268050), Amendment to CUP/HRP/RPOZ No. 87-1096 and CUP No. 4741/SDP No. 4742/PDP No. 267312, Site Development Permit (SDP No. 413591), and MHPA Boundary Line Adjustment (MHPA BLA No. 414363), is granted by the Planning Commission of the City of San Diego to CHILDREN'S HOSPITAL – SAN DIEGO, a California Non-Profit Corporation, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.031, 126.0501, and 126.0601. The 26.98 acres site is located at 3020 Children's Way in the CO-1-2 zone of the Serra Mesa Community Plan. The project site is legally described as Lots 1 and 3 of Children's Hospital and Health Center, Map No. 12901.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a new 272,274 square-foot six-level building, with deviations to the setback and height requirements for the underlying CO-1-2 zone; a new emergency generator facility; and an additional 12 guest units to the existing 35-rooms for the Ronald McDonald House, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 15, 2007, on file in the Development Services Department.

000053

The project shall include:

- a. Removal of approximately 356 parking spaces within the existing surface parking lot to be demolished;
- b. Construction of an approximate 272,274 square-foot, six level building located at the northwest corner of Birmingham Way and Children's Way;
- c. The building would observe a building height of 96 feet, where 60 feet is the maximum building height required within the CO-1-2 zone;
- d. The building would observe a reduced front yard setback of zero (0) feet, where 10-feet is the minimum front setback required within the CO-1-2 zone, to accommodate an open-air exterior stairway;
- e. The building would observe a reduced front yard setback of six feet, eight-inches, where 10-feet is the minimum front setback required within the CO-1-2 zone, to accommodate a curb-side ladder access;
- f. Construction of an approximate 3,400 square-foot emergency generator building located on the south side of Birmingham Way;
- g. Construction of an additional 12 guest units to the existing 35-room Ronald McDonald House/Parking Structure;
- h. Deviations to development regulations as listed in this permit.
- i. Landscaping (planting, irrigation and landscape related improvements);
- j. Off-street parking; and
- k. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

STANDARD REQUIREMENTS:

1. All of the Conditions contained in CUP/HRP/RPOZ Permit No. 87-1096 and CUP No. 4741/SDP No. 4742/PDP No. 267312 shall remain in effect, except where superseded by this permit.
2. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in

000054

the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision-maker.

3. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.
5. This Permit is a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service [USFWS] pursuant to Section 10(a) of the ESA and by the California Department of Fish and Game [CDFG] pursuant to Fish and Game Code section 2835 as part of the Multiple Species Conservation Program [MSCP], the City of San Diego through the issuance of this Permit hereby confers upon Owner/Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement [IA], executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. OO-18394. Third Party Beneficiary status is conferred upon Owner/Permittee by the City: (1) to grant Owner/Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Owner/Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS, or CDFG, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Owner/Permittee maintaining the biological values of any and all lands

000055

committed for mitigation pursuant to this Permit and of full satisfaction by Owner/Permittee of mitigation obligations required by this Permit, as described in accordance with Section 17.1D of the IA.

9. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

10. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

11. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

12. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program (MMRP). These MMRP conditions are incorporated into the permit by reference or authorization for the project.

13. The mitigation measures specified in the Mitigation Monitoring and Reporting Program, and outlined in Mitigated Negative Declaration No. 84791, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL/MITIGATION REQUIREMENTS.

14. The Owner/Permittee shall comply with the Mitigation, Monitoring, and Reporting Program (MMRP) as specified in Mitigated Negative Declaration No. 84791, satisfactory to the Development Services Department and the City Engineer. Prior to issuance of the first grading permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:

000056

Biological Resources, Paleontological Resources, Transportation, and Land Use (MHPA)

15. Prior to issuance of any construction permit, the Owner/Permittee shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.

ENGINEERING REQUIREMENTS:

16. Prior to the issuance of a building permit the applicant shall obtain a grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

17. Prior to building occupancy, the applicant shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance.

18. Prior to the issuance of any construction permits, the applicant shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

19. Prior to the issuance of any construction permits the applicant shall incorporate and show the type and location of all post-construction Best Management Practices (BMP's) on the final construction drawings, in accordance with the approved Water Quality Technical Report.

20. Development of this project shall comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 99-08 DWQ and the Municipal Storm Water Permit, Order No. 2001-01(NPDES General Permit No. CAS000002 and CAS0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan (SWPPP) and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent (NOI) shall be filed with the SWRC

21. A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 99-08 DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in SWRCB Order No. 99-08 DWQ.

22. Prior to the issuance of a building permit, the applicant shall assure by permit and bond the reconstruction of existing curb ramp(s) adjacent to the project to meet current City standards.

000057

23. Prior to the issuance of a building permit, the applicant shall assure by permit and bond the installation of City standard sidewalk along the Birmingham Way and Children's Way street frontage of Lot 4 (APN 427-530-10).

24. The drainage system proposed for this development is private and subject to approval by the City Engineer.

25. Prior to the issuance of a building permit, the applicant shall assure by permit and bond the reconstruction of existing curb ramp(s) and construction of three (3) new curb ramps (at the intersection of Children's Way and Birmingham Way) adjacent to the project to meet current City standards.

26. Prior to building occupancy, the applicant shall obtain an Encroachment Maintenance and Removal Agreement, for private improvements located in the public right-of-way including; landscaping, irrigation, sidewalk, and private storm drain pipe(s).

27. All driveways and curb openings shall comply with City Standard Drawings G-14A, G-14B, G-16 and SDG-100.

LANDSCAPE REQUIREMENTS:

28. Prior to issuance of any engineering permits for grading, construction documents for the revegetation and hydroseeding of all disturbed land shall be submitted in accordance with the Landscape Standards and to the satisfaction of the City Manager. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Office of the Development Services Department.

29. Prior to issuance of any engineering permits for right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the City Manager for approval. Improvement plans shall take into account a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

30. In the event that a foundation only permit is requested by the Permittee or subsequent Owner, a site plan or staking layout plan shall be submitted identifying all landscape areas consistent with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'

31. Prior to issuance of any construction permits for structures (including shell), complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the City Manager for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.

000058

32. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Permittee or subsequent Owner to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

33. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

34. The Permittee or subsequent owner shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. In this case, a Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.

35. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the City manager within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

36. No fewer than 1,414 off-street parking spaces shall be maintained on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the Development Services Department.

37. This project does contain deviations to development regulations as follows:

- a) The building would observe a building height of 96 feet, where 60 feet is the maximum building height required within the CO-1-2 zone;
- b) The building would observe a reduced front yard setback of zero (0) feet, where 10-foot is the minimum front setback required within the CO-1-2 zone, to accommodate an open-air exterior stairway;
- c) The building would observe a reduced front yard setback of six feet, 8 inches, where 10-foot is the minimum front setback required within the CO-1-2 zone, to accommodate a curb-side ladder access.

38. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

000059

39. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.
40. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.
41. The Owner/Permittee shall execute a covenant of easement recorded against title to the affected premises and executed in favor of the City. The Owner/Permittee shall draft the covenant of easement as follows: a) To contain a legal description of the premises affected by the permit with a description of the development area and the environmentally sensitive lands that will be preserved; b) To impart notice to all persons to the extent afforded by the recording laws of the state regarding the restrictions affecting use of the environmentally sensitive lands covered by the permit; c) To ensure that the burdens of the covenant shall be binding upon, and the benefits of the covenant shall inure to, all successors in interest to the affected premises; and d) To ensure enforceability of the covenant of easement by the City.

TRANSPORTATION REQUIREMENTS

42. Prior to occupancy of the subject project, the approved Parking Structure F must be constructed and available to provide a minimum of 524 automobile parking spaces including 10 disabled accessible spaces. A minimum of 10 bicycle spaces and 10 motorcycle spaces shall also be provided. Further, all on-site (including within parking structure) parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code, and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the City Manager.
43. The existing cul-de-sac at the intersection of Children's Way and Birmingham Way must remain secured until the previously proposed helicopter landing pad has been completed at the top of the Hahn Surgical School site.
44. Prior to the issuance of the first building permit for the project, the applicant shall assure by permit and bond, the installation of a full access traffic signal at the south leg of Berger Avenue and Mesa Drive including interconnect to the planned Caltrans signal at the north leg of Berger Avenue and Interstate 805 Southbound ON-Ramp and Mesa College Drive, satisfactory to the City Engineer. Should the City of San Diego determine that, the westbound left turn-movement is not feasible due to the proposed project signal's proximity to the Caltrans signal, then the proposed project shall install a traffic signal at the south leg of Berger Avenue and Mesa College Drive without the westbound left-turn movement allowed, satisfactory to the City Engineer.

WASTEWATER REQUIREMENTS:

45. All onsite sewer facilities shall be private.
46. The developer shall design and construct any proposed public sewer facilities to the most current edition of the City of San Diego's Sewer Design Guide.

000060

47. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the building permit plan check.

WATER REQUIREMENTS:

48. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s) outside of any driveway, and the disconnection at the water main of all existing unused services adjacent to the site, in a manner satisfactory to the Water Department Director and the City Engineer.

49. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Water Department Director and the City Engineer.

50. Prior to the issuance of any building permits, the Owner/Permittee shall install fire hydrants at locations satisfactory to the Fire Department, the Water Department Director, and the City Engineer.

51. Prior to the issuance of any certificates of occupancy, public water facilities necessary to serve the development, including services, shall be complete and operational in a manner satisfactory to the Water Department Director and the City Engineer.

52. The Owner/Permittee agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Public water facilities as shown on approved Exhibit "A" shall be modified at final engineering to comply with standards.

INFORMATION ONLY:

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code §66020.
- This development may be subject to impact fees at the time of construction permit issuance

APPROVED by the Planning Commission of the City of San Diego on February 15, 2007,
Resolution No. _____

000061

PLANNING COMMISSION
RESOLUTION NO. _____

PLANNED DEVELOPMENT NO. 268049

CONDITIONAL USE PERMIT NO. 268050

SITE DEVELOPMENT PERMIT NO 413591

MULTI-HABITAT PLANNING AREA BOUNDARY LINE ADJUSTMENT NO. 414363

RADY CHILDREN'S HOSPITAL AND HEALTH CARE CENTER**DRAFT**

WHEREAS, CHILDREN'S HOSPITAL-SAN DIEGO, a California Non-Profit Corporation, Owner/Permittee, filed an application with the City of San Diego for a permit to construct a new 272,274 square-foot six-level building, with deviations to the setback and height requirements for the underlying CO-1-2 zone; a new emergency generator facility; and an additional 12-guest units to the existing 35-rooms for the Ronald McDonald House (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No.(s) PDP 268049, CUP 268050, SDP 413591, and MHPA BLA No. 414363), on portions of a 26.98 acres site;

WHEREAS, the project site is located at 3020 Children's Way, in the CO-1-2 zone of the Serra Mesa Community Plan;

WHEREAS, the project site is legally described as Lot 1 and Lot 3 of Children's Hospital and Health Center, Map No. 12901;

WHEREAS, on February 15, 2007, the Planning Commission of the City of San Diego considered Planned Development Permit No. 268049, Conditional Use Permit No. 268050, Site Development Permit No. 413591, and Multi-Habitat Planning Area Boundary Line Adjustment No. 414363, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated February 15, 2007.

FINDINGS:**Conditional Use Permit – Section 126.0305****1. The proposed development will not adversely affect the applicable land use plan.**

The proposed project includes the construction of the new Rady Children's Hospital and Health Center (CHHC), an emergency generator facility for the hospital, and the addition of 12-guest units to the new Ronald McDonald House (RMH) residential facility. The applicable land use plan for the project site is the Serra Mesa Community Plan. The land use designation for the Children's Hospital site is "institutional" which applies to the larger 79-acre Health-Institutional

000062

Complex located between State Route 163 and Interstate 805. The proposed Rady CHHC is consistent with the Health-Institutional Complex use and designed to serve Children's Hospital. Therefore, the proposed use would not adversely affect the applicable land use plan.

On, March 16, 2006 the Serra Mesa Planning Group voted 7-0-1 to support an approval for the proposed Rady CHHC, with no conditions.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed project includes the construction of the new Rady CHHC, an emergency generator facility for the hospital, and the addition of 12-guest units to the new Ronald McDonald House (RMH) residential facility. The Rady CHHC development will not be detrimental to the public health, safety, and welfare since it is designed to enhance Children's Hospital's ability to provide quality health care. The expansion site is located within the existing hospital campus away from any residential development. Construction of the Rady CHHC will result in a net increase of 84 hospital beds. The proposed residential facility - Ronald McDonald House (RMH) located on the seventh floor of the parking structure currently under construction will add 12-guest units to a previously approved 35-room lodging facility. The additional beds would result in a slight increase in traffic which is still below the Phase I threshold identified in the Long Range Plan for Expansion and Improvement (LRPEI) plan. Any traffic impacts associated with the project will be mitigated as required in the CUP conditions of approval. Parking for the new facility will be provided by a 1,035 stall parking garage located on the south side of Children's Way.

3. The proposed development will comply to the maximum extent feasible with the applicable regulations of the Land Development Code.

The proposed project includes the construction of the new Rady CHHC, an emergency generator facility for the hospital, and the addition of 12-guest units to the new Ronald McDonald House (RMH) residential facility. A Conditional Use Permit (CUP) is required to operate a health care/hospital facility within the CO-1-2 (Commercial Office) zone. The project would comply with all zoning requirements (setbacks, FAR, landscaping etc.), with the exception of the 60-foot height limit and the 10-foot front yard setback. A Planned Development Permit is required in conjunction with this CUP to allow the additional height and reduced setback required for the project. The applicable findings for the Planned Development Permit can be substantiated.

The emergency generators for the project will be located on a separate 2.39-acre parcel on the south side of Birmingham Way near the terminus of Children's Way. The City's Multi-Habitat Planning Area (MHPA) extends into the generator site. Project grading would impact approximately 0.14 acre within the current limits of the MHPA. Due to the MHPA encroachment a Site Development Permit and MHPA boundary line adjustment are concurrently being processed with the CUP amendment and PDP. The applicable findings for the Site Development Permit can be substantiated.

000063

4. The proposed use is appropriate at the proposed location.

The proposed project includes the construction of the new Rady CHHC, an emergency generator facility for the hospital, and the addition of 12-guest units to the new Ronald McDonald House (RMH) residential facility. The proposed Rady CHHC development serve the existing Children's Hospital and will be located in an existing Health-Institutional Complex designated for institutional use as identified in the Serra Mesa Community Plan. The Health-Institutional Complex includes Children's Hospital, Sharp Hospital, and other medical facilities and offices. The Rady CHHC will add a new medical surgical unit with 16 operating units and 84 recovery beds. The existing surgical unit and hematology/oncology units (70 beds) will be relocated from the main hospital to the new Rady CHHC. The vacated area will be used for relocation of the current convalescent home. The expansion facilities are needed to serve the current and future needs of Children's Hospital, which is already an appropriate use in this location.

Planned Development Permit – Section 126.0604

1. The proposed development will not adversely affect the applicable land use plan.

The proposed project includes the construction of the new Rady CHHC, an emergency generator facility for the hospital, and the addition of 12-guest units to the new Ronald McDonald House (RMH) residential facility. The applicable land use plan for the project site is the Serra Mesa Community Plan. The land use designation for the Children's Hospital site is "institutional" which applies to the larger 79-acre Health-Institutional Complex located between State Route 163 and Interstate 805. The proposed Rady CHHC is consistent with the Health-Institutional Complex use as it is an integral expansion of the existing Children's Hospital.

The Physical Environment-Urban Design section of the Serra Mesa Community Plan does not identify any potential issues with regard to the height of structures in the Health-Institutional Complex. A number of existing structures within the Health-Institutional Complex already exceed the 60-foot height limit including the Rose Pavilion on the Children's Hospital campus and a recently approved new hospital facility on the adjacent Sharp Hospital Campus. Therefore, the proposed height deviation from 60 feet to 96 feet would not adversely affect the Serra Mesa Community Plan.

The proposed setback reduction for a portion of the building along Birmingham Way from 10' to 6' 8" is required to permit curbside ladder access as required by the City of San Diego Fire Department.

The proposed setback reduction for a portion of the building along Birmingham Way, from 10' to 0', is required to accommodate an open-air exterior stairway. The stairway is necessary to provide alternative egress from the building. The proposed setback reduction for the stairway complies with the visibility area requirements set forth in Section 113.0273 of the Land Development Code.

000064

The proposed setback deviations occur in only two locations on a curving portion of the street. Setback deviations in these locations would not adversely affect the Serra Mesa Community Plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed project includes the construction of the new Rady CHHC, an emergency generator facility for the hospital, and the addition of 12-guest units to the new Ronald McDonald House (RMH) residential facility. Although the overall height of the Rady CHHC will be 96 feet several existing buildings on the Children's Hospital Campus and in the larger Health-Institutional Complex exceed the 60 feet height limit, including the Children's Medical Office Building (66 feet), the Rose Pavilion (88 feet, including clock tower), and the north and south towers on the adjacent Sharp Hospital Campus (approximately 117 feet). These existing structures have not resulted in any negative impact to the public health, safety, and welfare. A height deviation for a new 117-foot main hospital building was approved for the adjacent Sharp Hospital Campus on September 16, 2004 (PTS 6839).

The nearest residential areas are located to the east of I-805 and will not be impacted by the structure height.

The proposed setback deviations in this location, to permit curbside ladder access as required by the City of San Diego Fire Department and to allow an exterior open-air staircase, would not be detrimental to the public health, safety, and welfare. The deviations are located along the frontage of Birmingham Way and do not adversely affect another building and/or any adjacent parcels.

3. The proposed development will comply with the regulations of the Land Development Code.

The proposed project includes the construction of the new Rady CHHC, an emergency generator facility for the hospital, and the addition of 12-guest units to the new Ronald McDonald House (RMH) residential facility. The project is located in the CO-1-2 zone and complies with all zone requirements (setbacks, FAR, landscaping etc.) with the exception of the 60-foot height limit and the 10-foot front setback. The proposed height deviation is required to more effectively utilize the limited space available on the Children's Hospital Campus. The reduced setback is required to permit curbside ladder access as required by the San Diego Fire Department and to allow an exterior open-air staircase.

4. The proposed development, when considered as a whole, will be beneficial to the community.

The proposed project includes the construction of the new Rady CHHC, an emergency generator facility for the hospital, and the addition of 12-guest units to the new Ronald McDonald House (RMH) residential facility. The proposed Rady CHHC will be located in an existing Health-Institutional Complex designated for institutional use in the Serra Mesa Community Plan. The

Health-Institutional Complex includes Children's Hospital, as well as Sharp Hospital, and other medical facilities and offices. The Rady CHHC will add a new medical surgical unit with 16 operating units and 84 recovery beds. The existing surgical unit and hematology/oncology units (70 beds) will be relocated from the main hospital to the new Rady CHHC. The vacated area will be used for relocation of the current convalescent home. The expansion facilities are needed to serve the current and future needs of Children's Hospital.

The benefits provided by the new facility support the public health, safety, and welfare of the community.

5. The proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The proposed project includes the construction of the new Rady CHHC, an emergency generator facility for the hospital, and the addition of 12-guest units to the new Ronald McDonald House (RMH) residential facility. The proposed Rady CHHC development serve the existing Children's Hospital and will be located in an existing Health-Institutional Complex designated for institutional use as identified in the Serra Mesa Community Plan. The Health-Institutional Complex includes Children's Hospital, Sharp Hospital, and other medical facilities and offices. The new building would be located in an existing parking surface parking lot. A parking structure with approximately 1,035 parking spaces is located across the street and would serve the new Rady CHHC and the new Ronald McDonald House. The Rady CHHC will add a new medical surgical unit with 16 operating units and 84 recovery beds. The existing surgical unit and hematology/oncology units (70 beds) will be relocated from the main hospital to the new Rady CHHC. The vacated area will be used for relocation of the current convalescent home. The expansion facilities are needed to serve the current and future needs of Children's Hospital, which is already an appropriate use in this location.

The proposed height deviation allows for a more efficient use of limited land within the Children's Hospital campus resulting in a more desirable project than if the expansion were to occur on alternative sites further away from the main hospital. The Physical Environment-Urban Design section of the Serra Mesa Community Plan does not identify any potential issues with regard to the height of structures in the Health-Institutional Complex. A number of existing structures within the Health-Institutional Complex already exceed the 60-foot height limit including the Rose Pavilion on the Children's Hospital campus and a recently approved new hospital facility on the adjacent Sharp Hospital Campus. Therefore, the proposed height deviation from 60 feet to 96 feet would not adversely affect the Serra Mesa Community Plan. The reduced setback to allow curbside ladder access will result in a more desirable project than if the City of San Diego Fire Department requirement could not be met. The reduced setback to allow an exterior open-air staircase will permit required access and egress on the south side of the building resulting in a more desirable project. The required 10-foot minimum setbacks have been provided on all other street frontages.

000066

Site Development Permit – Section 126.0504**Findings for all Site Development Permits****1. The proposed development will not adversely affect the applicable land use plan.**

The proposed project includes the construction of the new Rady CHHC, an emergency generator facility for the hospital, and the addition of 12-guest units to the new Ronald McDonald House (RMH) residential facility. The applicable land use plan for the project site is the Serra Mesa Community Plan. The land use designation for the Children's Hospital site is "institutional" which applies to the larger 79-acre Health-Institutional Complex located between State Route 163 and Interstate 805 and includes other medical offices/hospitals such as Sharp Healthcare/Sharp Memorial Hospital and San Diego Medical Center. The proposed Rady CHHC is an expansion of the existing Children's Hospital and is consistent with the designated Health-Institutional Complex use.

The proposed emergency generators which are located within the Multiple Species Conservation Program (MSCP) Multi-Habitat Planning Area (MHPA) and designated Open Space are needed to support Children's Hospital and would not adversely affect the Serra Mesa Community Plan. A MHPA Boundary Line Adjustment, which has been approved by the Wildlife Agencies, would remove approximately 1.04 acres of habitat out of the MHPA, but will be appropriately mitigated by the preservation of 0.14 acres on-site and by the acquisition of 0.90 acres off-site in East Elliot. As a condition of the permit, the remaining habitat will be placed in an open space easement for preservation in perpetuity.

The additional 12-guest units will be located on the top floor of a parking structure/building currently under construction and would only require a reconfiguration of the floor plan. The additional units would not create new impacts because it will be within the development footprint of what was previously approved.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed project includes the construction of the new Rady CHHC, an emergency generator facility for the hospital, and the addition of 12-guest units to the new Ronald McDonald House (RMH) residential facility. The Rady CHHC is designed to enhance Children's Hospital ability to provide quality health care. The expansion site is located on the existing hospital campus away from any residential development. Construction of the Rady CHHC will result in a net increase of 84 hospital beds. The additional beds would result in a modest increase in traffic which is still below the Phase I threshold identified in the LRPEI. Any traffic impacts associated with the project will be mitigated as required in the CUP/PDP/SDP conditions of approval. Parking for the new facility will be provided by a 1,035 stall parking garage located on the south side of Children's Way. Construction of the Rady CHHC will result in an efficient utilization of land within the Children's Hospital Campus and will benefit the community by providing a public service related to the health, safety and welfare of the community.

000067

The proposed emergency generators are needed to support Children's Hospital and would not be detrimental to the public, health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code.

The proposed project includes the construction of the new Rady CHHC, an emergency generator facility for the hospital, and the addition of 12-guest units to the new Ronald McDonald House (RMH) residential facility. The project is located in the CO-1-2 zone and complies with all zone requirements (setbacks, FAR, landscaping etc.) with the exception of the 60-foot height limit and the 10-foot front setback. A Planned Development Permit is required to allow the additional height and reduced setback required for the project. The applicable findings for the Planned Development Permit have been made.

The emergency generators for the project will be located on a separate 2.39-acre parcel on the south side of Birmingham Way near the terminus of Children's Way. The City's Multi-Habitat Protection Area (MHPA) extends into the project site. Project grading would impact approximately 0.14 acre within the current limits of the MHPA. Due to the MHPA encroachment a Site Development Permit and MHPA boundary adjustment have been requested concurrently with the CUP amendment and PDP:

Supplemental Findings—Environmentally Sensitive Lands

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

The proposed project includes the construction of the new Rady CHHC, an emergency generator facility for the hospital, and the addition of 12-guest units to the new Ronald McDonald House (RMH) residential facility. The approximately 0.21-acre development area within the 2.39-acre generator parcel, which is separated from the Rady CHHC site by Birmingham Way, is physically suitable for the design and siting of the proposed emergency generators and relocated propane tank. The environmentally sensitive lands consist primarily of Diegan coastal sage scrub occurring on the steeper slopes of the site. The proposed emergency generators and propane tank would directly impact 0.14 acres of the existing disturbed and non-native vegetation within the MHPA and would only impact 0.04 acres of the Diegan coastal sage scrub. This impact can be mitigated by the proposed MHPA boundary line adjustment, which will remove approximately 1.04 acres of developed land (Tier IV), disturbed habitat (Tier IV), Non-Native Vegetation (Tier IV), and Diegan coastal sage scrub (Tier IIIB) outside the MHPA and result in an exchange for 1.04 acres of Diegan coastal sage scrub habitat to the MHPA. The 2.39-acre site located adjacent to Birmingham Way is currently developed and occupied with an existing propane tank facility.

2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The proposed project includes the construction of the new Rady CHHC, an emergency generator facility for the hospital, and the addition of 12-guest units to the new Ronald McDonald House

000068

(RMH) residential facility. The proposed grading will be restricted to an approximately 0.21-acre portion of the 2.39-acre site located adjacent to Birmingham Way. This is the most level portion of the site. To minimize landform alteration, a retaining wall will be installed on the south (downslope) side of the project. No geologic or erosional hazards are known to exist in this location and the structures will not be inhabited. The site is not located in a floodplain. To reduce fire hazards, all brush management requirements have been met and mitigated where appropriate. The structures will not be inhabited.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The proposed project includes the construction of the new Rady CHHC, an emergency generator facility for the hospital, and the addition of 12-guest units to the new Ronald McDonald House (RMH) residential facility. Only the emergency generator portion of the project is located adjacent to environmentally sensitive lands. The emergency generator portion of the project has been designed to prevent adverse impacts to adjacent environmentally sensitive (MHPA) lands in the following ways:

- Direct impacts to the environmentally sensitive lands are minimal and will be fully mitigated with an MHPA boundary line adjustment. A portion of the parcel containing Diegan coastal sage scrub that is currently outside the MHPA will be added to the MHPA and preserved in perpetuity by an open space easement.
- Operational Noise: Operational noise associated with generator testing could potentially affect gnatcatchers in the MHPA. Noise impacts from the emergency generators will be reduced through the installation of silencers and the payment of MHPA mitigation fees for 1:1 offsite mitigation of approximately 0.90 acres of MHPA within the 60 dBA contour for the once monthly one-hour generator test.
- Construction Noise: Construction activities have the potential to temporarily displace any sensitive mammals or birds occurring in the canyon below the proposed impact area. Appropriate mitigation measures and specific conditions to reduce potential impacts to a level of significance are required.
- Drainage/Water Quality: Landscape irrigation and increased hardscape areas associated with the project may result in increased runoff, although it is likely that the increase would be small. Any excessive runoff will be reduced through project erosion control measures and on-site BMPs.
- Night Lighting: Night lighting may expose wildlife species to an unnatural light regime and alter their behavior patterns. All proposed lighting will be directed away from the MHPA areas.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.

000069

The proposed project includes the construction of the new Rady CHHC, an emergency generator facility for the hospital, and the addition of 12-guest units to the new Ronald McDonald House (RMH) residential facility. The project's consistency with the City of San Diego's Multiple Species Conservation Program is addressed in the Biological Technical Report for the Emergency Generator Facility. The emergency generator site is the only portion of the project that is located within the MSCP.

The report states that that the proposed project would impact approximately 0.14 acre within the existing limits of the MHPA, including 0.04 acre of Diegan coastal sage scrub, 0.10 acre of non-native vegetation, and 0.14 acre of disturbed habitat. An adjustment to the current MHPA boundary is proposed to ensure non-reduction in the biological value of the MHPA.

According to the City's MSCP Plan, adjustments to the MHPA boundary may be made without amending the Subarea Plan or the MSCP in cases where the new MHPA boundary preserves an area with equivalent or greater biological value. The final determination regarding the biological value of a proposed boundary change will be made by the City per the MSCP Plan and with concurrence of the wildlife agencies. The net result of the proposed boundary adjustment would be no net loss of MHPA, an increase in the quality of the habitat within the MHPA (an additional 0.13 acre of Diegan coastal sage scrub) and a decrease in the amount of low quality habitats in the MHPA (0.10 acre non-native vegetation, 0.02 acre of disturbed habitat, and 0.01 acre of developed land). Within the MHPA tier structure; there would be a net increase of 0.13 acre of Tier II habitat.

The biological technical report also provides responses to the six factors that must be addressed in order for an MHPA boundary adjustment to be approved.

Therefore, the proposed development is consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

The proposed project includes the construction of the new Rady CHHC, an emergency generator facility for the hospital, and the addition of 12-guest units to the new Ronald McDonald House (RMH) residential facility. The proposed project is not located in an area that would contribute to the erosion of public beaches or adversely impact the local shoreline sand supply.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The proposed project includes the construction of the new Rady CHHC, an emergency generator facility for the hospital, and the addition of 12-guest units to the new Ronald McDonald House (RMH) residential facility. The mitigation for direct impacts will occur through an MHPA boundary adjustment resulting in no net loss of MHPA land. This mitigation technique, which is provided by the City of San Diego MSCP Subarea Plan, is reasonably related to the impacts

000070

created by the development and alleviates any potential negative impacts by improving the quality of the MHPA in the project vicinity.

The mitigation for the indirect impacts of the generator noise will occur through the payment of MHPA mitigation fees for 0.90 acres of affected habitat. The affected habitat areas and remaining MHPA areas within the 2.39 acre parcel will be placed in an open space easement to be preserved for open space purposes in perpetuity.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 268049, Conditional Use Permit No. 268050, Site Development Permit No. 413591, and Multi-Habitat Planning Area (MHPA) Boundary Line Adjustment No. 414363 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No.(s) 268049, 268050, 413591, and 414363, a copy of which is attached hereto and made a part hereof.

Anne B. Jarque
Development Project Manager
Development Services

Adopted on: February 15, 2007

Job Order No. 42-5309

cc: Legislative Recorder, Planning Department

000071 CONDITIONAL USE/HILLSIDE REVIEW/RESOURCE
PROTECTION OVERLAY ZONE PERMIT NO. 87-1096
AMENDMENT TO CUP NO. 86-0234

CITY COUNCIL

This Conditional Use/Hillside Review/Resource Protection Overlay Zone Permit Amendment is granted by the City Council of The City of San Diego to CHILDREN'S HOSPITAL AND HEALTH CENTER, a California corporation, Owner/Permittee, pursuant to Sections 101.0510, 101.0454, and 101.0462 of the San Diego Municipal Code.

1. Permission is granted to Owner/Permittee to construct a total of 505,931 square feet of additions to the existing Children's Hospital and Health Center, located within the 127-acre Kearny Mesa Health-Institutional Complex bounded by SR-163 on the west, I-805 on the east, and Frost Street on the north, described as a portion of Block 1199, Pueblo Lands, Misc. Map No. 36, in the City of San Diego, County of San Diego, State of California, in the R1-5000 Zone.
2. The facility shall consist of the following:
 - a. A 100-bed children's hospital;
 - b. A 31,790-square-foot diagnostic and treatment facility expansion;
 - c. A 144,141-square-foot patient wing with 120 beds;
 - d. A 13,624-square foot child convalescent hospital;
 - e. An 80,000-square-foot medical office building;
 - f. An 8,280-square-foot fiscal services building;
 - g. A 1,688-square-foot office building;
 - h. Twelve modular buildings totalling 58,988 square feet;
 - i. A 13,000-square-foot energy plant;
 - j. Off-street parking; and
 - k. Accessory uses as may be determined incidental and approved by the Planning Commission.
3. No fewer than 1,595 off-street parking spaces shall be maintained on the property in the approximate location shown on Exhibit "A," dated August 8, 1989, on file in the office

000072

the Planning Department. Parking spaces shall be consistent with Division 8 of the Zoning Regulations of the Municipal Code and shall be permanently maintained and not converted for any other use. Parking spaces and aisles shall conform to Planning Department standards. Parking areas shall be marked at all times. Landscaping located in any parking area shall be permanently maintained and not converted for any other use. The applicant may charge for use of the parking spaces within the proposed parking structure only, subject to the following conditions:

- a. For validated emergencies and outpatient use: No charge for the first two hours; thereafter fifty cents per hour, with a maximum charge of two dollars per 24-hour period;
 - b. For other validated parking: No charge for the first hour; thereafter, fifty cents per hour, with a maximum charge of two dollars per 24-hour period;
 - c. For non-validated parking: A flat two dollars per hour may be charged;
 - d. Signage for the parking charges will be approved by the Planning Director prior to imposition of the parking control system; and
 - e. Use fees may be adjusted to recover cost of maintenance and operation of parking facilities.
4. No permit for construction of any facility shall be granted nor shall any activity authorized by this permit be conducted on the premises until:
- a. The Permittee signs and returns the permit to the Planning Department;
 - b. The Conditional Use Permit is recorded in the office of the County Recorder.
5. Before issuance of any building permits, complete grading and building plans shall be submitted to the Planning Director for approval. Plans shall be in substantial conformity to Exhibit "A," dated August 8, 1989, on file in the office of the Planning Department. No change, modifications or alterations shall be made unless appropriate applications, findings of substantial conformance or amendment of this permit shall have been granted.
6. Before issuance of any grading or building permits, a complete landscape plan, including a permanent irrigation

000073

system, shall be submitted to the Planning Director for approval. The plans shall be in substantial conformity to Exhibit "A," dated August 8, 1989, on file in the office of the Planning Department.

Approved planting shall be installed before issuance of any occupancy permit on any building. Such planting shall not be modified or altered unless this permit has been amended and is to be maintained in a disease-, weed- and litter-free condition at all times.

7. All outdoor lighting shall be so shaded and adjusted that the light is directed to fall only on the same premises as light sources are located.
8. This Conditional Use/Hillside Review/Resource Protection Overlay Zone Permit must be used within 36 months after the date of City approval or the permit shall be void. An Extension of Time may be granted as set forth in Section 101.0510.k. of the Municipal Code. Any extension of time shall be subject to all standards and criteria in effect at the time the extension is applied for.
9. Construction and operation of the approved use shall comply at all times with the regulations of this or any other governmental agencies.
10. After establishment of the project, the property shall not be used for any other purposes unless:
 - a. Authorized by the Planning Commission; or
 - b. The proposed use meets every requirement of the zone existing for the property at the time of conversion; or
 - c. The permit has been revoked by the City.
11. This Conditional Use Permit may be revoked by the City if there is a material breach or default in any of the conditions of this permit.
12. This Conditional Use Permit is a covenant running with the subject property and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this permit and all referenced documents.
13. If any existing hardscape or landscape indicated on the approved plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind per the approved plans.

000074

14. Before the approval of any signage for the site, the applicant must submit to the Planning Director a comprehensive sign program addressing all signage on site.
15. Building platforms shall be screened by landscaping or an architectural feature.
16. The collection and disposal of waste accumulation shall be on a daily basis.
17. All plant materials shall be maintained in a healthy growing condition at all times.
18. Improvements (buildings, parking lots, hardscape, etc.) shall be maintained in good condition at all times.
19. This permit shall supersede CUP No. 86-0234 and all previously approved Conditional Use Permits on the subject property.
20. Prior to the issuance of any building permits for Traffic Generating Buildings within the Children's Hospital and Health Center, excluding the parking structure located east of Berger Avenue, the following improvements shall be constructed, bonded for construction, or otherwise assured, and shall be completed prior to the issuance of and certificate of occupancy for those buildings.

- a. The applicant shall design and construct the Birmingham Drive and Berger Avenue loop road, Street "A" (connecting link between Berger Avenue and Meadowlark Drive), including the southerly cul-de-sac on Berger Avenue, in a manner satisfactory to the City Engineer. If this loop road system is to be constructed over an underground parking structure, a City Council approved Encroachment Permit will be required.

The intersection of Street "A"/Birmingham Drive shall be designed in a manner satisfactory to the City Engineer. The loop road and its appurtenances shall be constructed and open to traffic within one year from the issuance of building permits for the first Traffic Generating Building.

- b. The applicant shall design and construct a traffic signal at the intersection of Health Center Drive and Frost Street and interconnect with the traffic signal at Health Center Drive and Mesa College Drive. The estimated total cost of the project is approximately \$110,000. It is tentatively scheduled for CIP construction in FY '91. The applicant shall enter into an agreement with the City for credits and/or

000075

reimbursement in an amount satisfactory to the City Engineer.

- c. The applicant shall pay to the City a deposit in the amount of \$21,250, as this represents the applicant's estimated 25 percent share in the design and construction of an additional westbound through lane at the SR-163 northbound on-ramp/Cardinal Street intersection. The estimated total cost of the project is \$85,000. The City's responsibility will be 50 percent, and Sharp Memorial Hospital's (CUP 88-1297) responsibility will be 25 percent. The applicant shall enter into an agreement for its payment of 25 percent of the final cost of this transportation improvements as determined by the City Engineer, reduced by any sums previously paid.
- d. The applicant shall enter into an agreement with the City for the modification of the SR-163 northbound off-ramp at Genesee Avenue, the dual left-turn pocket at the northbound SR-163 on-ramp, and the additional through lane on eastbound Genesee Avenue, in a manner satisfactory to the City Engineer. This work is to be included with the construction of the additional westbound lane with a City responsibility at 50 percent, Sharp Memorial Campus at 25 percent, and Children's Hospital and Health Center at 25 percent.
- e. The applicant shall arrange with the City for removal of parking along Health Center Drive between Vista Hill Avenue and Mesa College Drive....
- f. The applicant shall assure the following water and sewer requirements, in a manner satisfactory to the Water Utilities Director:
 - (1) Water Requirements:
 - (a) Provide a water study;
 - (b) Install all facilities required in the approved study; and
 - (c) Install fire hydrants at locations satisfactory to the Fire Department and to the City Engineer.
 - (2) Sewer Requirements:
 - (a) Provide a sewer study; and
 - (b) Install all facilities required in the approved study; and

000076

(3) No structures shall be built in or over any easements.

21. The parking garage shall incorporate:
 - a. Articulation of all facades to reduce apparent size and bulk;
 - b. A retaining wall design which allows the growth of vegetation over and through the wall;
 - c. A landscape and hillside revegetation plan that provides naturalized vegetation for graded areas and screening for the structure; and
 - d. A three-year maintenance program to ensure satisfactory establishment of revegetated areas.
22. Final action on this project is subject to the approval of the City Council of the City of San Diego.
23. In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable or unreasonable, this Permit shall be void.

Passed and adopted by the Council of The City of San Diego on August 8, 1989.

FCC:lc
10/26/89
12/07/89 COR.COPY
r-90-517-p

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RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PERMIT INTAKE
MAIL STATION 501

THE ORIGINAL OF THIS DOCUMENT
WAS RECORDED ON MAY 16, 2006
DOCUMENT NUMBER 2006-0344862
GREGORY J. SMITH, COUNTY RECORDER
SAN DIEGO COUNTY RECORDER'S OFFICE
TIME: 12:08 PM

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 42-0128

CONDITIONAL USE PERMIT NO. 4741
SITE DEVELOPMENT PERMIT (ESL) NO. 4742
PLANNED DEVELOPMENT PERMIT NO. 267312
CHILDREN'S HOSPITAL [MMRP] – PROJECT NO. 2784
(AMENDMENT TO CONDITIONAL USE/HILLSIDE REVIEW/RESOURCE PROTECTION
OVERLAY ZONE PERMIT NO. 87-1096)
PLANNING COMMISSION

This Conditional Use Permit No. 4741, Site Development Permit (ESL) No. 4742, and Planned Development Permit No. 267312, Amendment to Conditional Use Permit No. 87-1096, is granted by the Planning Commission of the City of San Diego to CHILDREN'S HOSPITAL-SAN DIEGO, a California Non-Profit Corporation, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0301, 126.0501, and 126.0601. The 2.96-acre site is located at 8001 Frost Street/3020 Children's Way in the CO-1-2 Zone of the Serra Mesa Community Plan. The project site is legally described as Portions of Lots 4 and 5, Children's Hospital and Health Center Map No. 12901, and a Portion of Interstate 805 right-of-way;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a six level parking structure with a 35-unit residential facility on the upper/seventh level, described and identified by size, dimension, quantity, type, and location on the approved exhibits, dated December 1, 2005, on file in the Development Services Department.

The project or facility shall include:

- a. A six level parking structure, totaling approximately 333,000 square-feet of area, providing a total of 1,051 off-street parking spaces;

000078

- b. A 35-unit residential facility on the upper level, including a communal kitchen, living and dining rooms;
- c. Landscaping (planting, irrigation and landscape related improvements); and
- d. Off-street parking facilities;
- e. Accessory improvements including exterior play area and courtyards; and
- f. Accessory improvements determined by the City Manager to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

STANDARD REQUIREMENTS:

1. All of the Conditions contained in CUP/HRP/RPOZ Permit No. 87-1096 shall remain in full force and effect.
2. Construction, grading or demolition must commence and be pursued in a diligent manner within thirty-six months after the effective date of final approval by the City, following all appeals. Failure to utilize the permit within thirty-six months will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all the SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
3. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder
4. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the City Manager.
5. This Permit is a covenant running with the subject property and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.

000079

6. The utilization and continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service [USFWS] pursuant to Section 10(a) of the ESA and by the California Department of Fish and Game [CDFG] pursuant to Fish and Game Code Section 2835 as part of the Multiple Species Conservation Program [MSCP], the City of San Diego through the issuance of this Permit hereby confers upon Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement [IA], executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. OO-18394. Third Party Beneficiary status is conferred upon Permittee by the City: (1) to grant Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS, or CDFG, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Permittee of mitigation obligations required by this Permit, as described in accordance with Section 17.1D of the IA.

9. The Owner/Permittee shall secure all necessary building permits. The applicant is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

10. Before issuance of any building or grading permits, complete grading and working drawings shall be submitted to the City Manager for approval. Plans shall be in substantial conformity to Exhibit "A," on file in the Development Services Department. No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

11. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

000080

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

12. At all bus stops within the project area, if any, the applicant shall be responsible for installing sidewalk improvements where needed to comply with Americans with Disability Act (ADA) requirements and in accordance with standards contained in the City of San Diego Street Design Manual.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

13. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program (MMRP). These MMRP conditions are incorporated into the permit by reference or authorization for the project.

14. As conditions of Conditional Use Permit No. 4741, Site Development Permit (ESL) No. 4742 and Planned Development Permit No. 267312, the mitigation measures specified in the MMRP, and outlined in the MITIGATED NEGATIVE DECLARATION LDR NO. 2784 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

15. The Owner/Permittee shall comply with the Mitigation, Monitoring, and Reporting Program (MMRP) as specified in the MITIGATED NEGATIVE DECLARATION, LDR NO. 2784, satisfactory to the City Manager and City Engineer. Prior to issuance of the first grading permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:

Paleontological and Biological Resources

16. Prior to issuance of any construction permit, the applicant shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.

000081

ENGINEERING REQUIREMENTS:

17. The applicant shall assure by permit and bond the installation of frontage improvements to Children's Way, including but not limited to, Type G-2 curb & gutter and sidewalk satisfactory to the City Engineer.
18. All driveways and curb openings shall comply with City Standard Drawings G-14A, G-16 and SDG-100.
19. Prior to the issuance of a building permit the applicant shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
20. Development of this project shall comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 99-08 DWQ and the Municipal Storm Water Permit, Order No. 2001-01(NPDES General Permit No. CAS000002 and CAS0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan (SWPPP) and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent (NOI) shall be filed with the SWRCB.
21. A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 99 08 DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in SWRCB Order No. 99 08 DWQ.
22. This project proposes to export 80,190 cubic yards of material from the project site. All export material shall be discharged into a legal disposal site. The approval of this project does not allow the processing and sale of the export material. All such activities require a separate Conditional Use Permit.
23. Prior to the issuance of any construction permit, the Subdivider shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance.
24. Prior to the issuance of any construction permit, the Applicant shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

000082

25. Prior to the issuance of any construction permit the Applicant shall incorporate and show the type and location of all post-construction Best Management Practices (BMP's) on the final construction drawings, in accordance with the approved Water Quality Technical Report.
26. Any easements for public facilities (water, sewer or storm drain) that are no longer going to be utilized, or that will be relocated due to the new construction, need to be abandoned satisfactory to the City Engineer.
27. Prior to the issuance of any building permits, the applicant shall obtain an Encroachment Maintenance and Removal Agreement, for private landscaping and improvements located in the public right of way.
28. The onsite drainage system proposed for this development is private and subject to approval by the City Engineer.

LANDSCAPE REQUIREMENTS:

29. No change, modification or alteration shall be made to the project unless appropriate application or amendment of this Permit shall have been granted by the City.
30. Prior to issuance of any engineering permits for grading, construction documents for the revegetation and hydroseeding of all disturbed land shall be submitted in accordance with the Landscape Standards and to the satisfaction of the City Manager. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Office of the Development Services Department.
31. Prior to issuance of any engineering permits for right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the City Manager for approval. Improvement plans shall take into account a 40 sq-ft area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
32. In the event that a foundation only permit is requested by the Permittee or subsequent Owner, a site plan or staking layout plan shall be submitted identifying all landscape areas consistent with Exhibit 'A,' Landscape Concept Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area'.
33. Prior to issuance of any construction permits for structures (including shell), complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the City Manager for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Concept Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40- sq. ft. area

000083

around each tree which is unencumbered by hardscape and utilities as set forth under LDC Section 142.0403(b) 5.

34. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Permittee or subsequent Owner to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

35. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

36. The Permittee or subsequent owner shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. In this case, a Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.

37. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the City manager within 30 days of damage or Certificate of Occupancy.

38. Prior to issuance of any construction permit for parking structures, the Permittee shall submit on the planting and irrigation plans a signed statement by a Registered Structural Engineer indicating that supporting structures are designed to accommodate the necessary structural loads and associated planting and irrigation. [Add landscape conditions here.]

PLANNING/DESIGN REQUIREMENTS:

39. No fewer than 1,051 off-street parking spaces shall be maintained on the property at all times in the approximate locations shown on the approved Exhibit "A," on file in the Development Services Department. Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the City Manager.

40. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as a condition of approval of this Permit. Where there is a conflict between a condition (including exhibits) of this Permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations. Where a condition (including exhibits) of this Permit establishes a provision which is more restrictive than the corresponding regulation of the underlying zone, then the condition shall prevail.

000084

41. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this Permit.

42. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Permittee.

43. Any future requested amendment to this Permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.

44. All signs associated with this development shall be consistent with sign criteria established by Citywide sign regulations.

45. Prior to the issuance of any building permits, complete outdoor lighting information shall be submitted to the Development Services Department, Land Development Review Division, for review and approval. Complete lighting information shall include a plan view photometric analysis indicating an isofoot candle plot and a point by point plot to include all areas within the private property and to extend a minimum of 50-feet beyond the property line, construction details as necessary to direct installation of the outdoor lighting system, manufacturers name, visors, prisms, lenses and reflectors and a lighting plan locating each fixture in plan view and a legend. The outdoor lighting system shall be designed, manufactured and installed to allow shading, adjusting, and shielding of the light source so all outdoor lighting is directed to fall only onto the same premises as light sources are located.

46. Prior to the issuance of any occupancy permit, a night inspection shall be required to verify compliance of the outdoor lighting system. No light shall be directed to fall outside the property line. Light levels along the perimeter of the property shall be measured no higher than three footcandles. Light levels throughout the development shall be the least practical level necessary to effectively illuminate the operation. Sky glow or light halo shall be reduced to the greatest extent practical and in no case shall initial light levels be measured exceeding eight footcandles anywhere within the site. The Owner/Permittee, or an authorized representative, shall provide an illuminance meter to measure light levels as required to establish conformance with the conditions of this Permit during the night inspection. Night inspections may be required additional fees as determined by the City Manager.

47. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

48. The use of textured or enhanced paving shall meet applicable City standards as to location, noise and friction values.

000085

49. No mechanical equipment, tank, duct, elevator enclosure, cooling tower, mechanical ventilator, or air conditioner shall be erected, constructed, converted, established, altered, or enlarged on the roof of any building, unless all such equipment and appurtenances are contained within a completely enclosed, architecturally integrated structure whose top and sides may include grillwork, louvers, and latticework.

50. Prior to the issuance of building permits, construction documents shall fully illustrate compliance with the Citywide Storage Standards for Trash and Recyclable Materials (SDMC) to the satisfaction of the City Manager. All exterior storage enclosures for trash and recyclable materials shall be located in a manner that is convenient and accessible to all occupants of and service providers to the project, in substantial conformance with the conceptual site plan marked Exhibit "A," on file in the Development Services Department.

WASTEWATER REQUIREMENTS:

51. Prior to the installation of any medians, curbs or landscaping on or over the public sewer main in the right of way, the applicant shall obtain an Encroachment Maintenance and Removal Agreement.

52. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any public sewer facilities.

53. The developer shall design and construct any proposed public sewer facilities to the most current edition of the City of San Diego's Sewer Design Guide.

54. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the building permit plan check.

WATER REQUIREMENTS:

55. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s) outside of any driveway, and the removal of all existing unused water services adjacent to the project site, in a manner satisfactory to the Water Department Director and the City Engineer.

56. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) on each water service serving the project, in a manner satisfactory to the Water Department Director and the City Engineer.

000086

57. Prior to the issuance of each certificate of occupancy, public water facilities necessary to serve the development, including services, shall be complete and operational in a manner satisfactory to the Water Department Director and the City Engineer.

58. It is the sole responsibility of the Owner/Permittee for any damage caused to or by existing public water facilities, adjacent to and traversing the project site, due to the construction activities associated with this development. If the proposed development adversely impacts existing public water facilities, then the Owner/Permittee shall relocate such facilities in a manner satisfactory to the Water Department Director and the City Engineer.

59. The Owner/Permittee agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Water facilities, as shown on approved Exhibit "A," will require modification at final engineering based on standards.33

000087

INFORMATION ONLY:

- a. Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code section 66020.
- b. This Development is subject to Development Impact Fees, as established by the City Council, upon project approval and upon presentation of a demand letter from the City.
- c. This Development is subject to Housing Trust Fund Fees, as established by the City Council, upon project approval and upon presentation of a demand letter from the City.
- d. This Conditional Use Permit will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.

APPROVED by the Planning Commission of the City of San Diego on December 1, 2005,
by a Vote of 7 to 0.

000088

ALL-PURPOSE CERTIFICATE

Type/PTS Approval Number of Document:
CUP 4741, SDP 4742, PDP 267312, PTS 2784

Date of Approval: December 1, 2005

STATE OF CALIFORNIA
COUNTY OF SAN DIEGO



William C. Tripp, Development Project Manager

On April 18, 2006 before me, A. Rafael (Notary Public), personally appeared **William C. Tripp**, Development Project Manager of the Development Services Department of the City of San Diego, personally known to me to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/het/their capacity(ies), and that by his/het/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal

Signature 
Name of Notary: A. Rafael



000089

ALL-PURPOSE CERTIFICATE

OWNER(S)/PERMITTEE(S) SIGNATURE/NOTARIZATION:

THE UNDERSIGNED OWNER(S)/PERMITTEE(S), BY EXECUTION THEREOF, AGREES TO EACH AND EVERY CONDITION OF THIS PERMIT AND PROMISES TO PERFORM EACH AND EVERY OBLIGATION OF OWNER(S)/PERMITTEE(S) THEREUNDER.

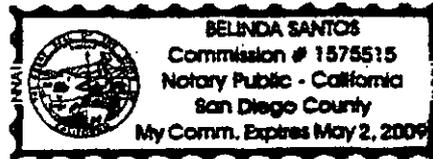
Signed [Signature]
Printed Name: Timothy Jacoby (Sr. Managing Director)
Children's Hospital-San Diego (Owner/Permittee)

STATE OF California
COUNTY OF San Diego

On April 24, 2006 before me, Belinda Santos (Name of Notary Public) personally appeared Timothy Jacoby, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature [Signature]
Name of Notary:



ORIGINAL

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PLANNING COMMISSION
RESOLUTION NO. 3899-PC
CONDITIONAL USE PERMIT NO. 4741
SITE DEVELOPMENT PERMIT (ESL) NO. 4742
PLANNED DEVELOPMENT PERMIT NO. 267312
AMENDMENT TO CONDITIONAL USE PERMIT NO. 87-1096
CHILDREN'S HOSPITAL - PROJECT NO. 2784

WHEREAS, CHILDREN'S HOSPITAL-SAN DIEGO, a California Non-Profit Corporation, Owner/Permittee, filed an application with the City of San Diego for a permit to construct a six-story parking structure, with a 35-unit residential facility, (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 4741, 4742 and 267312), on portions of a 2.9-acre site;

WHEREAS, the project site is located at 3020 Children's Way in the CO-1-2 (Commercial-Office) Zone of the Serra Mesa Community Plan;

WHEREAS, the project site is legally described as a Portion of Lot 1202 of Pueblo Lands Map No. 36, Lot 1199 of Map No. 849, and Portions of Lots 4 and 5, Children's Hospital and Health Center Map No. 12901, and a Portion of Interstate 805 right-of-way;

WHEREAS, on December 1, 2005, the Planning Commission of the City of San Diego considered Conditional Use Permit No. 4741, Site Development Permit (ESL) No. 4742, and Planned Development Permit No. 267312, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated December 1, 2005.

Conditional Use Permit - Section 126.0305

- 1. The proposed development will not adversely affect the applicable land use plan.**

The applicable land use plan for the project site is the Serra Mesa Community Plan. The land use designation for the Children's Hospital site is "institutional" which applies to the larger 79-acre Health-Institutional Complex located between State Route 163 and Interstate 805. The proposed Ronald McDonald House (RMH)/Parking Garage is consistent with the Health-Institutional Complex use as it is designed to serve Children's Hospital.

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- 2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The parking structure portion of the project is designed to meet current and near term expansion needs for Children's Hospital. No residential development is located in the vicinity. The parking structure itself will not generate traffic. Pedestrian access from the parking structure to the hospital will be via a single mid-block pedestrian crosswalk with a pedestrian island for safety. The structure will be located on top of a large cut-slope associated with Interstate 805. A similarly designed and sized parking structure is located on the cut-slope to the north and has not resulted in any adverse impact to the public health, safety, or welfare. The RMH facility is needed to serve the parents and family of Children's Hospital patients. The combined facility will result in a more efficient use of land and have a positive effect on the public health, safety and welfare of the community.

- 3. The proposed development will comply to the maximum extent feasible with the regulations of the Land Development Code.**

The project is located in the CO-1-2 Zone and complies with all zone requirements (setbacks, floor area ratio, landscaping etc.) with the exception of the 60-foot height limit. A Planned Development Permit is required to allow the additional height needed for the residential portion of the project. The applicable findings for the Planned Development Permit have been made.

Approximately 2.4 acres of Diegan coastal sage scrub have been identified on site. This habitat qualifies as Environmentally Sensitive Lands (ESL) and requires approval of a Site Development Permit. The applicable ESL findings for the Site Development Permit have been made.

- 4. The proposed use is appropriate at the proposed location.**

The proposed Ronald McDonald House (RMH)/Parking Garage use will be located in an existing Health-Institutional Complex designated for institutional use in the Serra Mesa Community Plan. The Health-Institutional Complex includes Children's Hospital, as well as Sharp Hospital, and other medical offices. The parking garage component is needed to serve the current and future needs of Children's Hospital, which must eventually expand into space occupied by existing surface parking lots. Additionally, the site is identified in the Long Range Plan for Expansion and Improvement (LRPEI) as an appropriate site for a parking structure. The RMH facility needs to be near the hospital so families of patients are within walking distance of the hospital. An existing RMH facility is located adjacent to the north parking structure.

Site Development Permit - Section 126.0504

- 1. The proposed development will not adversely affect the applicable land use plan.**

The applicable land use plan for the project site is the Serra Mesa Community Plan. The land use designation for the Children's Hospital site is "institutional" which applies to the larger 79-acre

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Health-Institutional Complex located between State Route 163 and Interstate 805. The proposed Ronald McDonald House (RMH)/Parking Garage Project is consistent with the Health-Institutional Complex use as it is designed to serve Children's Hospital. Additionally, the site is identified in the Long Range Plan for Expansion and Improvement (LRPEI) as an appropriate site for a parking structure.

2. **The proposed development will not be detrimental to the public health, safety, and welfare.**

The parking structure portion of the project is designed to meet current and near term expansion needs for Children's Hospital. No residential development is located in the vicinity. The parking structure itself will not generate traffic. Pedestrian access from the parking structure to the hospital will be via a single mid-block pedestrian crosswalk with a pedestrian island for safety. The structure will be located on top of a large cut-slope associated with Interstate 805. A similarly designed and sized parking structure is located on the cut-slope to the north and has not resulted in any adverse impact to the public health, safety, or welfare. The RMH facility is needed to serve the parents and family of Children's Hospital patients. The combined facility will result in a more efficient use of land and have a positive effect on the public health, safety and welfare of the community.

3. **The proposed development will comply with the applicable regulations of the Land Development Code.**

The project is located in the CO-1-2 zone and complies with all zone requirements (setbacks, floor area ratio, landscaping etc.) with the exception of the 60-foot height limit. A Planned Development Permit is required to allow the additional height needed for the RMH portion of the project. The applicable findings for the Planned Development Permit have been made.

Approximately 2.4 acres of Diegan coastal sage scrub have been identified on site. This habitat qualifies as Environmentally Sensitive Lands (ESL) and requires approval of a Site Development Permit. The applicable ESL findings for the Site Development Permit are provided below.

Supplemental Findings--Environmentally Sensitive Lands

1. **The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.**

The site is physically suitable for the design and siting of the proposed RMH facility/parking structure. The preliminary geotechnical investigation, prepared by LawGibb Group, has been reviewed by City staff and been determined to adequately address the soil and geologic conditions potentially affecting the proposed project. The environmentally sensitive lands consist of 2.4 acres of Diegan coastal sage scrub (including disturbed) occurring on the revegetated cut-slope. The proposed RMH facility/parking structure cannot be built on the site without impacting the entire 2.4 acres of Diegan coastal sage scrub. All impacts to

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environmentally sensitive lands on the site will be mitigated through the payment of MHPA habitat restoration fees.

2. **The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.**

The proposed grading is the minimum necessary to accommodate the RMH facility/parking structure while minimizing the visual impact of the structure from the Children's Hospital Campus. Raising the finished floor elevation to reduce grading would increase the height of the parking garage, creating a greater visual impact when viewed from Children's Way.

The site is not located in a flood plain. Erosion problems, potentially present during construction will be eliminated by following the Landscape Standards outlined in the City of San Diego's Land Development Manual. Native hydroseed is proposed for areas surrounding the parking structure that are disturbed during grading and construction activities. The native hydroseed will provide additional erosion control on the slopes. A Storm Water Management Plan (SWMP) to treat runoff from the site has been submitted and approved by the City. No geologic hazards were noted in the preliminary geotechnical investigation (see Finding #1).

3. **The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.**

The proposed parking garage is designed to prevent adverse impacts to adjacent environmentally sensitive (MHPA) lands in the following ways:

- Noise during construction will be mitigated by a high ridge which separates the project site from the adjacent MHPA. The ridge will provide an effective sound barrier. Additionally, the site and the adjacent MHPA are both located adjacent to and above Interstate Highway 805. It is unlikely that construction noise would exceed the current noise level generated by freeway traffic.
- Native hydroseeding is proposed for areas surrounding the parking structure that are disturbed during grading and construction activities. The native hydroseed will provide additional erosion control on the slopes to reduce the potential for invasion of native plant communities in the adjacent MHPA with exotic plants.
- A stormwater management system has been designed to treat runoff from the site. On-site water quality will be preserved through the use of site design and treatment Best Management Practices (BMPs) including the use of landscaping/vegetated swales. The vegetation to be used in the vegetated swales will consist of non-invasive, water-resistant grasses as recommended in the California Stormwater Quality Association (CASQA) Stormwater BMP Handbook Section 5 TC-30. The use of grass swales is consistent with the MHPA Land Use Adjacency Guidelines for drainage into the MHPA. All runoff

000094

contacting impervious surfaces (parking garage decks) will enter a water-quality treatment BMP, such as the Jenson 750 Stormwater Interceptor, to treat the primary pollutants before being pumped into the storm drain system.

- Lighting associated with the parking garage will be either directed away from the MHPA or provided with adequate shielding to minimize light pollution in the MHPA. If any night-time construction is proposed, lighting will be directed away from the MHPA.

4. **The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.**

The project's consistency with the City of San Diego's Multiple Specific Conservation Program is addressed in the Revised Biological Technical Report for the Children's Hospital Parking Garage, prepared by Helix Environmental Planning, Inc. The report states that the parking garage site occurs within the MSCP Subarea Plan boundaries but is outside the MHPA. The closest MHPA open space to the proposed project is located on a separate slope in the canyon to the south of the terminus of Children's Way. The report also states that there are 2.4 acres of Diegan coastal sage scrub habitat, which will be directly impacted by the project. Under the City's Biology Guidelines (2001) impact to Diegan coastal sage scrub outside of the MHPA requires mitigation at a ratio of 1:1 if it occurs within the MHPA. At the request of City staff, this mitigation will be met through the payment of fees to the City of San Diego's MHPA habitat acquisition fund.

5. **The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.**

The proposed project is not located on the shoreline.

6. **The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.**

The mitigation is based on the City's Biology Guidelines (2001), which have been calibrated to provide realistic mitigation ratios for the disturbed habitat. Likewise, the City of San Diego's MHPA acquisition fund establishes appropriate per acre fees to allow for the acquisition of suitable MHPA mitigation lands.

Planned Development Permit - Section 126.0604

1. **The proposed development will not adversely affect the applicable land use plan.**

The applicable land use plan for the project site is the Serra Mesa Community Plan. The land use designation for the Children's Hospital site is "institutional" which applies to the larger 79-acre

000095

Health-Institutional Complex located between State Route 163 and Interstate 805. The proposed Ronald McDonald House/Parking Garage Project is consistent with the Health-Institutional Complex use as it is designed to serve Children's Hospital.

The Physical Environment-Urban Design section of the Serra Mesa Community Plan does not identify any potential issues with regard to the height of structures in the Health-Institutional Complex. A number of existing structures within the Health-Institutional Complex already exceed the 60-foot height limit including the Rose Pavilion on the Children's Hospital campus and a recently approved new hospital facility on the adjacent Sharp Hospital Campus. Therefore, the proposed height deviation from 60-feet to approximately 95-feet can be found consistent with the Serra Mesa Community Plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

Although the overall height of the combined RMH Facility /Parking Garage will be a maximum of 94'-6" as defined by Section 113.0270 (a) (5) of the City's Land Development Code, the bulk of the structure will be set into the hillside above the I-805 right-of-way. The sloping site significantly mitigates the visual impact of the structure from all public vantage points. From Children's Way, which is level with the main hospital building on the Children's Hospital Campus, the apparent height of the structure will be 45 feet or less. From the I-805 right-of-way, the visual impact, while less sensitive, will be mitigated by the hillside itself and the backdrop of taller buildings on the Children's Hospital Campus.

Additionally, several existing buildings on the Children's Hospital Campus and in the larger Health-Institutional Complex exceed the 60 feet height limit, including the Children's Medical Office Building (66 feet), the Rose Pavilion (88 feet, including clock tower), and the north and south towers on the adjacent Sharp Hospital Campus (approximately 117 feet). These existing structures have not resulted in any negative impact to the public health, safety, and welfare. A height deviation for a new 117-foot main hospital building was approved for the adjacent Sharp Hospital Campus on September 16, 2004 (PTS 6839).

The nearest residential areas are located to the east of I-805 and will not be impacted by the structure height. The parking structure is designed to meet current and near term expansion needs of Children's Hospital. The RMH facility is needed to serve the parents and family of Children's Hospital patients. The combined facility will result in a more efficient use of land and have a positive effect on the public health, safety and welfare of the community.

3. The proposed development will comply with the regulations of the Land Development Code.

The project is located in the CO-1-2 zone and complies with all zone requirements (setbacks, floor area ratio, landscaping etc.) with the exception of the 60-foot height limit. The proposed height deviation is needed to allow the Ronald McDonald House facility to locate on top of the parking structure which itself is 60-feet in height.

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4. **The proposed development, when considered as a whole, will be beneficial to the community.**

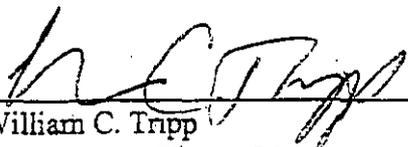
The proposed parking garage use will be located in an existing Health-Institutional Complex designated for institutional use in the Serra Mesa Community Plan. The Health-Institutional Complex includes Children's Hospital, as well as Sharp Hospital, and other medical offices. The parking garage is needed to serve the current and future needs of Children's Hospital, which must eventually expand into space occupied by existing surface parking lots. Additionally, the site is identified in the Long Range Plan for Expansion and Improvement (LRPEI) as an appropriate site for a parking structure.

The Ronald McDonald House facility will provide a needed service to families with patients at Children's Hospital. The benefits provided by the new facility overwhelmingly support the public health, safety, and welfare of the community.

5. **Any proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.**

The proposed height deviation allows for a more efficient use of limited land within the Children's Hospital campus resulting in a more desirable project than if the Ronald McDonald House expansion were limited to alternative sites further away from the main hospital. Furthermore, the addition of a residential type facility on top of the parking structure adds roof articulation and more detailed exterior treatments that will enhance the appearance of the structure.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Conditional Use Permit No. 4741, Site Development Permit (ESL) No. 4742, and Planned Development Permit No. 267312, is hereby GRANTED by the Planning Commission to the referenced Owner /Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 4741, 4742 and 267312, a copy of which is attached hereto and made a part hereof.



William C. Tripp
Development Project Manager
Development Services

Adopted on: December 1, 2005, By a Vote of 7 to 0.

Job Order No. 42-0128

cc: Legislative Recorder, Planning Department

000097

Serra Mesa Planning Group

Post Office Box 23315 San Diego, CA 92193

May 17, 2006

Firouzeh Tirandazi
Development Project Manager
Development Services
1222 First Avenue MS 501
San Diego, CA 92101-4153

RE: Acute Care Pavilion Expansion, Project No. 84791

Dear Ms. Tirandazi:

The Serra Mesa Planning Group passed a motion (7-0-1) on March 16, 2006 to approve the conditional use permit, the planned development permit, and the site development permit for the Acute Care Pavilion.

If you have any questions, please contact me at 858-278-9660.

Sincerely,



Cindy Moore
Chair, Serra Mesa Planning Group

000098



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title

Project No. For City Use Only

Children's Hospital Acute Care Pavilion

84791

Project Address:

3020 Children's Way, San Diego, CA 92123-4282

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature : _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature : _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature : _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature : _____ Date: _____

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Project Title: Children's Hospital Acute Care Pavilion	Project No. (For City Use Only)
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation (Limited Liability -or- General) What State? CA Corporate Identification No. CO250564
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print):
Children's Hospital - San Diego

Owner Tenant/Lessee

Street Address:
3020 Children's Way

City/State/Zip:
San Diego, CA 92123

Phone No: 858-966-8577 Fax No:

Name of Corporate Officer/Partner (type or print):
Blair L. Sadler

Title (type or print):
President and Chief Executive Officer

Signature: [Signature] Date: 9/19/05

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:



3020 Children's Way
San Diego
California 92123-4282

(619) 576-1700
TTY 576-5831

September 19, 2005

Children's Hospital – San Diego Corporate Officers

John G. Davies, Chairman

Ronald H. Kendrick, Vice Chairman

Blair L Sadler, President and Chief Executive Officer

Margareta E. Norton, Senior Vice President, Chief Operating Officer and
Secretary

Roger G. Roux, Senior Vice President, Chief Financial Officer and Treasurer

Belinda Santos, Assistant Secretary

... because children are the future

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Project Chronology
 Rady Children's Hospital and Health Center
 Project No. 84791

DATE	ACTION	DESCRIPTION	CITY REVIEW TIME	APPLICANT RESPONSE
12/09/2005	Applicant submits 1st full set of plans Deemed Complete	Project plans distributed for City staff review.		
1/24/2006	Environmental Determination	Extended Initial Study (XIS)		
02/15/2006	First Assessment Letter	1st Assessment Letter identifying required approvals and outstanding issues provided to applicant.	68 days	
06/06/2006	Applicant submits 2nd full set of plans.	Applicant's revised set of plans submitted in response to first assessment letter from City staff.		111 days
07/12/2006	2nd Assessment Letter	2 nd Assessment Letter identifying required approvals and outstanding issues provided to applicant.	36 days	
09/05/2006	Applicant submits 3rd full set of plans.	Applicant's revised set of plans submitted in response to second assessment letter from City staff.		55 days
12/08/2006	Project reviews complete		94 days	
12/15/2007	Environmental Document	Public Review	(30 days)	
02/15/2007	Planning Commission Hearing	Public Hearing	14 days	
TOTAL STAFF TIME		Averaged at 30 days per month	Approx. 7 Months	
TOTAL APPLICANT TIME		Averaged at 30 days per month		Approx. 6 Months
TOTAL PROJECT RUNNING TIME		From first submittal to Hearing	14 Months	