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RECOMMENDATIONS

COMMUNITY PLANNING GROUP/CITY MANAGER/PLANNING COMMISSION

Project Manager **must** complete the following information for the Council docket:

CASE NO. LOS VIENTOS, Project No. 103439

CITY MANAGER – Recommend that the City Council

1. Certify Mitigated Negative Declaration No.103439, and Adotp Mitigation, Monitoring and Reporting Program (MMRP);
2. Approve Amendments to Progress Guide and General Plan, Barrio Logan/Harbor 101Community Plan, the Barrio Logan Planned District Ordinance, and the Local Coastal Program No. 341661;
3. Approve Rezone No. 341660;
4. Approve Easement Abandonment No. 417546; and
5. Approve Site Development Permit No. 341663, Coastal Development Permit No. 341662, and Planned Development Permit No. 417547.

PLANNING COMMISSION (list names of Commissioners voting yea or nay)

YEAS: 5 (Garcia, Ontai, Otsuji, Griswold, and Naslund)

NAYS: 0

ABSTAINING: 1 (Schultz – Recused)

TO: Recommend to the City Council approval of the proposed project based on staff's recommendation.

COMMUNITY PLANNING GROUP (choose one)

LIST NAME OF GROUPS:

- No officially recognized community planning group for this area.
- Community Planning Group has been notified of this project and has not submitted a recommendation.
- Community Planning Group has been notified of this project and has not taken a position.
- Community Planning Group has recommended approval of this project.
- Community Planning Group has recommended denial of this project.
- This is a matter of City-wide effect. The following community groups have taken a position on the item:

On January 29, 2007, the Barrio Logan Redevelopment Project Area Committee voted 8-0-2 to approve the project.

By 
 Farah-M. Mahzari
 Development Project Manager

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THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: February 22, 2007 **REPORT NO. PC -07-034**

ATTENTION: Planning Commission, Agenda of March 1, 2007

SUBJECT: LOS VIENTOS - PROJECT NO. 103439. PROCESS 5

OWNERS: AMCAL Los Vientos Fund, LP

APPLICANT: AMCAL Multi-Housing, Inc.

SUMMARY

Issue: Should the Planning Commission RECOMMEND to the City Council approval of the construction of 89 rental units including at least 16 (20%) affordable units on a 1.04 acre site at 1629 and 1668 National Avenue within the Barrio Logan/Harbor 101 Community Planning Area?

Staff Recommendation:

1. Recommend that the City Council **CERTIFY** Mitigated Negative Declaration No. 103439, and **ADOPT** Mitigation, Monitoring and Reporting Program (MMRP);
2. Recommend that the City Council **APPROVE** Progress Guide and General Plan Amendment/Community Plan Amendment, the Barrio Logan Planned District Ordinance Amendment, and Amendment to the Local Coastal Program No. 341661;
3. Recommend that the City Council **APPROVE** Rezone No. 341660;
4. Recommend that the City Council **APPROVE** Easement Abandonment No. 417546 to vacate the sewer crossing 1629 National Avenue;
5. Recommend that the City Council **APPROVE** Site Development Permit No. 341663, Coastal Development Permit No. 341662, and Planned Development Permit No. 417547.

Community Planning Group Recommendation: There is no recognized community planning group for the Barrio Logan community.

Other Recommendations: On January 29, 2007, the Barrio Logan Redevelopment Project Area Committee voted 8-0-2 to approve the Los Vientos project.

Environmental Review: A Mitigated Negative Declaration has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) guidelines, which address potential impacts to Historical Resources (Archaeology); Paleontology and Health and Safety. A Mitigation, Monitoring and Reporting Program would be implemented with this project to reduce the impacts to a level below significance.

Fiscal Impact: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: The proposed general/community plan amendment and rezone would permit residential development on a site where none is currently allowed. The applicant has agreed to comply with, and in fact will exceed the Affordable Housing Requirements of the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code).

The proposed project also conforms with Council Policy 600-27(A) criteria for the Affordable/In-Fill Housing Expedite Program. The applicant has elected to meet these requirements by restricting at least 16 residential units (20%) for occupancy by, and at rents affordable to, households earning no more than 60% of the Area Median Income (AMI).

The underlying zoning authorizes 76 units. In exchange for reserving 20% of the pre-density bonus units (16 units) for occupancy by, and at rents affordable to, households earning no more than 60% AMI, the project is granted a density bonus, bringing the total number of allowed units to 89 units.

Prior to receiving the first residential building permit, the applicant must enter into an agreement with the San Diego Housing Commission to assure that the restricted units are provided and occupied by the appropriate households.

BACKGROUND

The proposed project site is located within the Barrio Logan/Harbor 101 Community Planning Area. Barrio Logan is an older residential-industrial community bounded by the San Diego Bay on the west, the Center City Redevelopment Area to the north, Interstate 5 to the east and National City to the south (attachment 1).

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The project site is located on two separate properties across the street from each other at 1629 and 1668 National Avenue. The 1629 site is 0.48 acres and the 1668 site is 0.56 acres for a total of 1.04 acres (attachment 2).

The project sites are currently zoned Barrio Logan Planned District (BLPD)-Redevelopment Sub-District-Light Industry/Commercial Use. Surrounding land uses generally include Light Industrial/Commercial to the north, south, east and west. Existing surrounding land uses consist of single dwelling units, duplexes and a teen health center to the north; Light industrial and storage to the south; Radford Garage Doors and single family dwelling units to the east; and Central Meats and a parking lot to the west.

The two parcels are nearly equal in size and combined total 1.04 acres. 1629 National Avenue includes four parcels, and previously consisted of an auto dismantling yard, which has since been removed and the site is now vacant except for a dilapidated single family structure that will be demolished as part of the proposed construction. 1668 National Avenue includes 4 parcels. The site is vacant and is currently being used for parking of automobiles. Both properties are relatively flat. No biological resources exist on either site. The project is not within nor adjacent to the Multi-Habitat Planning Area (MHPA).

DISCUSSION

Project Description:

The Los Vientos development is located in the northern portion of the Barrio Logan Redevelopment Project Area, on National Avenue and south of 16th Street, adjacent to the Centre City Redevelopment Project Area, East Village.

The site is located on two separate properties across the street from each other at 1629 and 1668 National Avenue within the Coastal Overlay Zone, Barrio Logan Planned District-Redevelopment Subdistrict, Barrio Logan Redevelopment Project Area, Transit Overlay Zone, Residential Overlay Zone and within Council District 8.

Los Vientos will provide 89 rental units in two 'U' shaped four story buildings, over parking. The applicant intends to develop Los Vientos as a 100% affordable housing development for low and very low income families. To do so, the applicant will have to obtain affordable housing financing, including low income housing tax credits and a loan from the Redevelopment Agency. As a condition of the project financing, all of the 89 units will remain affordable for 55 years. However, if the project cannot secure the necessary financing, the applicant would be unable to develop the project as a 100% low income affordable housing project.

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In order to satisfy all the requirements of the Inclusionary Ordinance and the Affordable Density Bonus Regulations, at least 16 units (20%) will be affordable at 60% AMI.

The project will offer two, three and four bedroom floor plans that range in size from approximately 750 square feet to 1,230 square feet. Elevators will also be installed for access to upper floors.

The building located at 1668 National Avenue will provide 26 two-bedroom and 20 three-bedroom units for a total of 46 units, and two levels of subterranean parking that provides 98 standard spaces, 10 tandem spaces (5x2), and two accessible spaces for a total of 110 spaces. On site amenities include: a community room with offices, a kitchen, computer room; tot lots/play areas at grade as part of the courtyard; the courtyard also provides outdoor seating, BBQ, and planters.

The building located at 1629 National Avenue will provide 24 two-bedroom, 15 three-bedroom and 4 four-bedroom units for a total of 43 units and one level of subterranean parking that provides 27 standard spaces, 24 tandem spaces (12x2), and two accessible spaces for a total of 53 spaces. On-site amenities include: laundry facility; tot lots/play areas at grade as part of the courtyard; the courtyard also provides outdoor seating, BBQ, and planters.

The grand total of parking spaces for both sites combined is 163, where 166 are required per the San Diego Municipal Code.

The proposed project is a Rezone, General/Community Planned Amendment (CPA), Barrio Logan Planned District Ordinance Amendment, Local Coastal Program Amendment, Sewer Easement Abandonment, Site Development Permit (SDP), Planned Development Permit (PDP) and a Coastal Development Permit (CDP) to be heard by City Council (Process 5 Hearing).

The project as proposed requires an Amendment to the Progress Guide and General Plan and the Barrio Logan/Harbor 101 Community Plan to change the land use designation on the subject sites to a new High Density Residential designation with a density of 45 to 74 dwelling units per acre. A Local Coastal Program Amendment is required for the General/Community Plan Amendment and the Rezone since the properties are located in the Coastal Overlay Zone. The Local Coastal Program Amendment must also be certified by the California Coastal Commission in accordance with Coastal Commission regulations. A Rezone from Light Industrial/Commercial use to a new High Density Residential (RM-3-9 Multi-Residential) designation (45 to 74 dwelling units per net residential acre) is proposed. An Amendment to the Barrio Logan Planned District Ordinance to change the two parcels into citywide RM-3-9 zone, and an Easement Abandonment to vacate the sewer crossing the 1629 National Avenue site is also required.

A Planned Development Permit is required for development that does not comply with all base zone or development regulations (i.e. Deviations). A Site Development Permit is required for development within the Redevelopment Subdistrict of the Barrio Logan Planned District and a Site Development Permit for development of more than 20 dwelling units in the RM-3-9 zone on lots

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which are consolidated to accommodate the development. A Coastal Development Permit is required for demolition of a single family residence and various auxiliary structures and the development of an 89-unit multi-family project.

The site located at 1629 National Avenue would intercept runoff from the roof and building via a private on-site drainage system and ultimately discharge the runoff to National Avenue through sidewalk under drains or curb outlets and then into the existing alley. The runoff in the alley travels westerly in the alley towards 16th Street and then southerly along 16th Street in the curb and gutter to an inlet at the intersection of 16th Street and Newton. The site located at 1668 National Avenue would be intercepted in the same manner, but would ultimately travel along the existing curb and gutter to an existing inlet located at the intersection of National Avenue and 16th Street.

The project would result in 8,200 cubic-yards of cut and export at a maximum depth of 13.4 feet for the 0.48-acre site located at 1629 National Avenue. With respect to the site located at 1668, the grading would result in 17,500 cubic-yards of cut and export with a maximum depth of 26 feet for the 0.56-acre site.

Landscaping would be in conformance with the City's Landscape Technical Manual and would include the following: Accent trees, Courtyard Palms, groundcover and shrubs.

Community Plan Amendment Analysis:

The Barrio Logan/Harbor 101 Community Plan currently designates land uses on the subject sites as being within the Redevelopment Project Area. The uses are further defined as Light Industry/Commercial and are zoned Light Industry/Commercial within the Redevelopment Subdistrict per the Barrio Logan Planned District Ordinance (attachment 3). The purpose of the Light Industry/Commercial designation is to serve as transitional land use areas between residential and industrial uses. The proposed amendment to the Barrio Logan/Harbor 101 Community Plan would change the land use designation on the subject sites to a new High Density Residential designation with a density range of 45 to 74 dwelling units per acre (attachment 4). If approved, this designation would allow up to 76 dwelling units on the two sites combined, however, the applicant is proposing the amendment to accommodate a project totaling 89 units. The total exceeds the maximum that would be permitted by the proposed land use designation however the applicant is pursuing an affordable housing density bonus.

The original 1978 Barrio Logan /Harbor 101 Community Plan designated large areas of the community, including the subject sites, for Residential/Commercial/Industrial land use. The intent of this permissive designation was to promote a diversified community with a mixture of uses. However, land use conflicts occurred as industrial users were unable to assemble land in sufficiently large amounts for their operations and instead scattered piecemeal throughout the community thereby creating potential health issues.

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The Barrio Logan Redevelopment Plan was adopted in 1992 for a portion of the community, including the subject area. The Barrio Logan/Harbor 101 Community Plan was amended in conjunction with the adoption of the Redevelopment Plan to provide for a greater separation of land uses. The subject sites are located in an area that was redesignated to Light Industry/Commercial Use to provide a transitional area between exclusively industrial areas to the north and west and residential uses to the east. The plan recommends that industrial offices, commercial and small warehousing be located in this transitional area. The Plan also recommends the preservation of the area's existing employment base and promotion of the development of local job opportunities.

The City Planning and Community Investment Department has identified the critical need to update the Barrio Logan/Harbor 101 Community Plan and related zoning to address land use compatibility issues, traffic and circulation, health issues such as noise, both stationary and mobile sources of air contaminants, hazardous materials, waterfront industry and other economic development, mixed-income housing, historic resources, and community identity. Funding commitments have recently been secured from Centre City Development Corporation and the San Diego Port District which will enable the update to begin in the next several months and be completed in 2009. The comprehensive update will also include a Redevelopment Plan Amendment to expand the boundaries of the redevelopment area to include the plan area boundaries, a Public Facilities Financing Plan update, preparation of an Environmental Impact Report, and associated rezones and code amendments.

The applicant's request initially included a third site located at 1669 Newton Ave. which has since been removed from the request. The initiation request was heard at Planning Commission on December 8, 2005 and approved on December 15, 2005. Report No. PC-05-336 recommended that the initiation request be denied because neither the initial criteria nor supplemental criteria for plan amendment initiation could be met. Many of the issues discussed in the report associated with the City Council Land Use and Housing policy direction on the potential loss of industrial lands and the potential health risks to future residents of the project. Since that time, the California Air Resource Board Study recommendations associated with locating residential uses in proximity to certain industrial uses have been clarified as discussed in attachment 6. However, the primary reason for staff's initial recommendation for denial was that the proposed land use plan amendment was not considered to be consistent with goals of the Progress Guide and General Plan and the Barrio Logan/Harbor 101 Community Plan. This was due to the proposal's introduction of a new high-density range on the specific sites which would constitute an isolated land use designation change rather than a comprehensive approach to introduce higher density into the Barrio Logan community planning area. Staff recommended that a more comprehensive approach to the redesignation should occur through a community plan update to analyze adjacency issues, appropriate land uses, appropriate residential density ranges, and potential health risks to community members. The Planning Commission also had concerns regarding these issues but later initiated the request because it could result in needed affordable housing in Barrio Logan.

As part of the general/community plan review process, staff analyzed the following issues identified at the plan initiation stage (See Attachment 6):

- The impact of potential residential development on public services and facilities, consistency with the draft Economic Prosperity Element of the General Plan, which also includes the potential loss of industrial/commercial lands and the compatibility of adjacent residential/industrial/commercial development
- The potential noise and health impacts related to the proximity of residential development to industrial commercial uses, port activity, and the I-5 freeway
- The availability of transit
- Housing availability and affordability
- Walkability and pedestrian connectivity
- The appropriate land use designation, density range, and zoning

As analyzed in Attachment 6, the requested residential use is consistent with the City's efforts to provide affordable housing units in the urbanized portion of the City. The proposed use is largely compatible with surrounding existing development with the exception of impacts from truck traffic. In addition, this area of Barrio Logan will be considered for higher density residential use as part of the Barrio Logan Community Plan update process. If designated for residential in the future, impacts from adjacent industrial uses will diminish over time as old industrial uses are replaced with multi-family housing. For these reasons, staff can now support the proposed general/community plan amendment to a high density residential designation.

Environmental Analysis:

The proposed project could result in significant but mitigable impacts in the following areas:

Historical Resources (Archaeology): According to the City's Historical Resources Sensitivity Map, the site is located in an area with high potential for subsurface archaeological resources. The project would export approximately 25,700 cubic yards of cut at depths of up to 26 feet. Due to the quantity of cut and potential to impact archeological finds on-site, Archeological monitoring would be required during grading. Additionally, the Barrio Logan Redevelopment Plan EIR SCH-No. 90010287 requires monitoring by a qualified archeologist during construction and grading activities. In the event that such resources are discovered, excavation would be halted or diverted, to allow recovery, evaluation, and recordation of materials. A Mitigation, Monitoring and Reporting Program, contained in Section V of the Mitigated Negative Declaration, would mitigate potentially significant impacts to archaeological resources to below a level of significance.

Paleontology: The project is located within the Bay Point Formation, which has a high potential for paleontological resources. The project proposes grading quantities of approximately 25,700 cubic yards of cut at depths of up to 26 feet. Additionally, the Barrio Logan Redevelopment Plan EIR

SCH-No. 90010287 requires monitoring by a qualified paleontologist during construction and grading activities. As such, a Mitigation Monitoring and Reporting Program, contained in Section V of the Mitigated Negative Declaration, would mitigate potentially significant impacts to paleontological resources to below a level of significance.

Health and Safety (Hazardous Materials/Public Safety): As new residential construction occurs in or near areas historically used for industry, agriculture, commerce or solid waste (e.g. landfills, former landfills sites, or fuel storage), contaminated soils and groundwater can be found. As part of the environmental review process, steps must be taken to disclose and address the safe removal, disposal and/or remediation of hazardous materials.

In order to assess both the sites, a Phase I Environmental Site Assessment (ESA), dated May 17, 2005 and prepared by Environmental Business Solutions, which analyzed both sites was provided. The Phase I ESA includes a records search with the objective of identifying the possible presence and concentrations of petroleum hydrocarbons and Volatile Organic Compounds (VOCs) in the shallow soils and groundwater at the sites in connection with known and reported releases from on and off-site sources. The report also included soils sampling and analysis through 18 soil borings and 18 trenches. The subsurface testing indicated relatively low levels of VOCs, Petroleum Hydrocarbons and Lead. Therefore, due to the contamination found on both sites, proof of regulatory oversight would be required to be submitted.

The County of San Diego Department of Environmental Health (DEH) would provide oversight for site assessment and site cleanup. DEH has the responsibility to promote a safe and healthy environment for the public in areas where soils and other materials contaminated with hazardous substances are excavated, removed, or handled.

Due to the contamination found on and around the site, there is potential for a significant impact with respect to health and safety. Therefore, the applicant must provide to the Environmental designee of the Assistant Deputy Director of Land Development Review Division a "No Further Action" letter or other certification from the DEH verifying approval that the site meets the criteria for residential development. Compliance with the requirements of DEH would reduce impacts to below a level of significance. As such, a Mitigation, Monitoring and Reporting Program, contained in Section V of the Mitigated Negative Declaration, would mitigate potentially significant impacts to Hazardous Material/Public Safety to below a level of significance.

Aesthetics/Neighborhood Character, Geology, Historical Resources (Architecture), Public Utilities, Water Quality, Hydrology, Noise, Traffic, Human Health and Public Safety were considered in depth during the environmental review of the project and determined not to be potentially significant.

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Park Impact Statement:

Barrio Logan is an urbanized community and all needed public services are available in the community. The proposed project will generate approximately 336 residents which would require an additional .94 useable acres of population-based park land, 1% of a community recreation center, and .06% of a community swimming pool complex. An amendment to the Barrio Logan Public Facilities Financing Plan (PFFP) is underway and anticipated to be considered by the City Council by April of this year. Although the current PFFP update does not include the 89 units associated with this project, the projected fee increase from \$900 per unit to \$10,000 per unit will figure substantially in addressing future community facility deficits for parks and all other public services and facilities. Since it is anticipated that the new fee will be in place by the time building permits are requested for this project, the project's impact to facilities will be negligible. In addition, a revised PFFP which reflects the development proposed by the land uses in the new community plan update will be adopted with the new plan within two years.

Project-Related Issues:

Rezone and Density Bonus- The Rezone would change the underlying zone from Light Industrial/Commercial to RM-3-9. The RM-3-9 zone allows 45 to 74 dwelling units per net residential acre. The proposed RM-3-9 Zone allows for the development of one unit per every 600 square feet of land area. With a project site of 1.04 acres (45,500 square feet), the project site would allow for the development of 76 dwelling units. To develop 89 units the developer is requesting a 17% density bonus.

Proposed Land Development Code Deviations (Attachment 7A):

Front Yard Setback: Deviation from San Diego Municipal Code (SDMC) Section 131.0443 (f) (1) to allow for a reduced minimum front yard setback of 1'6" to 10'0" where 10'0" is required.

Staff has reviewed and is able to support this deviation because the parking structures encroach into the setbacks in only one corner of each lot where the topography slopes to reveal the structure. To meet the parking requirements for this project the capacity of the garages must be maximized. They are generally subterranean, but on each site one corner slopes away to reveal the building. To make the garages fully subterranean would require lowering the whole building, forcing it into the water table and resulting in increased cost for waterproofing and water pumps. In addition, the longer ramps necessary to access this lower level would reduce the number of parking spaces; this would require another deviation and would result in the loss of one 3 bedroom unit on each site (2 three bedrooms units total). Subterranean parking enables the project to avoid impacting the street parking in the surrounding area.

The 1668 street wall is being activated by bringing a portion of the community rooms down to the street level as directed by Long Range Planning and the RDA; this also allows easier access for the residents of the 1629 site to the shared amenities.

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The deviation for the building above on the 1629 site allows an amenities room to over look the tot lot and the main entrance to provide visual surveillance of these areas.

Side Yard Setback: Deviation from SDMC Section 131.0443 (f) (2) to allow side yard setbacks between 1'0" to 5'0" where 15'0" to 17'6" are required.

Staff has reviewed and is able to support this deviation because the project was originally designed to the Barrio Logan Planned District Ordinance regulations, but is now being submitted under the citywide RM-3-9 zone. The RM-3-9 setbacks cause a loss of 20' of width on the 1629 site and 25' of width on the 1668 site. To meet these setback requirements would require a redesign that would result in the loss of at least 4 low income dwelling units on each site (8 total) and possibly more. The loss of this many units would make the project economically infeasible. This change would also reduce the size of the interior courtyard, which is its most usable community space. The majority of the encroachments into the side setbacks on both sites are required in order to accommodate the exterior private space and exterior storage. This allows for 100% of the proposed units to have exterior private space and exterior storage instead of the 75% required.

The parking structures encroach into the setbacks in one corner of each lot where the topography slopes to reveal the structure. To meet the parking requirements for this project the capacity of the garages must be maximized. They are generally subterranean, but on each site one corner slopes away to reveal the building. To make the garages fully subterranean would require lowering the whole building, forcing it into the water table and resulting in increased cost for waterproofing and water pumps. In addition, the longer ramps necessary to access this lower level would reduce the number of parking spaces; this would require another deviation and would result in the loss of one 3 bedroom unit on each site (2 three bedrooms units total). Subterranean parking enables the project to avoid impacting the street parking in the surrounding area.

Rear Yard Setback: Deviation from SDMC Section 131.0431 (e) to allow rear yard setbacks between 1'0" and 3'6" where 5'0" is required.

Staff has reviewed and is able to support this deviation because the project was originally designed to the Barrio Logan Planned Development Ordinance regulations, but is now being submitted under the citywide RM-3-9 zone. The RM-3-9 setbacks cause a loss of 2' of buildable area along the alley of each site. To meet this setback requirement would require a redesign that would result in the loss of at least 4 low income dwelling units. The loss of this many units would make the project economically infeasible. This change would also reduce the size of the interior courtyard, which is its most usable community space. The majority of the encroachments into the rear setback on both sites are for the exterior private space and exterior storage. This allows for 100% of the proposed units to have exterior private space and exterior storage instead of the 75% required.

Maximum lot size: Deviation from SDMC Section 103.0959 (b) to allow lot consolidation that would create a premise exceeding 14,000 square feet of lot area and over 100 feet of frontage along the front property line.

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Staff is able to support this deviation because the lot size proposed is required to achieve the number of units proposed. The deviation is also necessary to provide the 100% affordable units onsite. Without this, the development would require a significant redesign to meet current development standards, resulting in loss of units that would make the project economically infeasible.

Side and Rear yard landscaping: Deviation from SDMC Section 142.0404 to allow the reduction or elimination of remaining yard landscape point requirements where 60 points are required.

Staff is able to support this deviation because the remaining yard (side area of buildings) is taken up entirely by podium deck / building footprint and there is no 'remaining yard' to count. The size of the footprint of the building is necessary to provide 100% affordable units and related onsite parking in a quantity that yields an economically feasible project.

Planters with trees and shrubs are indicated in the landscape development plans for both sites to replace the landscaping and soften the podium level.

Private exterior open space: Deviation from SDMC Section 131.0455 (c) to allow private balconies with a minimum dimension of 5 feet where 6 feet is required and to allow private open space within 5 feet of the property line where 9 feet should be provided.

The project was originally designed to the Barrio Logan Planned District Ordinance regulations, but is now being submitted under the citywide RM-3-9 zone. This deviation allows the project to provide all of the units with private exterior open space. The deviation is also necessary to provide 100% affordable units onsite. Without this deviation, the development would require a significant redesign to meet current development standards, resulting in a loss of units that would make the project economically infeasible.

Parking: Deviation from SDMC Section 142.0525 Table 142.05C, the minimum parking requirement for the proposed project consisting of 50 two-bedroom (1.75 spaces per unit), 35 three-bedroom (2.0 spaces per unit), 4 four-bedroom units (2.0 spaces per unit), located within transit area is 166 spaces; the project is providing 163 spaces.

To get the additional 3 parking spaces to meet code would require enlarging the subterranean parking with a subsequent fiscal impact that would make the project economically infeasible. This deviation allows the parking access to be from the alley reducing vehicular and pedestrian path conflicts. Also, the project is not proposing any curb cuts on National Avenue preserving all on street parking.

Conclusion:

The proposed project site is located in the Barrio Logan Planned District-Redevelopment Subdistrict, Barrio Logan Redevelopment Project Area. The proposed development shall eliminate physical blight and provide for a more livable neighborhood that would result in a net gain of 89 for rent units. The project is anticipated to be 100% affordable, however if funding can not be

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secured by the applicant at least 16 (20%) affordable units will be provided for occupancy by, and at rents affordable to, households earning no more than 60% AMI.

ALTERNATIVE

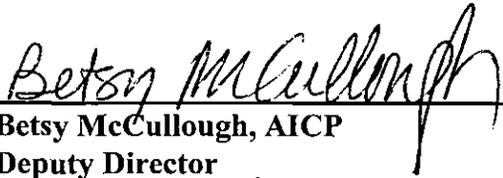
1. Recommend that the City Council **CERTIFY** Mitigated Negative Declaration No. 103439, and **ADOPT** Mitigation, Monitoring and Reporting Program (MMRP); **APPROVE** Progress Guide and General Plan Amendment/Community Plan Amendment/Barrio Logan Planned District Ordinance Amendment and an Amendment to Local Coastal Program No. 341661; **APPROVE** Rezone No. 341660; Easement Abandonment No. 417546 to vacate the sewer crossing 1629 National Avenue, **APPROVE** Site Development Permit No. 341663, **APPROVE** Coastal Development Permit No. 341662, **APPROVE** Planned Development Permit No. 417547, **with modifications.**

2. Recommend that the City Council **Not CERTIFY** Mitigated Negative Declaration No. 103439, and **ADOPT** Mitigation, Monitoring and Reporting Program (MMRP); **APPROVE** Progress Guide and General Plan Amendment/Community Plan Amendment/Barrio Logan Planned District Ordinance Amendment and an Amendment to Local Coastal Program No. 341661; **APPROVE** Rezone No. 341660; Easement Abandonment No. 417546 to vacate the sewer crossing 1629 National Avenue, **APPROVE** Site Development Permit No. 341663, **APPROVE** Coastal Development Permit No. 341662, **APPROVE** Planned Development Permit No. 417547, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



 Mike Westlake
 Program Manager,
 Development Services Department



 Betsy McCullough, AICP
 Deputy Director
 City Planning and Community Investment



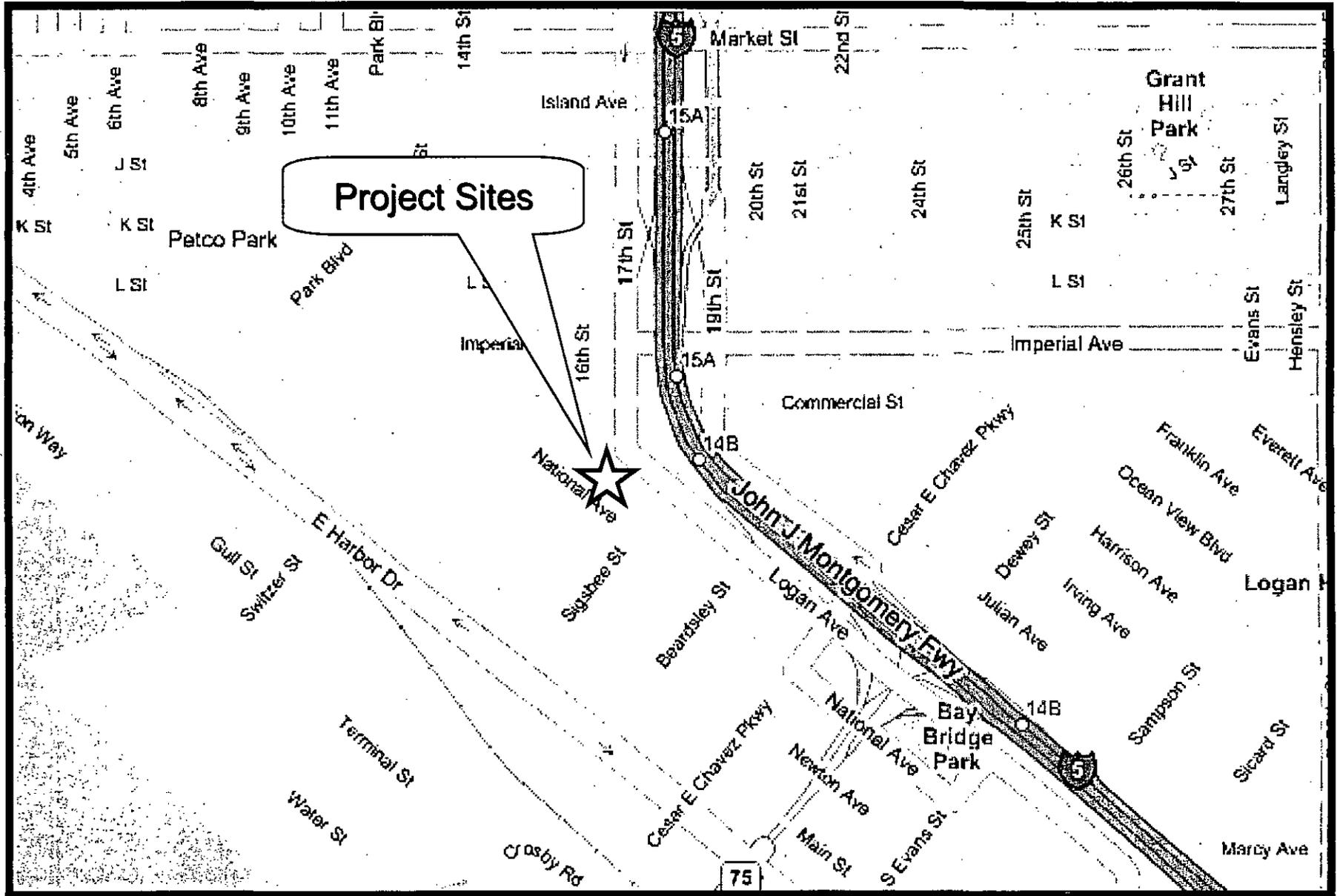
 Farah M. Mahzari
 Project Manager,
 Development Services Department

WESTLAKE/FMM

Attachments:

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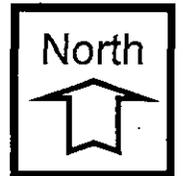
1. Project Location Map
2. Aerial Photograph
3. Community Plan Land Use Map
4. Barrio Logan Redevelopment Project Area Map
5. Project Data Sheet
6. Community Plan Analysis
- 6a. One Mile Aerial Map
- 6b. Prime Industrial Lands Map
- 6c. Collocation Analysis
- 6d. Summary Letter of Assessment and Subsurface Assessment Activity Study
- 6e. List & Map of projects recently approved or in process
7. Project Plans
- 7A. Site Plan Showing Deviations
8. Draft CPA/Rezone/SDP/CDP/PDP Planning Commission Recommendation to City Council Resolution
9. Draft Community Plan Amendment Resolution including the CPA packet
10. Planning Commission Initiation Resolution
11. Existing Zones Map
12. Draft Rezone Ordinance
13. Sewer Easement Exhibit No. 20639-B
14. Sewer easement Resolution with Findings
15. Applicants Rezone Exhibit (with the Zoning Overlay)
16. Rezone Exhibit No. B-4249
17. Draft SDP/PDP/CDP Permit with Conditions
18. Draft SDP/PDP/CDP Resolution with Findings
19. Draft Resolution for Certification of the MND
20. Barrio Logan PAC Recommendation
21. Ownership Disclosure Statement
22. Project Chronology

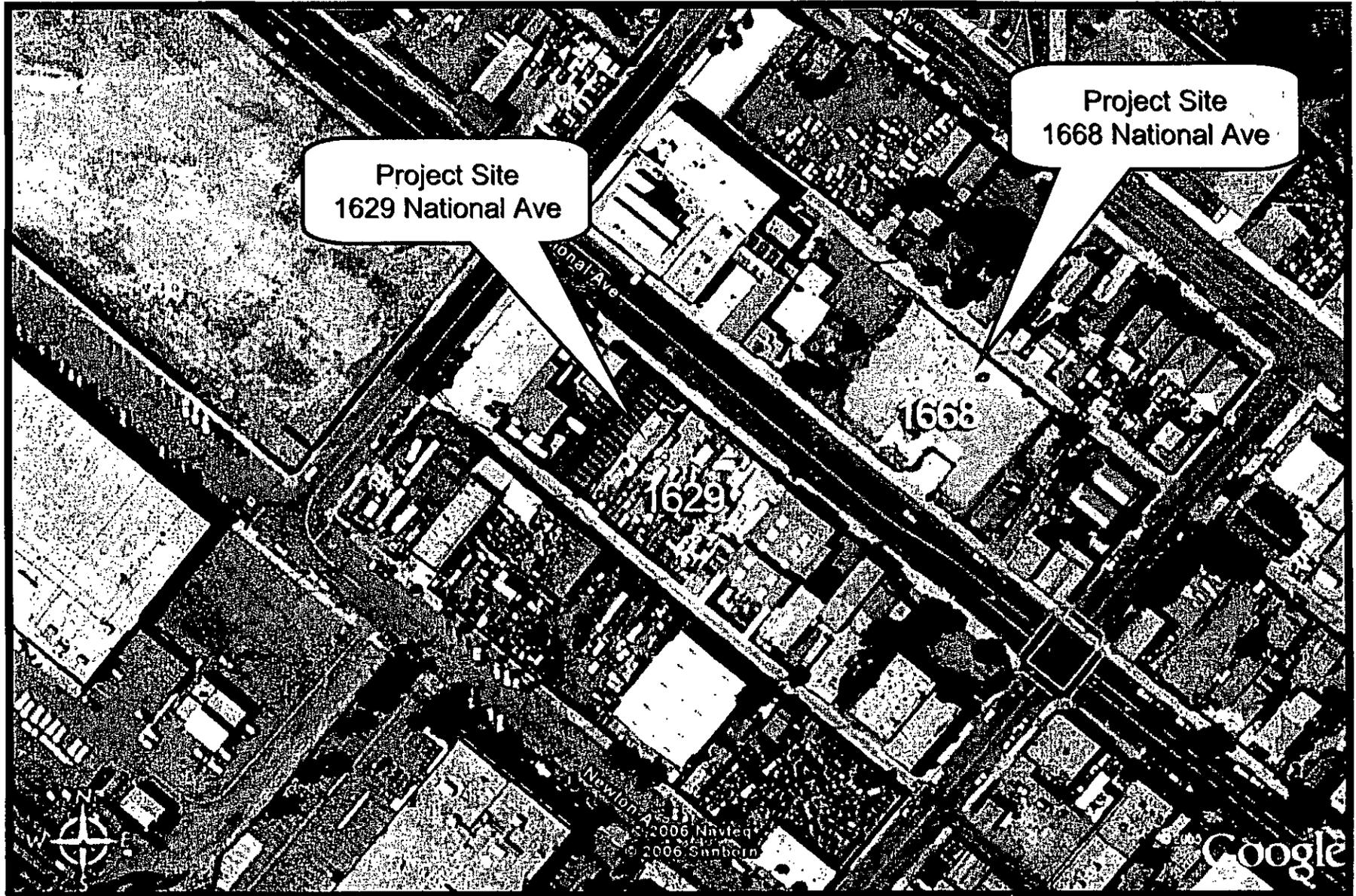


Project Location Map

LOS VIENTOS – PROJECT NO. 103439

1629 National Avenue and 1668 National Avenue



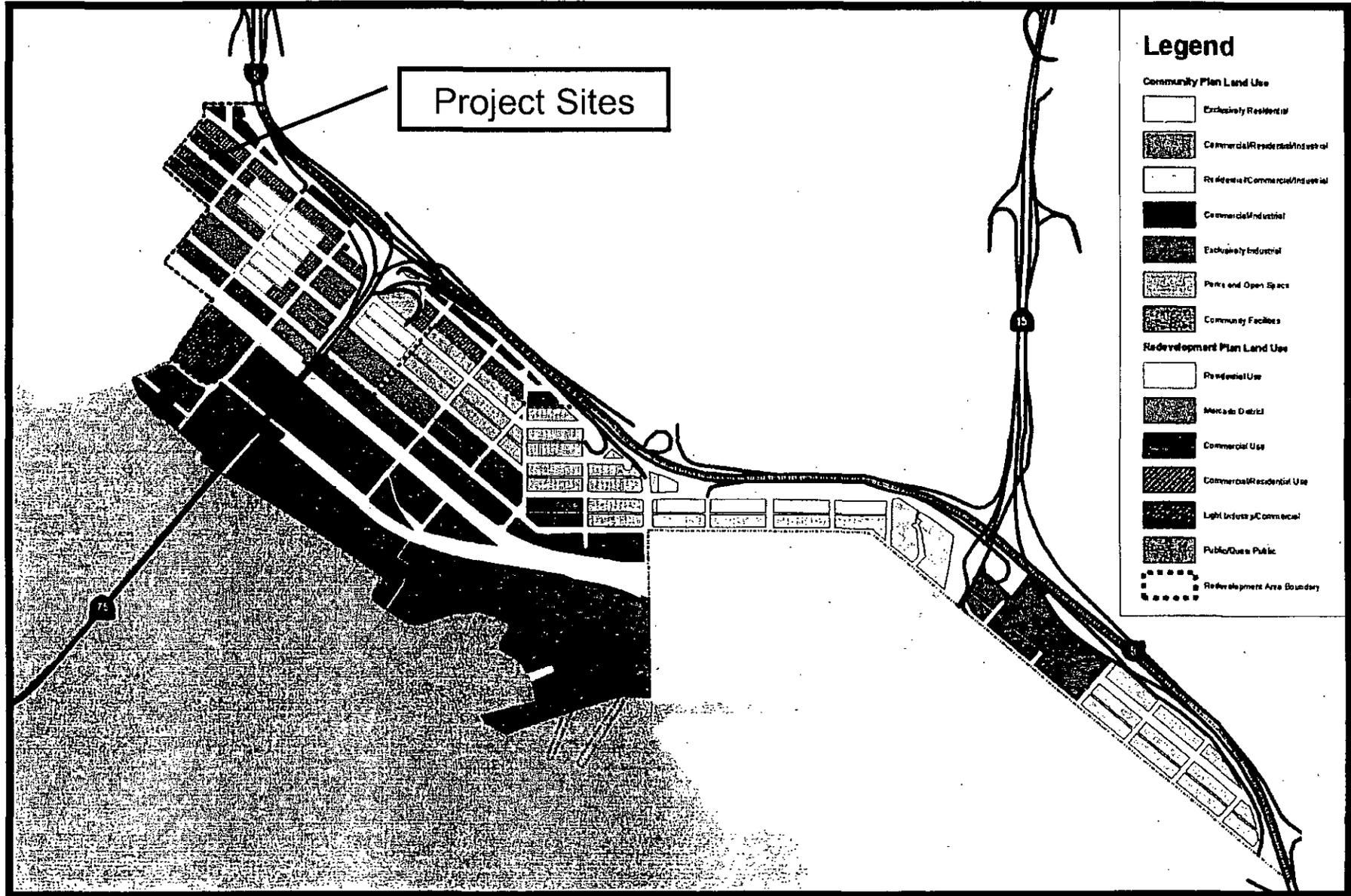


Aerial Photo

LOS VIENTOS – PROJECT NO. 103439

1629 National Avenue and 1668 National Avenue





Barrio Logan / Harbor 101 Community Land Use Map

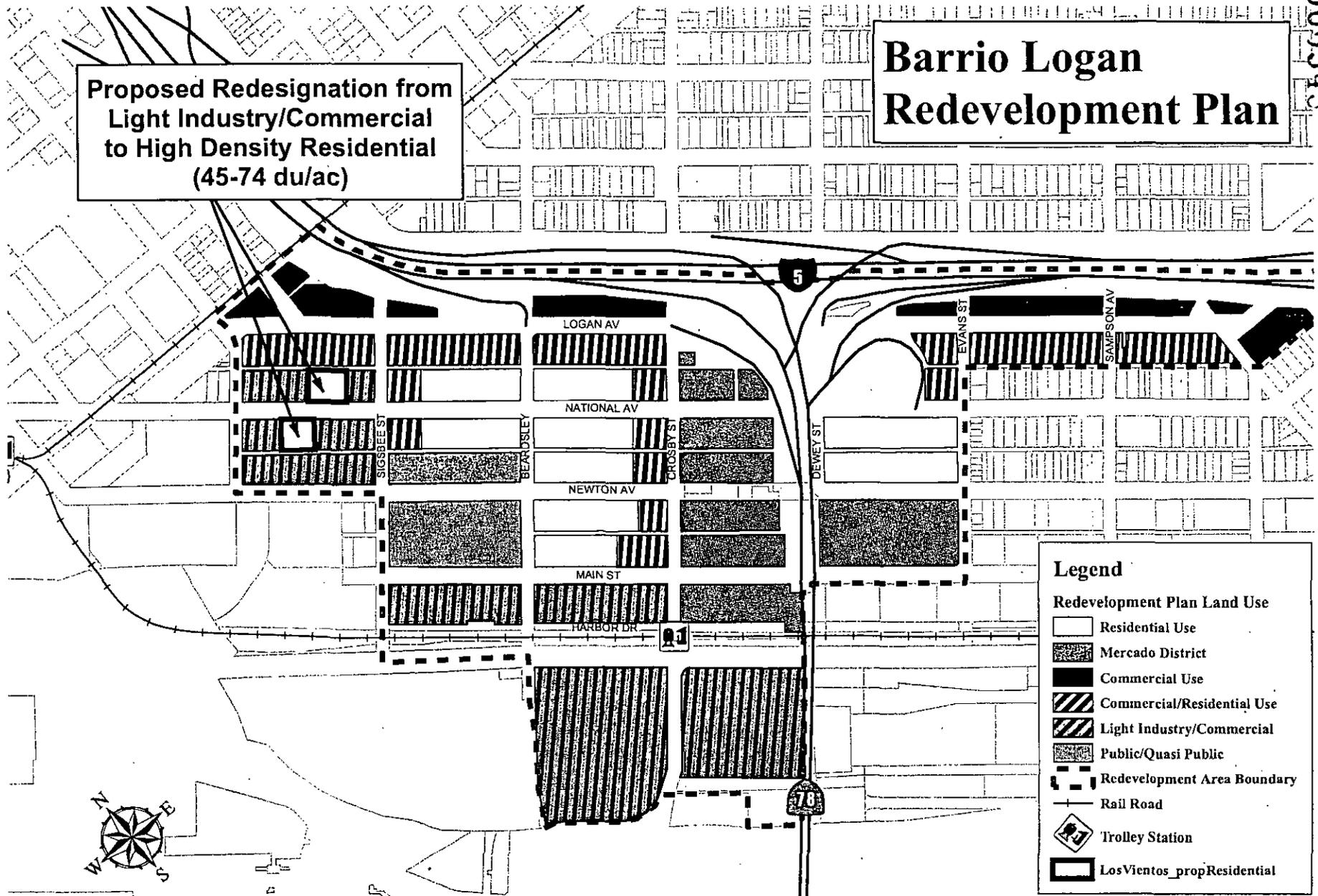
LOS VIENTOS - PROJECT NO. 103439

1629 National Avenue and 1668 National Avenue



Barrio Logan Redevelopment Plan

Proposed Redesignation from
Light Industry/Commercial
to High Density Residential
(45-74 du/ac)



Legend

Redevelopment Plan Land Use

- Residential Use
- Mercado District
- Commercial Use
- Commercial/Residential Use
- Light Industry/Commercial
- Public/Quasi Public
- Redevelopment Area Boundary
- Rail Road
- Trolley Station
- Los Vientos_propResidential

Barrio Logan Harbor 101

000344

PROJECT DATA SHEET

PROJECT NAME:	Los Vientos – Project 103439	
PROJECT DESCRIPTION:	Construction of a new 89 unit, 100% affordable apartment complex	
COMMUNITY PLAN AREA:	Barrio Logan/Harbor 101	
DISCRETIONARY ACTIONS:	Coastal Development Permit, Site Development Permit, Planned Development Permit, Rezone, Community Plan Amendment, Barrio Logan Planned District Ordinance Amendment, Local Coastal Program Amendment, and Easement Abandonment.	
COMMUNITY PLAN LAND USE DESIGNATION:	Light Industrial/Commercial	
ZONING INFORMATION: ZONE: Current: BLPD – Redevelopment Sub-district – Light Industry/Commercial Use. Proposed: RM-3-9, remains in BLPD. HEIGHT LIMIT: 60 feet. LOT SIZE: 7,000 square feet. FLOOR AREA RATIO: 2.7. FRONT SETBACK: 20 feet standard/10 feet minimum. SIDE SETBACK: 15 feet and 17 feet 6 inches (10% of lot widths) STREETSIDE SETBACK: NA REAR SETBACK: 5 feet PARKING: 166 spaces required.		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Comm./Res. BLPD-Redevelopment Sub-district Comm./Res. Mixed Use	Single dwellings, duplexes, and teen health center.
SOUTH:	Lt. Ind./Comm. BLPD-Redevelopment Sub-district Lt. Ind./Comm. Use	Lt. Industrial and storage.
EAST:	Lt. Ind./Comm. BLPD-Redevelopment Sub-district Lt. Ind./Comm. Use	Radford Garage Doors and a single dwelling.

000345	WEST: Lt. Ind./Comm. BLPD-Redevelopment Sub-district Lt. Ind./Comm. Use	Central Meats and a parking lot.
DEVIATIONS OR VARIANCES REQUESTED:	<ol style="list-style-type: none"> 1. Deviation from San Diego Municipal Code (SDMC) Section 131.0443(f)(1) to allow for a reduced minimum front yard setback. The project proposes a front yard of 2'0" to 10'0" where 10'0" is required. 2. Deviation from SDMC Section 131.0443(f)(2) to allow side yard setbacks of between 1'0" and 5'0" where 15'0" to 17'6" are required. 3. Deviation from SDMC Section 131.0431(e) to allow rear yard setbacks of between 1'0" and 3'6" where 5'0" is required. 4. Deviation from SDMC Section 103.0959(b) to allow lot consolidation that would create a premise exceeding 14,000 square feet of lot area and over 100 feet of frontage along the front property line. 5. Deviation from SDMC Section 142.0404 to allow reduction or elimination of remaining yard landscape point requirements where 60 points are required. 6. Deviation from SDMC Section 131.0455(c) to allow private balconies with a minimum dimension of 5 feet where 6 feet is required and to allow private open space within 5 feet of the property line where 9 feet should be provided. 7. Deviation from SDMC Section 142.0525 Table 142.05C, the minimum parking requirement for the proposed 89 units is 166 spaces, the project is providing 163 spaces. 	
COMMUNITY PLANNING GROUP RECOMMENDATION:	<p>There is no recognized community Plannign Group for the Barrio Logan Community. However, on January 29,2007, the Barrio Logan Redevelopment Project Area Committee voted 8-0-2 to approve the project.</p>	

**Community Plan Analysis
Attachment 6**

The impact of potential residential development on public services and facilities:

Barrio Logan is an urbanized community and all needed public services are available in the community. The proposed project will generate approximately 336 residents which would require an additional .94 useable acres of population-based park land, 1% of a community recreation center and .06% of a community swimming pool complex. An amendment to the Barrio Logan Public Facilities Financing Plan (PFFP) is underway and anticipated to be considered by the City Council by April of this year. Although the current PFFP update does not include the 89 units associated with this project, the projected fee increase from \$900 per unit to \$10,000 per unit will figure substantially in addressing future community facility deficits for parks and all other public services and facilities. Since it is anticipated that the new fee will be in place by the time building permits are requested for this project, the project's impact to facilities will be negligible. In addition, a revised PFFP which reflects the development proposed by the land uses in the new community plan update will be adopted with the new plan within two years.

Consistency with the draft Economic Prosperity Element of the General Plan including the potential loss of industrial/commercial lands and the compatibility of adjacent residential/industrial/commercial development.

The General Plan update, anticipated to be adopted later this year, contains several policies seeking to protect significant base-sector employment land and capacity. The identification of prime industrial lands in an area would preclude it from converting to non-industrial uses but has not been applied to any area within the Barrio Logan Plan with the exception of the Port District lands associated with waterfront uses. This site is not adjacent to the Port District property. Since the sites are designated for industrial use and outside of the areas identified on the Prime Industrial Land map (Attachment 6b), the collocation criteria would apply. These issues identified above are addressed in the applicant's response to the collocation analysis criteria as contained in Attachment 6c. Staff substantially agrees with the applicant's response and finds that most of the analysis criteria are met with a few additional clarifications below.

AMCAL's consultants prepared a Summary Letter of Assessment and Subsurface Assessment Activity Study (Attachment 6d) to address the issue of hazardous materials in proximity to the site. The letter concludes that there is a low likelihood that recognized environmental conditions exist at the site as a result of known and reported releases from off-site sources (within one mile of the site as shown on Map 6a).

The information submitted by the applicant and further researched by staff with the assistance of the county Air Pollution Control District (APCD) indicates that there are no sources air contaminants within 1000 feet of the site which pose a health risk to potential future residents. The active permit identified by the applicant (the San Diego Trolley site) is minor in scope given the distance to the sites and the violations on this site have been resolved to the satisfaction of APCD.

The sites are within an area which will remain designated Light Industry/Commercial Use at least until alternative designations are considered with the plan update. As such, there is the potential that new incompatible industrial uses could locate in the near vicinity of potential future residents. However, the small parcel sizes, nearby residential projects, and lack of access will inhibit the ability for the area to be utilized for future industrial development. The area's general unattractiveness to new industrial users is the reason why it was not proposed as prime industrial land in the draft General Plan.

In June 2004, the City was awarded an environmental justice grant to conduct an outreach and visioning process for underrepresented communities. As part of this process, Barrio Logan community members and other stakeholders identified this particular block and surrounding areas as appropriate for mid-rise mixed use development/residential focus. As part of the Barrio Logan Plan update, staff will further analyze the feasibility of limiting industrial development in this area in favor of maintaining and locating industrial uses in the western and southern portions of the community.

The potential noise and health impacts related to the proximity of residential development to industrial commercial uses, port activity, and the I-5 freeway.

In addition to the hazardous materials analysis and sources of stationary sources of air contaminants discussed above, the site is subject to air quality impacts from trucks accessing nearby distribution warehouses via local streets. Diesel particulate matter emissions would be the main source of concern in an industrial area. The presence of distribution centers or other uses that involve heavy diesel truck traffic could increase toxic air contaminant emissions significantly. The State Air Resources Board (ARB) regulates mobile sources of toxic air contaminants. The ARB is currently bringing forward several regulatory actions that would reduce emissions from sources including transportation refrigeration units, fuel trucks, portable engines, stationary engine (generator) units and garbage trucks among others. All of these regulations are aimed at reducing diesel particulate matter and would apply to all sources, whether they are in close proximity to residential development or not.

The Mitigated Negative Declaration for the project concludes that both existing and future noise exterior calculations are well below the 65dB threshold for required exterior usable open space. Interior noise standards will be subject to Title 24 code requires prior to issuance of building permits.

The sites are located an adequate distance (1000 ft.) from the land owned and utilized by the San Diego Unified Port District with regard to possible health impacts from air contaminants.

With regard to the of the project proximity to the freeway, the ARB Air Quality and Land Use Handbook (pg. 10) states the following: "The combination of the children's health studies and the distance related findings suggests that it is important to avoid exposing children to elevated air pollution levels immediately downwind of freeways and high traffic roadways. These studies suggest a substantial benefit to a 500-foot separation. The impact of traffic emissions is on a gradient that at some point becomes indistinguishable from the regional air pollution problem. As air agencies work to reduce the underlying regional health risk from diesel PM and other pollutants, the impact of proximity will also be reduced. In the meantime, as a preventative measure, we hope to avoid exposing more children and other vulnerable individuals to the highest concentrations of traffic-related emissions.

Recommendation

- Avoid siting new sensitive land uses within 500 feet of a freeway, urban roads with 1000,000 vehicles/day, or rural roads with 50,000 vehicles/day."

The easterly site, closest to the freeway, is approximately 450 to 550 feet from the I-5 freeway.

The availability of transit

Transit is available in close proximity. The 12th Ave. Trolley station is located within two blocks of the subject sites and the sites are within 500 feet of several Metropolitan Bus stops.

Housing availability and affordability

The Housing Element of the General Plan, adopted on December 5, 2006, identifies the maximum number of housing units that can be constructed, rehabilitates, and conserved over a five-year time frame. The goal for construction, rehabilitation, and preservation of very low and low-income units is 3,980 by the end of 2011. The potential benefit of the proposed land use amendment to the Barrio Logan/Harbor 101 Community Plan is that it would allow for the addition of 89 residential units in an area where residential development has previously been precluded. Infill development such as this would provide housing of an affordable nature within the San Diego region at a time when the City of San Diego is searching for areas that can accommodate additional residential units, particularly affordable units.

Walkability and pedestrian connectivity

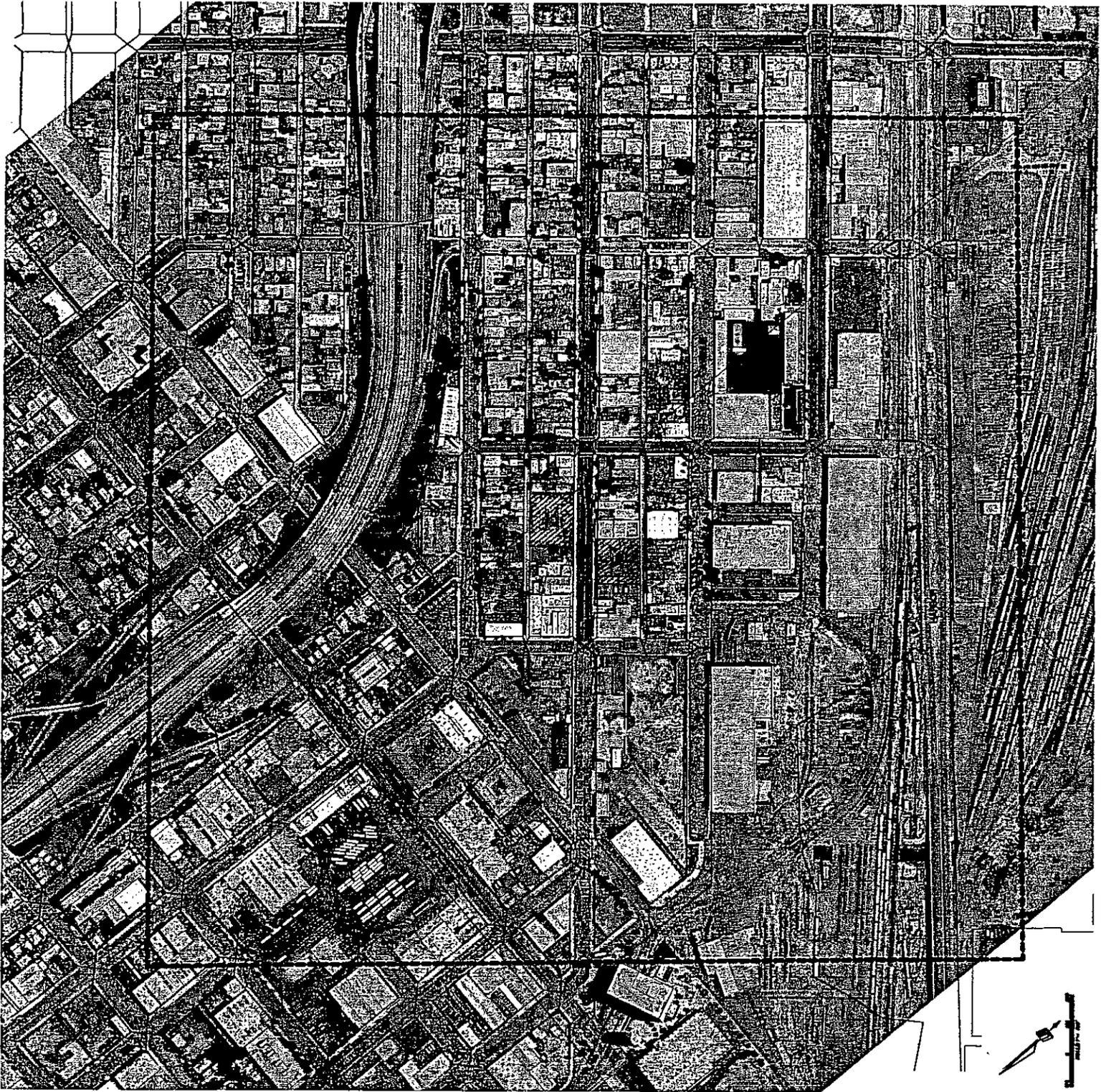
The sites are located within a community characterized by a variety of uses accessed by a grid street pattern. The applicant has designed the project to emphasize its pedestrian orientation. A large central courtyard on each site opens the project visually to the street. Windows facing the street at street level have been added and automobile access occurs via the alleys in the rear as recommended by the Barrio Logan PDO. The proposed street yard landscaping exceeds minimum point requirements.

The appropriate land use designation, density range, and zoning

A list of projects recently approved or in process is provided in Attachment 6e. The requested density of 86 units per acre is higher than densities considered for other nearby residential projects ranging from 43 to 53 units per acre (Attachment 6e). The density can be accommodated due the sites' larger size and it's proximity to higher density projects downtown.

The requested RM-3-9 zone (one unit per 600 sq. ft.) is consistent with the recommended plan designation density range of 45 to 74 units per acre.

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Los Vientos
1250'

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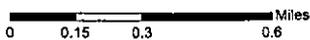
The City of San Diego
Planning Department

DRAFT - Proposed Prime Industrial Land



Map Features

-  Proposed Prime Industrial Lands
-  Proposed Prime Industrial Lands Under San Diego Unified Port District Jurisdiction
-  Industrial Areas
-  Otay Mesa (Prime industrial lands will be identified as part of the community plan update process)
-  Planning Areas



000352



30141 Agoura Road, Suite 100, Agoura Hills, CA 91301
 818-706-0694 818-889-9158 (Fax) <http://www.amcalhousing.com>

November 30, 2006

Farah Mahzari
 Development Project Manager
 Development Services Department
 City of San Diego
 1222 First Avenue, MS 501
 San Diego, CA 92101-4153

Re: Los Vientos - Project No. 103439

Dear Ms. Mahzari:

Pursuant to your request, provided below is information supporting the approval of Los Vientos - a 90-unit 100% affordable family housing development in Barrio Logan. At your request, we have used the proposed factors contained in the Draft Economic Prosperity Element of the General Plan dated October 2006, Appendix C, EP-2, Collocation/Conversion Suitability Factors. The Los Vientos project will provide numerous benefits to the Barrio Logan community, including greatly needed affordable housing, on-site social services, community investment, redevelopment and the removal of blight. In addition, the project will not significantly impact any study area roadway segments or intersections under any near-term or long-term conditions (see approved traffic study).

1. Area Characteristics

a) Is the area characterized by office and commercial development?

The area is characterized by some office and commercial development. It is an area in transition with a mix of uses including residential, convenience stores, warehouses, surface parking lots, a health clinic, elementary school (Perkins Elementary, located 2 blocks southwest of the subject sites), social service agencies, government agencies (e.g. the San Diego Housing Commission), and older industrial uses (largely auto related).

b) Is the area in transition where significant encroachment of non-industrial uses has already occurred?

The area is in transition and is characterized by a significant encroachment of non-industrial uses, including recent development activity. The City of San Diego recently approved two multifamily residential projects within a block of the subject site that are under construction.

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Ms. Farah Mahzari
November 30, 2006

There are five (5) recently approved or proposed residential development projects located less than a half mile from the project area:

- San Diego Housing Commission / CCDC Affordable Housing Site (Newton Avenue)
- Gateway I Apartments (1603-1639 Logan)
- Sigsbee Row Homes (Sigsbee and National)
- Ballpark Village (Park and Imperial)
- Bridge Housing CPA (Commercial Avenue)

- c) Is the area unattractive to manufacturing, research and development, wholesale distribution, and warehousing uses, based on a variety of factors including: physical site characteristics, parcel size, parcel configuration, surrounding development patterns, transportation access, and long-term market trends?

Since the area is in transition and includes a mix of uses, the existing development creates a challenge for future development of manufacturing, research and development, wholesale distribution, and warehousing uses. This is due in part to concentration of lots that are unattractive and subdivided in an inadequate size for proper usefulness and development. In addition, the Barrio Logan PDO 103.0959(b) requires a maximum lot size of 14,000 sq. ft.

2. Transit Available

Is the area located within one-third mile of existing or planned public transit? If public transit service is not planned or is inadequate, is the project proponent able to provide or subsidize transit services to the project?

The subject sites are located within one-third of a mile of existing public transit, including trolley service and several bus routes. The subject sites are located within 2 blocks of the 12th Street Trolley Station as well as within 500 feet of Metropolitan Bus Stops. The area is served by bus routes 4, 11, 929, 901 and 932. Logan Avenue is served by bus routes 11 and 932. Imperial Avenue is served by bus route 4. Sigsbee Street is served by bus route 929. National Avenue is served by bus route 901. These routes provide access to the area, as well as transfer opportunities to and from locations outside of the area.

The proposed project was purposely located within close proximity to transit opportunities in order to promote the use of alternate transportation and to be competitive for affordable housing financing.

3. Impact on Prime Industrial Lands

Will a redesignation to residential use or the approval of a discretionary project in an area adjacent to prime industrial

lands erode the utility of the prime industrial lands for industrial purposes?

The City of San Diego analysis maps have not classified the area as prime industrial and, therefore, a designation of the subject sites to residential use will not affect the utility of prime industrial lands for industrial purposes. The two subject sites are older, vacant and blighted parcels that do not create employment opportunities. 1668 National Avenue is currently a vacant parcel with a dilapidated single family structure that has had past industrial uses. 1629 National Avenue is also vacant and was previously used as an auto salvage yard.

4. Significance of Residential/Employment Component

Is there a need for housing to serve the adjacent employment/industrial lands? Is the proposed residential land use significant enough to justify a change in land use? If residential is proposed on the same site, can the amount of employment space on the site be retained?

There is a tremendous need for housing in the area, particularly affordable housing for the local workforce, including housing to serve the adjacent employment/industrial lands. Goal 4 of the Housing Element of the General Plan is to significantly increase the number of affordable housing opportunities both for low-income renters and first-time homebuyers. The Barrio Logan Redevelopment Project Plan also has a goal to "create a balanced mix of new housing stock, including low and moderate income housing..." The proposed increase in affordable housing stock would implement the Goal of the Housing Element, the Barrio Logan Redevelopment Project Plan, and would help the City address its shortage of affordable housing stock during a time when City Council has determined that the City of San Diego is in a housing state of emergency.

The proposed project will involve the development of approximately 90 multifamily rental housing units on parcels located at 1629 and 1668 National Avenue. The proposed rental development will provide housing for the working families of the community earning between 30 % and 60 % of the Area Median Income.

Because the current permitted land use is restricted to light industry/commercial use, an amendment to change this use to high density residential will be required, as well as a zone change to RM-3-9. The two subject sites are older, vacant (except for a dilapidated house) and blighted parcels that do not create employment opportunities. However, as part of the new development, employment opportunities will be generated for on-site staff in property management and social services.

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5. Residential Support Facilities

Are there public and commercial facilities generally associated with residential neighborhoods in close proximity to the area, such as: recreational facilities, grocery stores, and schools?

A broad range of public and commercial facilities are in close proximity of the subject sites, including: Perkins Elementary located 2 blocks southwest of the subject sites; a new grocery market between 13th and 14th Street; Chicano Park located 3 blocks from the subject sites; a fire station on Ceasar Chavez Parkway; Logan Heights Health Clinic on Beardsley Avenue; two public libraries located within one mile; and two post offices located within one mile.

6. Airport Land Use Compatibility

Is the site located in airport influence area where incompatibilities may result due to adopted Airport Land Use Compatibility policies, Air Installation Compatibility Use Zone Study recommendations, and restrictive use easements?

The subject sites are not located in an airport influence area.

7. Public Health

Is the site located in an employment area where incompatibilities may result regarding truck traffic, odors, noise, safety, and other external environmental effects?

The applicant is not aware of external incompatibilities due to truck traffic, odors, noise, safety, and other external environmental effects that may adversely affect the public health. The applicant followed the process to inquire with the Air Pollution Control District as to the current status of permits and violations. Based on this and other information, the applicant is not aware of any public health issues. The subject sites are not located near any rail yards, except for the San Diego Trolley Line, nor located near any ports, distribution centers or chrome platers.

8. Public Facilities

Are there public facilities available to serve the residential units? Provide public facilities on-site wherever feasible.

Please see item 5 above.

9. Separation of Uses

Is there adequate separation between industrial and residential properties with regard to hazardous or toxic air contaminant or

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Ms. Farah Mahzari

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hazardous or toxic substances? Determine if there are any sources of hazardous or toxic air contaminants or hazardous or toxic substances within one quarter mile of the property where residential or other sensitive receptor land uses are proposed and properties where such contaminants or substances are located. If so, provide a 1000-ft. distance separation between property lines or provide a study which indicates the appropriate distance between uses.

An adequate separation exists between industrial properties and the subject sites with regard to hazardous or toxic air contaminant or hazardous or toxic substances. A list of property addresses located within 1250 feet of the subject site was provided to the San Diego County Air Pollution Control District (APCD). On November 14, 2006, APCD provided a 9 page response indicating that there is one active permit to operate and three notices of violation located at 1535 Newton Avenue for the San Diego Trolley. The Trolley is located several blocks away from the subject site.

ACPD also confirmed two inactive (retired) permits to operate and one notice of violation at 1746 Newton Avenue, and one inactive (retired) permit to operate and two notices of violation at 1616 Newton Avenue. Attached is the 9 page response from APCD dated November 14, 2006.

Please feel free to contact me should you have questions or to discuss further.

Sincerely,

Mario Turner
Director of Development

Environmental Consultants

8799 Balboa Avenue
Suite 290
San Diego, CA 92123858 571-5500
Fax 858 571-5357
www.scsengineers.com

000357

SCS ENGINEERSDecember 20, 2006
Project Number: 01205501.00
Exhibit 00Copy No. 2Mr. Mario Turner
Director of Development
AMCAL General Contractors, Inc.
2082 Michelson Drive, Suite 100
Irvine, California 92612**RE: Summary Letter of Assessment and Subsurface Assessment Activities (Studies)****Site: Assessor's Parcel Numbers (APNs) 538-030-21, -22, -23, and -24;
and 535-040-05 through -07
1629, 1635, 1637, 1639, 1643, 1651, 1659, and 1668 National Avenue
San Diego, California**

Dear Mr. Turner:

SCS Engineers (SCS), formerly dba Environmental Business Solutions (EBS), previous conducted various Studies at the above-referenced Site. These Studies include the following:

- *Phase I Environmental Site Assessment (Assessment), Assessor's Parcel Numbers (APNs) 538-030-21, -22, -23, and -24, 1629 through 1651 National Avenue, San Diego, California, prepared by SCS and dated May 18, 2005 (Phase I Assessment).*
- *Department of Toxic Substance Control Files and Client-Provided Report Review (Review), APNs 535-040-05 through -07, San Diego, California, prepared by SCS and dated May 25, 2005.*
- *Letter Report of Subsurface Site Assessment Activities (Assessment), Assessor's Parcel Numbers (APNs) 538-030-21, -22, -23, and -24 (1629 through 1651 National Avenue), and APNs 535-040-05 through -07 (1668 National Avenue), San Diego, California, prepared by SCS and dated December 12, 2005 (Phase II Assessment).*

We understand that the City of San Diego has requested additional explanation regarding whether there is potential that the Site has been impacted from off-Site sources of hazardous substances. In an e-mail dated December 6, 2006, the City of San Diego requested the following:

- "Determine the adequacy of the separation between industrial and residential properties with regard to hazardous or toxic substances. Determine if there are any sources of toxic substances within a quarter mile of the property between your sites and properties where such substances are located. If so, an adequate distances



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AMCAL General Contractors, Inc.
 Project Number: 01205501.00
 December 20, 2006

Studies Summary
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 SCS Engineers

separation shall be determined on a case by case basis based on an approved study. If no study is completed, provide a 1000-ft. minimum distances separation between property lines.”

- “It appears that the site assessment that your consultant, Environmental Business Solutions, prepared probably contains all the information required to make a determination on this issue. Please have them directly address this factor.”

STUDIES' FINDINGS^a

Phase I Assessment

One of the objectives of the above-referenced Phase I Environmental Site Assessment was to assess the likelihood^b that recognized environmental conditions^{c,d} are present at the Site as a result of a known and reported off-site source (within one mile of the Site). In order to assess this potential the following activities were conducted as part of the Phase I Environmental Site Assessment.

- Site vicinity reconnaissance.
- Review of the County of San Diego Department of Environmental Health (DEH) Hazardous Materials Management Division (HMMD) HE-17 database.
- Review of a regulatory database report (Environmental FirstSearch Site Assessment Report) provided by FirstSearch Technologies Corporation for properties within one mile of the Site.
- Review of DEH files for facilities of concern as identified by the Site vicinity reconnaissance, HE-17 database review, and regulatory database review.

a Each of the Studies has previously been provided to the City of San Diego and should be consulted for raw data and analysis. This letter summarizes the conclusions of the Studies’.

b Statements of “likelihood” are made in this Report, based on the professional judgment of SCS. A description of likelihood statements, as made in this Report, is included on page 7.

c *Recognized environmental conditions*, as defined by ASTM, include the presence or likely presence of hazardous substances or petroleum products on a property that indicate an existing release, a past release, or a material threat of release of any hazardous substances or petroleum products into structures on the property or into the ground, groundwater, or surface water on the property. However, the term is not intended to include *de minimis* conditions. A condition considered *de minimis* is not a recognized environmental condition.

d *De minimis condition*. An environmental condition that does not generally present a material risk of harm to the public health or the environment and that generally would not be subject to an enforcement action if brought to the attention of appropriate governmental agencies.

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AMCAL General Contractors, Inc.
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SCS Engineers

The Phase I Assessment provided the following conclusions and recommendations in connection with potential impacts from off-site sources within the Site vicinity:

- Based on the off-site source survey, several facilities in the Site vicinity were reported to have had releases of hazardous materials/wastes or petroleum products. With the possible exception of the reported release at the Central Meat and Provision Company (located adjacent to the Site), there is a low likelihood that a recognized environmental condition exists at the Site as a result of known and reported releases from off-Site sources. This judgement is based on one or more of the following:
 - ▶ Reported regulatory status (e.g., case closed)
 - ▶ Media affected (e.g., soil contamination only)
 - ▶ Distance from the Site
 - ▶ Location with respect to interpreted groundwater flow direction
 - ▶ Regulatory file review
- Based on a review of the DEH file for the Central Meat and Provision Company facility, constituents of concern (CoCs) are present in the soil and groundwater beneath the facility. Based on the distance of the release from the Site (approximately 70 feet), the distance of the nearest monitoring wells from the Site (5 to 15 feet), the reported concentration of the CoCs in these adjacent monitoring wells (THP - 55,300 to 64,400 µg/L and benzene - 431 to 1,110 µg/L), and the locations of the release and monitoring wells with respect to the interpreted groundwater flow direction (up-to crossgradient), there is a high likelihood that CoCs have migrated beneath the Site and are present in the groundwater, soil, and soil vapor.
- Based on the possible presence of CoCs in the groundwater, soil, and soil vapor at the Site, the reported depth to groundwater (approximately 6 to 11 feet bgs), and the proposed redevelopment of the Site, possibly including underground parking structures, there is the possibility that the Client will need to address hydrocarbon-bearing soil, soil vapor, and/or groundwater (e.g., excavation and disposal of impacted soil and de-watering and disposal of impacted groundwater if subterranean parking is constructed). Because of these possibilities, we recommended that soil, soil vapor, and groundwater samples be collected along the perimeter of the Site and analyzed for total petroleum hydrocarbons by U.S. Environmental Protection Agency EPA Method 8015 modified for gasoline, diesel, and heavy oil and volatile organic compounds (VOCs) by EPA method 8021B or 8260B.

Subsurface Assessment (Phase II Assessment)

Based on the conclusions and recommendation provided in the Phase I Assessment in connection with possible impacts to the Site from off-site sources, subsurface assessment activities (including soil, groundwater, and soil vapor sampling and the

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AMCAL General Contractors, Inc.
 Project Number: 01205501.00
 December 20, 2006

Studies Summary
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 SCS Engineers

completion of a human health risk assessment) were conducted at the Site. Based on subsurface assessment activities and laboratory analysis of samples, the following findings were generated and provided in the Subsurface Assessment report (please note that soil borings B1 through B4 were advanced to assess potential impacts from the adjacent Central Meat and Provision Company; however, additional borings [B5 through B8] were advanced at the Site for other reasons):

- Petroleum hydrocarbons and volatile organic compounds (VOCs) were not reported at detectable concentrations in the soil samples analyzed from borings B1 through B8.
- Total petroleum hydrocarbons as gasoline (TPHg) was not reported at detectable concentrations in the groundwater samples collected from borings B1, B2, B7, and B8. TPHg was reported at concentrations ranging from 67 micrograms per liter (ug/L) to 4,210 ug/L in groundwater samples collected from borings B3 through B6. TPH as diesel and oil (TPHd and TPHo) were not reported at detectable concentrations in the groundwater samples collected from borings B1 through B8.
- VOCs were not reported at detectable concentrations in the groundwater samples collected from borings B2 and B7. VOCs, including sec-butylbenzene, tert-butylbenzene, isopropylbenzene, naphthalene, n-propylbenzene, cis-1,2-dichloroethethylene, ethylbenzene, tetrachloroethylene, trichloroethylene, 1,2,4-trimethylbenzene, acetone, and p-isopropyltoluene were reported at concentrations ranging from below laboratory detection limits to concentrations totaling 380 µg/L (boring B3) in the groundwater samples collected from borings B1, B3 through B6, and B8.
- Detectable concentrations of VOCs, including relatively low levels of benzene, toluene, and xylenes, were reported to be present in soil vapor samples collected from the Site.

Human Health Risk Assessment

Based on the results of the subsurface assessment activities discussed above, a limited human health risk assessment (HRA) was conducted (as part of the Phase II Assessment discussed above) in general accordance with the current edition of the Site Assessment and Mitigation (SAM) Manual^e developed by the DEH. Spreadsheets, revised as of October 5, 2004, were used in the HRA preparation. The HRA was prepared to determine the potential health risk to future building occupants

^e County of San Diego Department of Environmental Health, *Site Assessment and Mitigation (SAM) Manual* version November 1999; Revised October 5, 2004.

000361

AMCAL General Contractors, Inc.
Project Number: 01205501.00
December 20, 2006

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SCS Engineers

from the migration of VOCs in the soil to the overlying Site building. Please note that although TPH was detected in the groundwater beneath the Site, VOCs are the constituents of concern within TPH that have the potential to result in a health risk. The HRA was conducted for all of the VOCs detected in the soil vapor samples that were listed as exhibiting health risks.

For the purposes of the HRA, two potential construction scenarios were considered: 1) construction of slab-on-grade residential units without a subterranean parking structure, and 2) construction of a subterranean parking structure beneath the residential units.

As part of the HRA, both carcinogenic and noncarcinogenic health risks were estimated. The human health risk estimated is expressed for both carcinogenic and noncarcinogenic toxicity. Carcinogenic risk is expressed as a probability, where the excess lifetime cancer risk (ELCR) corresponds to the incremental probability that an individual will contract cancer in a lifetime. The DEH criterion used in this analysis is one in a million (1.0×10^{-6}). Noncarcinogenic toxicity is estimated by comparing the estimated dose to the dose required to trigger chronic toxicity (as a simple toxicant), and is expressed as a ratio of the dose to reference dose (RfD). A value exceeding one is considered significant. The HRA concluded the following:

- For scenario number 1, the vapor-phase transport model predicts non-carcinogenic risks (hazard quotient) of no more than 3.63×10^{-4} . For scenario number 1, the vapor-phase transport model predicts carcinogenic risks (excess cancer risk) of no more than 8.94×10^{-8} .
- For scenario number 2, the vapor-phase transport model predicts non-carcinogenic risks (hazard quotient) of no more than 1.23×10^{-3} . For scenario number 2, the vapor-phase transport model predicts carcinogenic risks (excess cancer risk) of no more than 3.98×10^{-7} .
- Based on the vapor-phase transport model presented in the current edition of the SAM Manual, the model predicts that it is unlikely that there would be a Significant^f human health risk to building occupants at the Site under either scenario 1 or 2 from inhalation of vapors migrating into the proposed Site buildings.

^f For the purposes of this assessment, significant is defined as greater than one in 1,000,000 excess lifetime cancer risk.

000362

AMCAL General Contractors, Inc.
Project Number: 01205501.00
December 20, 2006

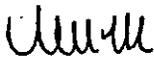
Studies Summary
Page 6 of 7
SCS Engineers

CONCLUSION

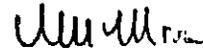
Based on the results of the previous SCS assessment and subsurface assessment activities at the Site, current regulatory guidelines, and our experience it is our professional opinion that:

- As indicated above, the City of San Diego requested that we "determine if there are any sources of toxic substances within a quarter mile of the property between your sites and properties where such substances are located." The off-site source survey as part of the Phase I Assessment assess facilities up to one mile from the Site (greater than the quarter mile requested by the City of San Diego). Several facilities were identified. However, based on a review of a regulatory database, San Diego County Department of Environmental Health (DEH) files, and the results of subsurface assessment activities at the Site (soil sampling, groundwater sampling, soil vapor sampling, and a health risk assessment), there is a low likelihood that a recognized environmental condition exists at the Site as a result of known and reported releases from off-Site sources (within one mile of the Site).

Respectfully,
SCS ENGINEERS

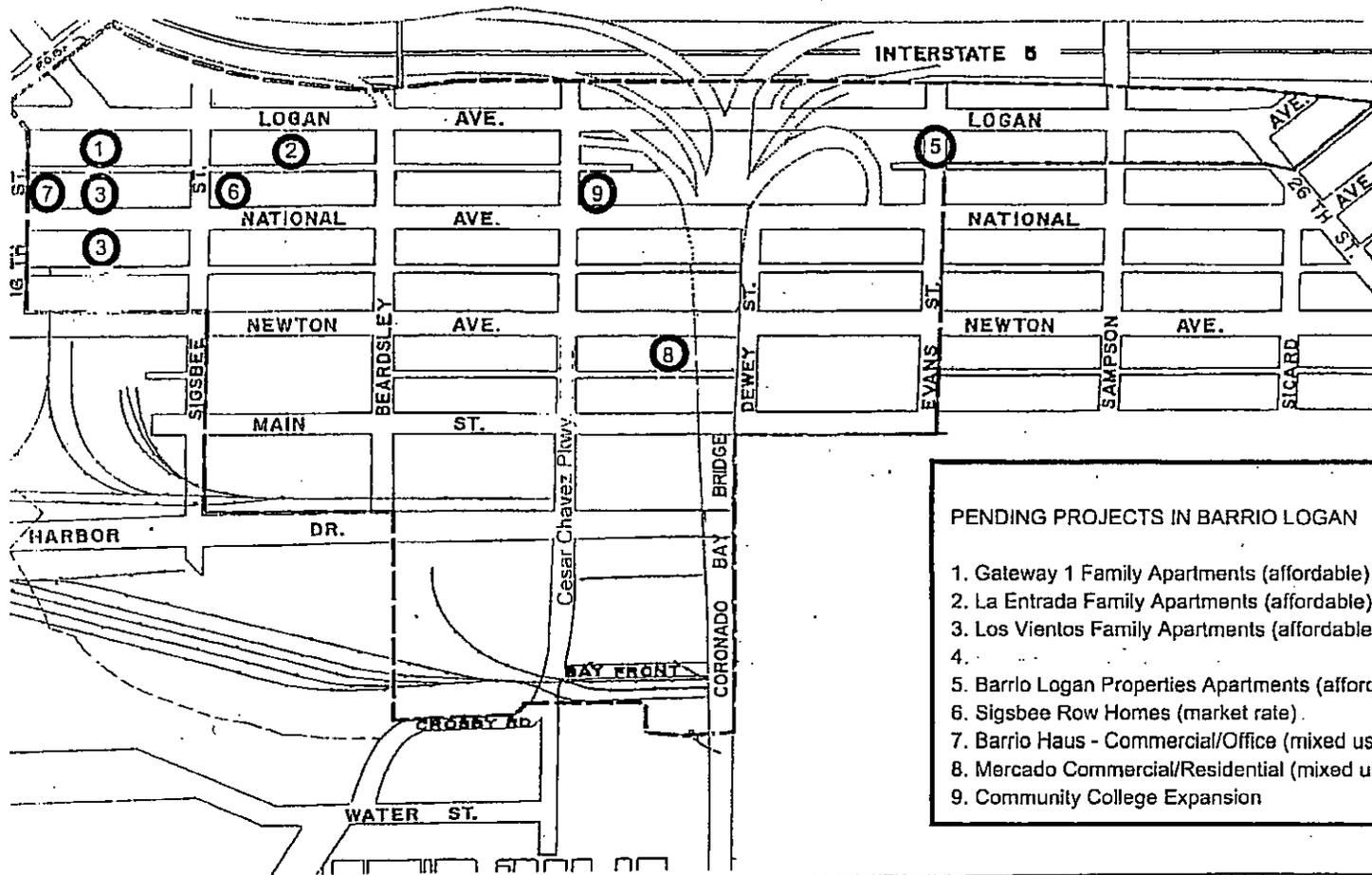


Ryan T. Marcos, CAC
Senior Project Professional



Daniel E. Johnson
Vice President

RTM
F:\Projects\205\500-550\01205501 (AMCAL Multi Housing)\01205501.00 1629-1651 National
Ave\01205501.00.city.sd.ltr.wpd



- PENDING PROJECTS IN BARRIO LOGAN**
1. Gateway 1 Family Apartments (affordable)
 2. La Entrada Family Apartments (affordable)
 3. Los Vientos Family Apartments (affordable)
 - 4.
 5. Barrio Logan Properties Apartments (affordable)
 6. Sigsbee Row Homes (market rate)
 7. Barrio Haus - Commercial/Office (mixed use)
 8. Mercado Commercial/Residential (mixed use)
 9. Community College Expansion

Exhibit 1

**BARRIO LOGAN REDEVELOPMENT
CITY OF SAN DIEGO, CA**



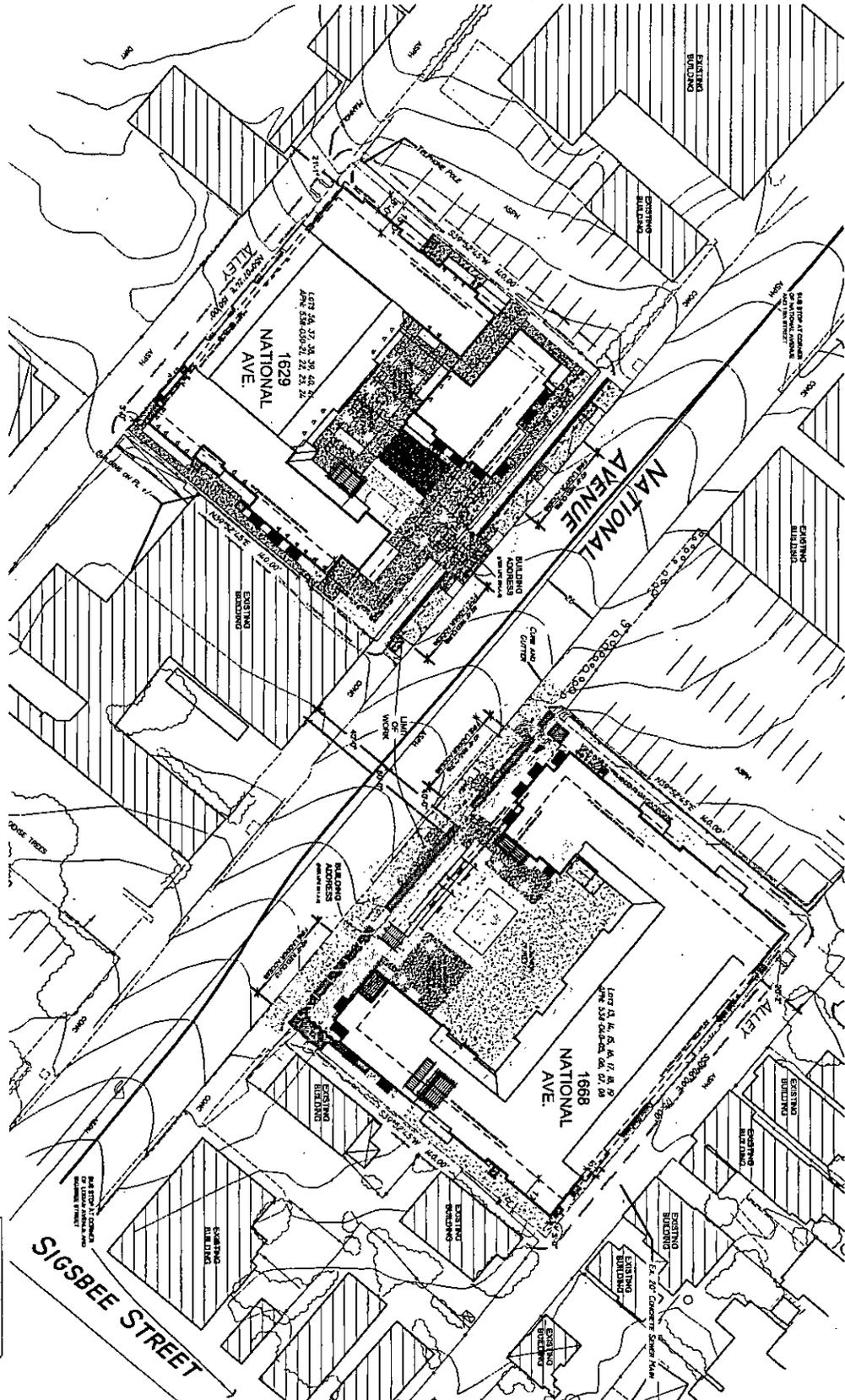
000364

**Barrio Logan Projects
Attachment 1e**

Name	Location	Applicant	PTS #	Units/Desc	Status	Desig	Dens
Gateway I	Logan/16 th SE corner 0.72 acres 1603 Logan	Global Premier Development	28813	42 affordable rental units with DB	2/24/05 approved at PC construction underway	Com/Res	53
Los Vientos	1 acre.- 2 sites 1629 & 1688 National	Amcal	103439	90 affordable rental units	CPA initiated 12/8/05 In review Expedite	Lt. Ind/Com	86
Mercado commercial	2 blocks Coranado Bay Br - Cesar Chavez Pkwy, National to Main	Sam Marasco	N/A	Mixed use/ commercial- residential	RFP/RFQ period ended 1/19/07	Mercado District	tbd
La Entrada	Logan -Beardsley to nr Sigsbee	Global Premier Development	93861	85 affordable rental units with DB	6/29/06 approved at PC construction underway	Com/Res	53
Sigsbee Rowhomes	National/ Sigsbee 14,000 sf 1702 National	CA Equities	60907	14 condos	12/1/05 approved at PC construction underway	Com.Res	43
Nacional Haus	1701 National	Blockhaus Dev	105808	Mixed use/ Retail, 17 res units, with DB artists studios, pkg	Completed preliminary review-no project submitted	Com/Res	53

CPA = Community Plan Amendment
PC = Planning Commission
DB = Affordable Housing Density Bonus

000365



SITE PLAN



THESE BUILDINGS AND LOT ARE TO BE CONSIDERED AS EXISTING AND NOT TO BE CONSIDERED AS PART OF THE PROJECT UNLESS INDICATED OTHERWISE BY A NEW COLOR SHADING.

NOTE: EXISTING TO NEW LOT TO BE INDICATED.

PROJECT NO: 03102011
AVP#:
DATE: 05/17/2011
PROJECT NAME: Los Vientos Affordable Housing
CLIENT: AMCAL
DESIGNER: SHAW
SCALE: 1/8" = 1'-0"

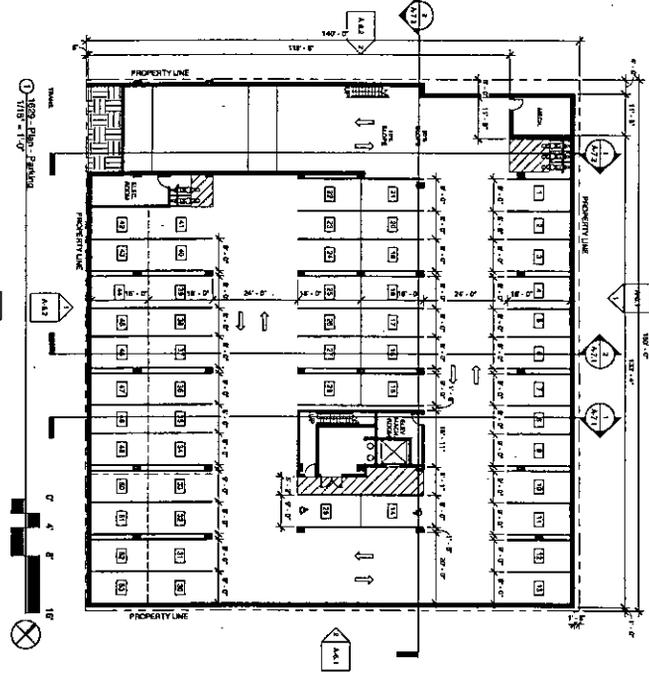
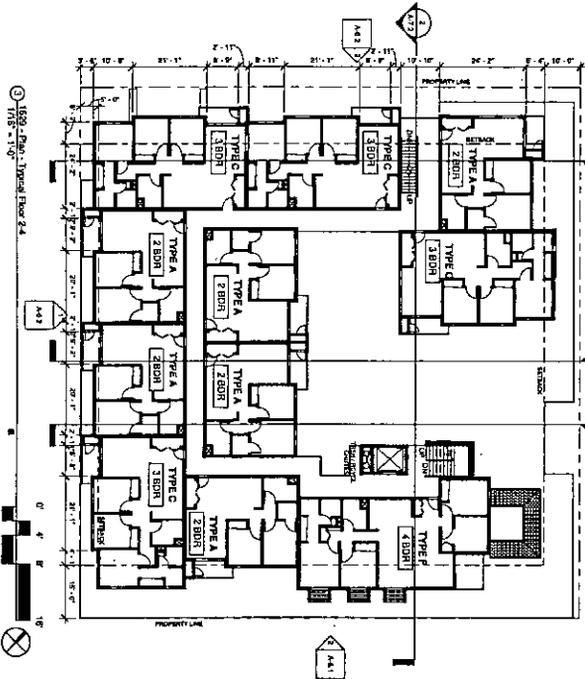
Los Vientos Affordable Housing
AMCAL Multi - Housing, Inc.
1629 & 1668 National Avenue
San Diego, CA 92113



AUSTIN
VEUM
ROBBINS
PARTNERS

A-11.1

599369



Name	Area	% of Total
Parking	3480 SF	1.7%
Garage	1800 SF	0.9%
Common	1800 SF	0.9%
Stair	232 SF	1%
Corridor	526 SF	3%
Storage	1024 SF	5%
Other	1228 SF	6%
Unit 1	442 SF	2%
Unit 2	141 SF	0.7%
Unit 3	587 SF	3%
Unit 4	1032 SF	5%
Unit 5	1848 SF	9%
Unit 6	147 SF	0.7%
Unit 7	587 SF	3%
Unit 8	1032 SF	5%
Unit 9	1848 SF	9%
Unit 10	147 SF	0.7%
Unit 11	587 SF	3%
Unit 12	1032 SF	5%
Unit 13	1848 SF	9%
Unit 14	147 SF	0.7%
Unit 15	587 SF	3%
Unit 16	1032 SF	5%
Unit 17	1848 SF	9%
Unit 18	147 SF	0.7%
Unit 19	587 SF	3%
Unit 20	1032 SF	5%
Unit 21	1848 SF	9%
Unit 22	147 SF	0.7%
Unit 23	587 SF	3%
Unit 24	1032 SF	5%
Unit 25	1848 SF	9%
Unit 26	147 SF	0.7%
Unit 27	587 SF	3%
Unit 28	1032 SF	5%
Unit 29	1848 SF	9%
Unit 30	147 SF	0.7%
Unit 31	587 SF	3%
Unit 32	1032 SF	5%
Unit 33	1848 SF	9%
Unit 34	147 SF	0.7%
Unit 35	587 SF	3%
Unit 36	1032 SF	5%
Unit 37	1848 SF	9%
Unit 38	147 SF	0.7%
Unit 39	587 SF	3%
Unit 40	1032 SF	5%
Unit 41	1848 SF	9%
Unit 42	147 SF	0.7%
Unit 43	587 SF	3%
Unit 44	1032 SF	5%
Unit 45	1848 SF	9%
Unit 46	147 SF	0.7%
Unit 47	587 SF	3%
Unit 48	1032 SF	5%
Unit 49	1848 SF	9%
Unit 50	147 SF	0.7%
Unit 51	587 SF	3%
Unit 52	1032 SF	5%
Unit 53	1848 SF	9%
Unit 54	147 SF	0.7%
Unit 55	587 SF	3%
Unit 56	1032 SF	5%
Unit 57	1848 SF	9%
Unit 58	147 SF	0.7%
Unit 59	587 SF	3%
Unit 60	1032 SF	5%
Unit 61	1848 SF	9%
Unit 62	147 SF	0.7%
Unit 63	587 SF	3%
Unit 64	1032 SF	5%
Unit 65	1848 SF	9%
Unit 66	147 SF	0.7%
Unit 67	587 SF	3%
Unit 68	1032 SF	5%
Unit 69	1848 SF	9%
Unit 70	147 SF	0.7%
Unit 71	587 SF	3%
Unit 72	1032 SF	5%
Unit 73	1848 SF	9%
Unit 74	147 SF	0.7%
Unit 75	587 SF	3%
Unit 76	1032 SF	5%
Unit 77	1848 SF	9%
Unit 78	147 SF	0.7%
Unit 79	587 SF	3%
Unit 80	1032 SF	5%
Unit 81	1848 SF	9%
Unit 82	147 SF	0.7%
Unit 83	587 SF	3%
Unit 84	1032 SF	5%
Unit 85	1848 SF	9%
Unit 86	147 SF	0.7%
Unit 87	587 SF	3%
Unit 88	1032 SF	5%
Unit 89	1848 SF	9%
Unit 90	147 SF	0.7%
Unit 91	587 SF	3%
Unit 92	1032 SF	5%
Unit 93	1848 SF	9%
Unit 94	147 SF	0.7%
Unit 95	587 SF	3%
Unit 96	1032 SF	5%
Unit 97	1848 SF	9%
Unit 98	147 SF	0.7%
Unit 99	587 SF	3%
Unit 100	1032 SF	5%

UNIT COUNT
 LEVEL 2 BLDG 3 BLDG 4 BLDG
 2 6 6 4
 2 6 6 4
 TOTALS 24 15
 BUILDING TOTAL: 41 UNITS

PARKING COUNT:
 REQUIRED:
 2300 (175 x 24)
 3300 (25 x 15)
 TOTAL: 5600
 PROVIDED:
 STANDARD TANDY (12 x 2)
 TOTAL: 27
 ACCESSIBLE: 24
 TOTAL: 51

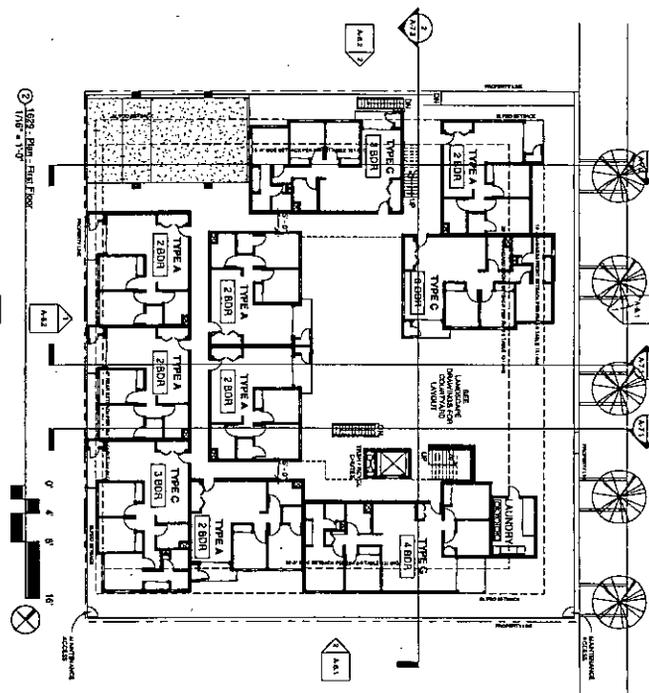
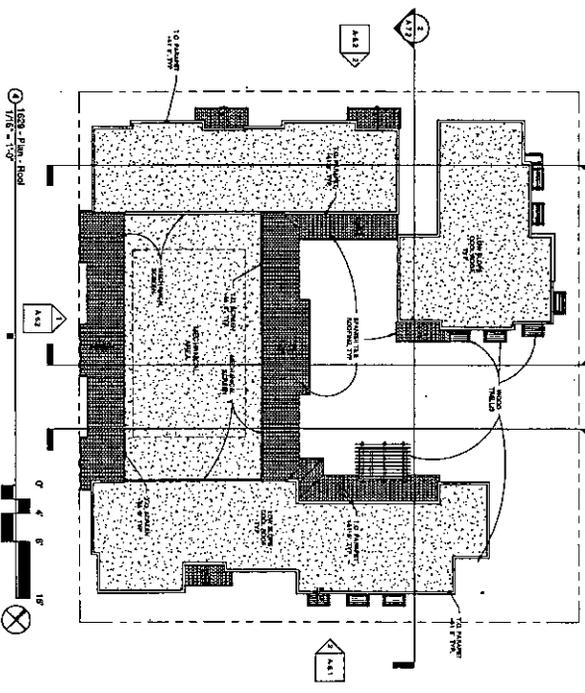
PROJECT IS LOCATED WITHIN THE CITY OF SAN ANTONIO, TEXAS. THIS SITE HAS SHARED PARKING COUNTED AS TWO SPACES TO MAKE UP DIFFERENCE IN PARKING LOCATIONS.

SEE SHEET U-1 FOR BICYCLE RACK LOCATIONS

1529
 SITE: 61,000 S.F.
 BUILDABLE: 17,700 S.F.
 29 BLDG - 558,100 S.F.
 29 BLDG - 21,000 S.F.

LEVEL 1: 10,025 S.F.
 LEVEL 2: 10,025 S.F.
 LEVEL 3: 10,025 S.F.
 LEVEL 4: 10,025 S.F.
 TOTAL: 40,000 S.F.

BALCONY/DECK: 2,257 S.F.
 CIRC. (P): 400 S.F.
 CIRC. (R): 4,978 S.F.
 AMENITIES: 257 S.F.
 NET BLDG: 42,235 S.F.
 GROSS BLDG: 47,492 S.F.



Name	Area	% of Total
Parking	3480 SF	1.7%
Garage	1800 SF	0.9%
Common	1800 SF	0.9%
Stair	232 SF	1%
Corridor	526 SF	3%
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Unit 55	587 SF	3%
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UNIT COUNT
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 2 6 6 4
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 TOTAL: 40,000 S.F.

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 CIRC. (R): 4,978 S.F.
 AMENITIES: 257 S.F.
 NET BLDG: 42,235 S.F.
 GROSS BLDG: 47,492 S.F.

AUSTIN
VEUM
ROBBINS
PARTNERS

Los Vientos Affordable Housing
 AMCAL Multi - Housing, Inc.
 1629 & 1668 National Avenue
 San Diego, CA 92113

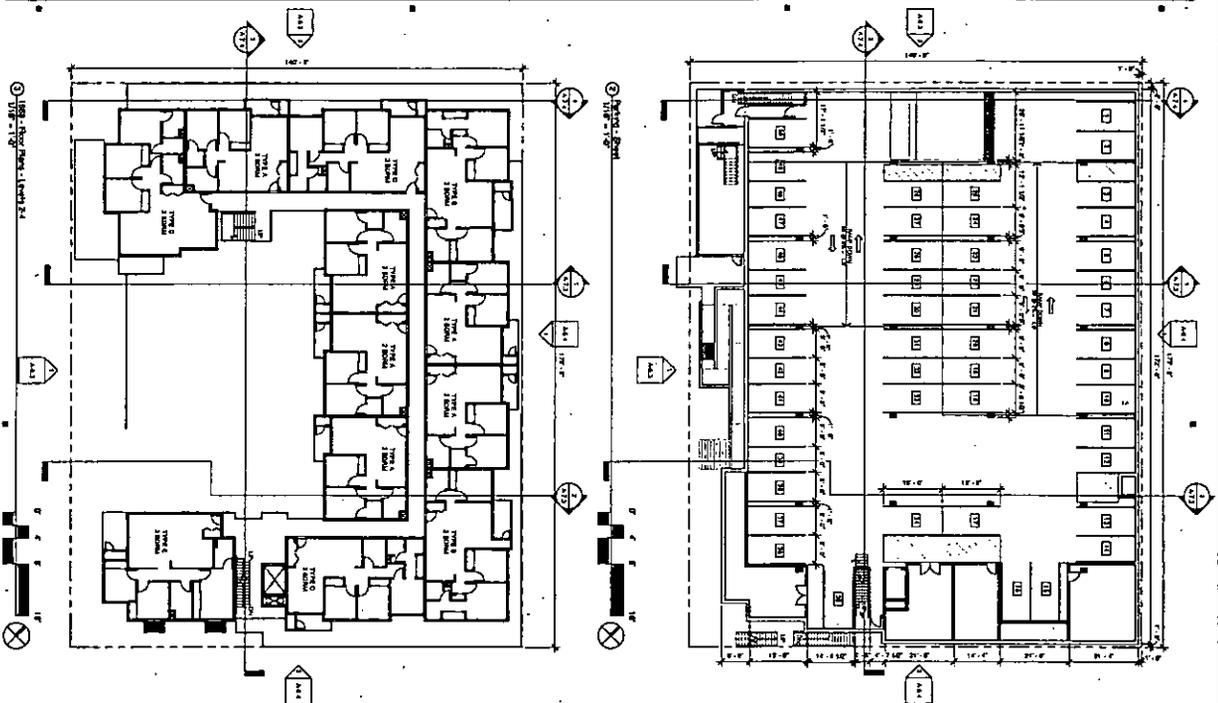
AMCAL

PROJECT NO: 08150.01
 DATE: 05/18/2005
 DRAWN BY: J. S. SHERMAN
 CHECKED BY: J. S. SHERMAN
 2nd Floor Plan
 12/12/2004
 3rd Floor Plan
 02/05/2007

Los Vientos
 National Avenue
 30 Overlying Units
 PROJECT NO: 08150.01
 AMHP: 08150.01

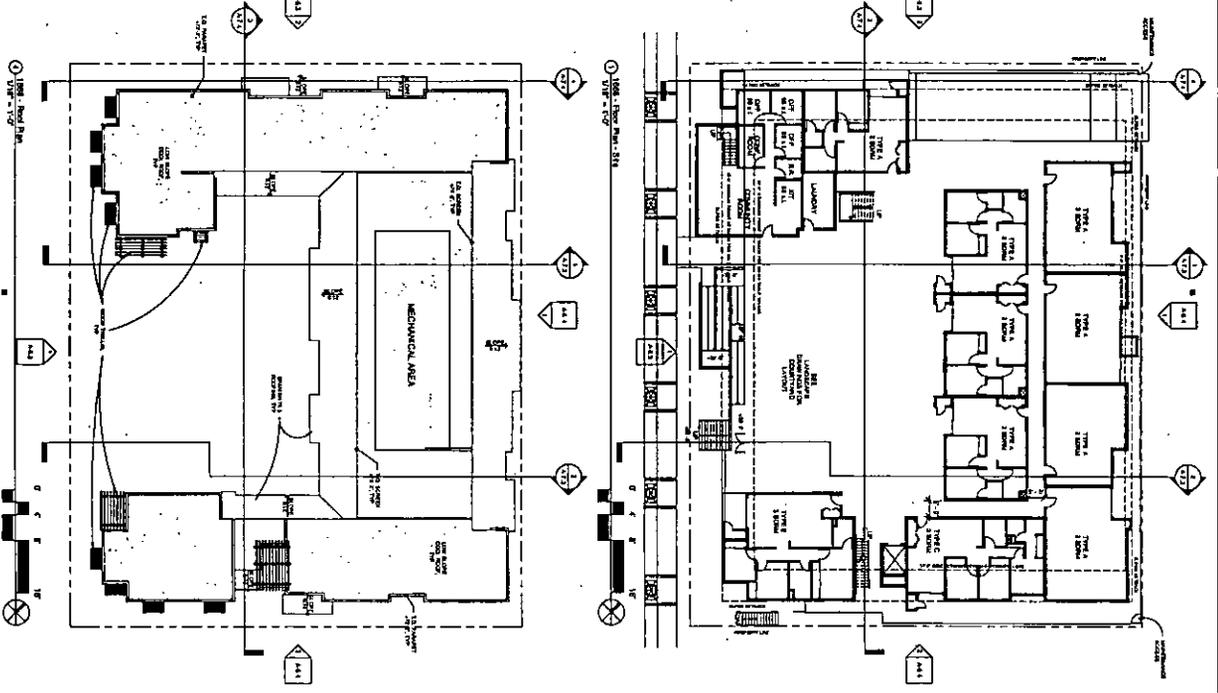
DESIGNED BY:
 ARCHITECT:
 1629 - Floor Plans
 SHEET NO. 20

000370



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196	1,100	1,100	1,100
197	1,100	1,100	1,100
198	1,100	1,100	1,100
199	1,100	1,100	1,100
200	1,100	1,100	1,100

NOTE: ALL TRAFFIC MUST BE HANDLED THROUGH THE MECHANICAL AREA. THE MECHANICAL AREA IS LOCATED WITHIN THE BUILDING AND IS NOT TO BE USED FOR STORAGE OR OTHER PURPOSES. THE MECHANICAL AREA IS NOT TO BE USED FOR STORAGE OR OTHER PURPOSES. THE MECHANICAL AREA IS NOT TO BE USED FOR STORAGE OR OTHER PURPOSES.



UNIT NO.	AREA	AREA	AREA
201	1,100	1,100	1,100
202	1,100	1,100	1,100
203	1,100	1,100	1,100
204	1,100	1,100	1,100
205	1,100	1,100	1,100
206	1,100	1,100	1,100
207	1,100	1,100	1,100
208	1,100	1,100	1,100
209	1,100	1,100	1,100
210	1,100	1,100	1,100
211	1,100	1,100	1,100
212	1,100	1,100	1,100
213	1,100	1,100	1,100
214	1,100	1,100	1,100
215	1,100	1,100	1,100
216	1,100	1,100	1,100
217	1,100	1,100	1,100
218	1,100	1,100	1,100
219	1,100	1,100	1,100
220	1,100	1,100	1,100
221	1,100	1,100	1,100
222	1,100	1,100	1,100
223	1,100	1,100	1,100
224	1,100	1,100	1,100
225	1,100	1,100	1,100
226	1,100	1,100	1,100
227	1,100	1,100	1,100
228	1,100	1,100	1,100
229	1,100	1,100	1,100
230	1,100	1,100	1,100
231	1,100	1,100	1,100
232	1,100	1,100	1,100
233	1,100	1,100	1,100
234	1,100	1,100	1,100
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237	1,100	1,100	1,100
238	1,100	1,100	1,100
239	1,100	1,100	1,100
240	1,100	1,100	1,100
241	1,100	1,100	1,100
242	1,100	1,100	1,100
243	1,100	1,100	1,100
244	1,100	1,100	1,100
245	1,100	1,100	1,100
246	1,100	1,100	1,100
247	1,100	1,100	1,100
248	1,100	1,100	1,100
249	1,100	1,100	1,100
250	1,100	1,100	1,100

NOTE: ALL TRAFFIC MUST BE HANDLED THROUGH THE MECHANICAL AREA. THE MECHANICAL AREA IS LOCATED WITHIN THE BUILDING AND IS NOT TO BE USED FOR STORAGE OR OTHER PURPOSES. THE MECHANICAL AREA IS NOT TO BE USED FOR STORAGE OR OTHER PURPOSES.

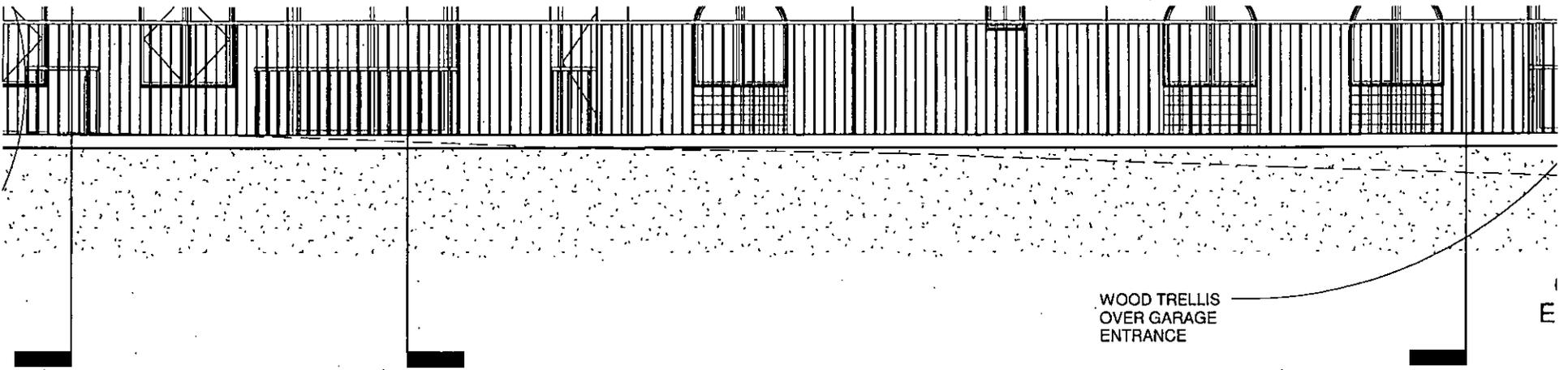
AUSTIN
VEUM
ROBBINS
PARTNERS

AMCAL

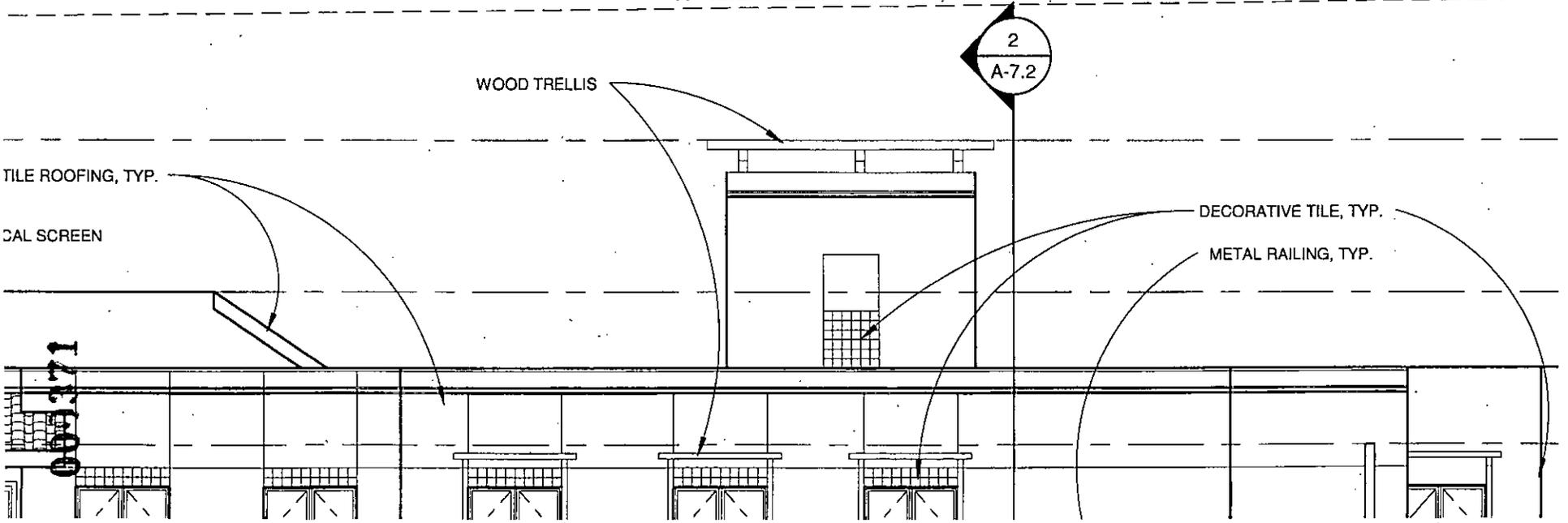
Los Vientos Affordable Housing
AMCAL Multi - Housing, Inc.
1629 & 1668 National Avenue
San Diego, CA 92113

A-2.2

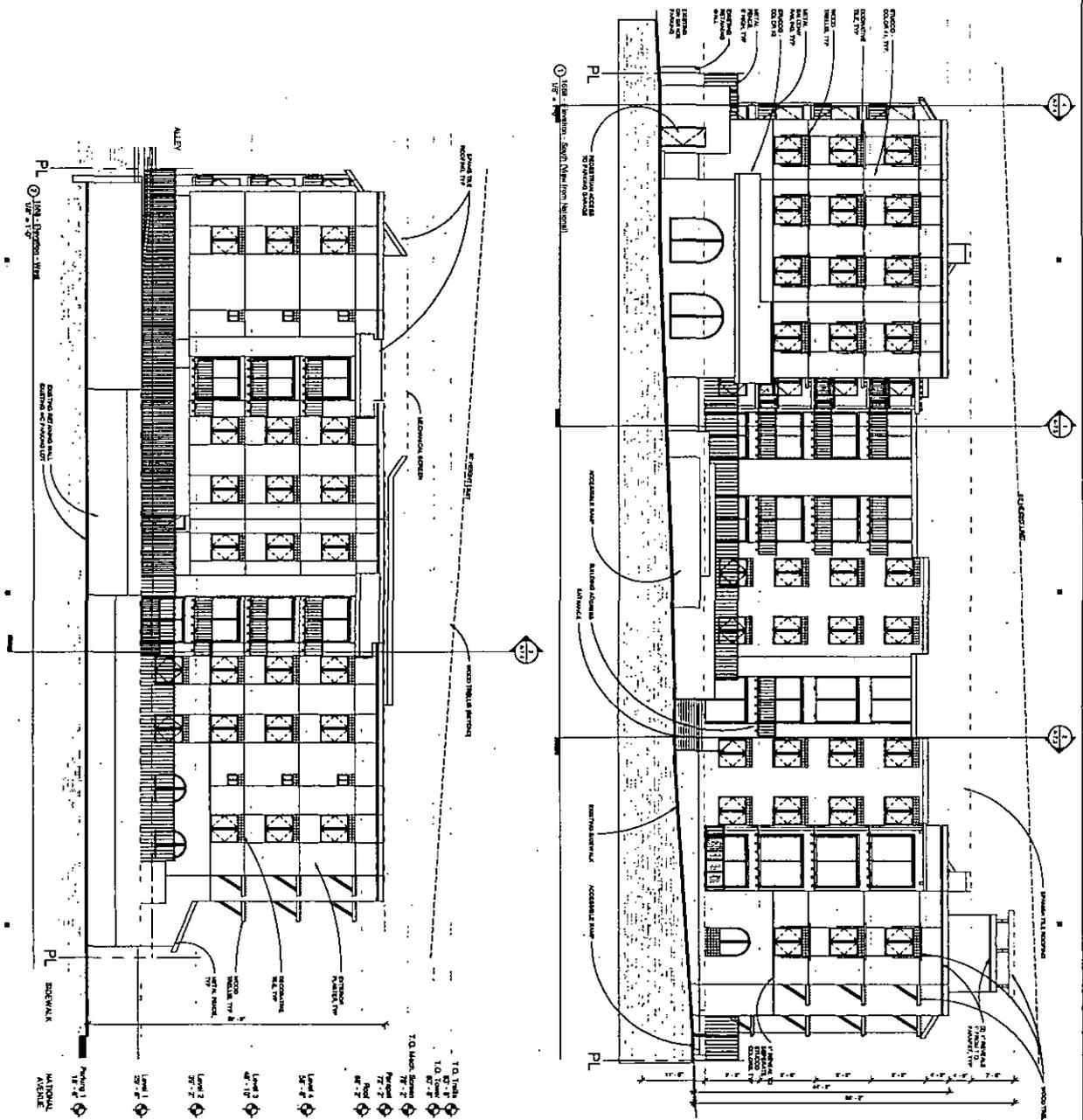
ATTACHMENT 7



60' HEIGHT LIMIT



000372



- 1.0. 1st Flr
- 1.0. 2nd Flr
- 1.0. 3rd Flr
- 1.0. 4th Flr
- 1.0. 5th Flr
- 1.0. 6th Flr
- 1.0. 7th Flr
- 1.0. 8th Flr
- 1.0. 9th Flr
- 1.0. 10th Flr
- 1.0. 11th Flr
- 1.0. 12th Flr
- 1.0. 13th Flr
- 1.0. 14th Flr
- 1.0. 15th Flr
- 1.0. 16th Flr
- 1.0. 17th Flr
- 1.0. 18th Flr
- 1.0. 19th Flr
- 1.0. 20th Flr
- 1.0. 21st Flr
- 1.0. 22nd Flr
- 1.0. 23rd Flr
- 1.0. 24th Flr
- 1.0. 25th Flr
- 1.0. 26th Flr
- 1.0. 27th Flr
- 1.0. 28th Flr
- 1.0. 29th Flr
- 1.0. 30th Flr
- 1.0. 31st Flr
- 1.0. 32nd Flr
- 1.0. 33rd Flr
- 1.0. 34th Flr
- 1.0. 35th Flr
- 1.0. 36th Flr
- 1.0. 37th Flr
- 1.0. 38th Flr
- 1.0. 39th Flr
- 1.0. 40th Flr
- 1.0. 41st Flr
- 1.0. 42nd Flr
- 1.0. 43rd Flr
- 1.0. 44th Flr
- 1.0. 45th Flr
- 1.0. 46th Flr
- 1.0. 47th Flr
- 1.0. 48th Flr
- 1.0. 49th Flr
- 1.0. 50th Flr

A-6.3

Los Vientos Affordable Housing
 AMCAL Multi - Housing, Inc.
 1629 & 1668 National Avenue
 San Diego, CA 92113

AMCAL

AUSTIN
VEUM
ROBBINS
PARTNERS

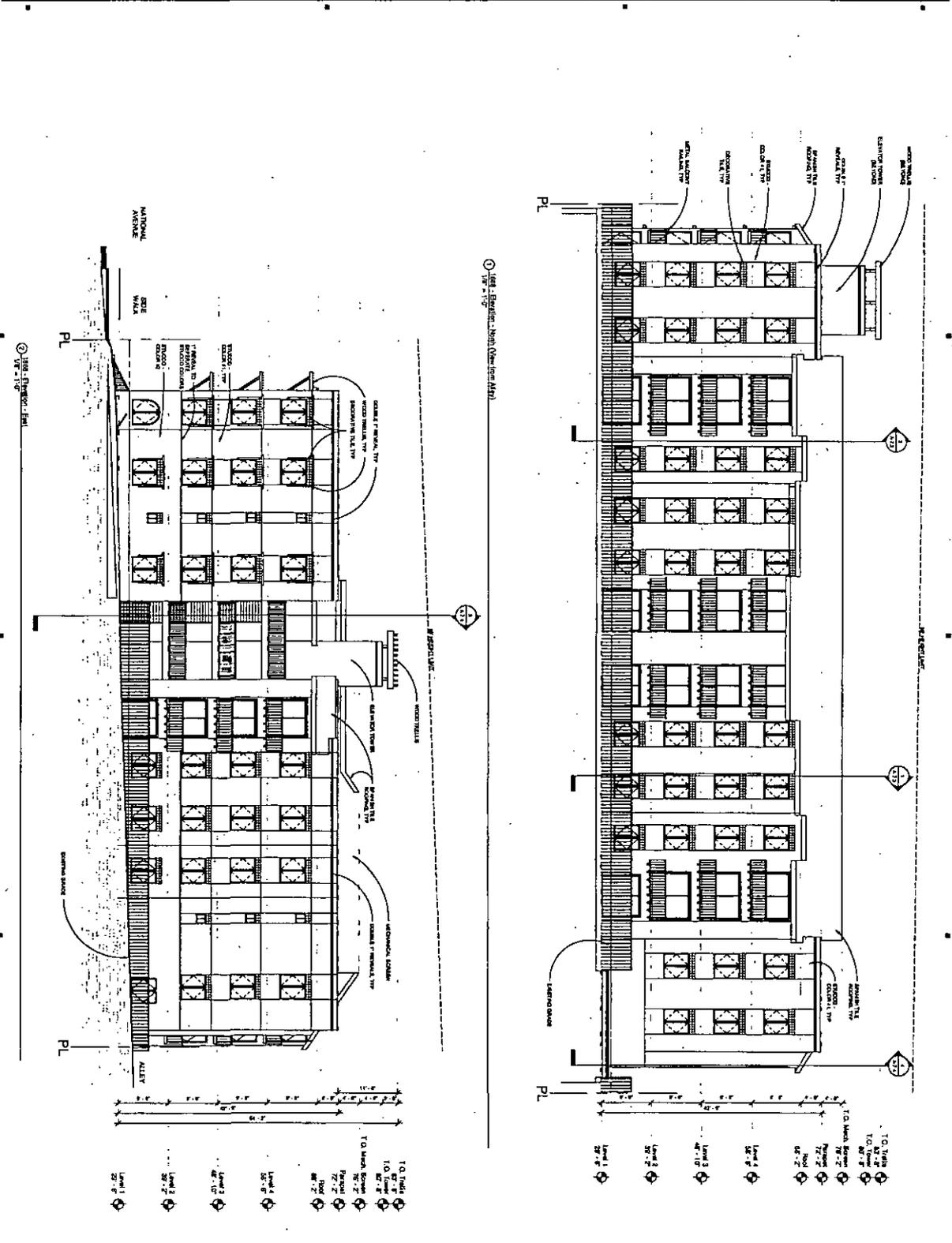
AMCAL

AMCAL

AMCAL

AMCAL

003373



A-6.4
Scale 1/4" = 1'-0"

PROJECT: Los Vientos National Avenue 80 Dwelling Units
ARCHITECT: AMCA
DATE: 01/20/11

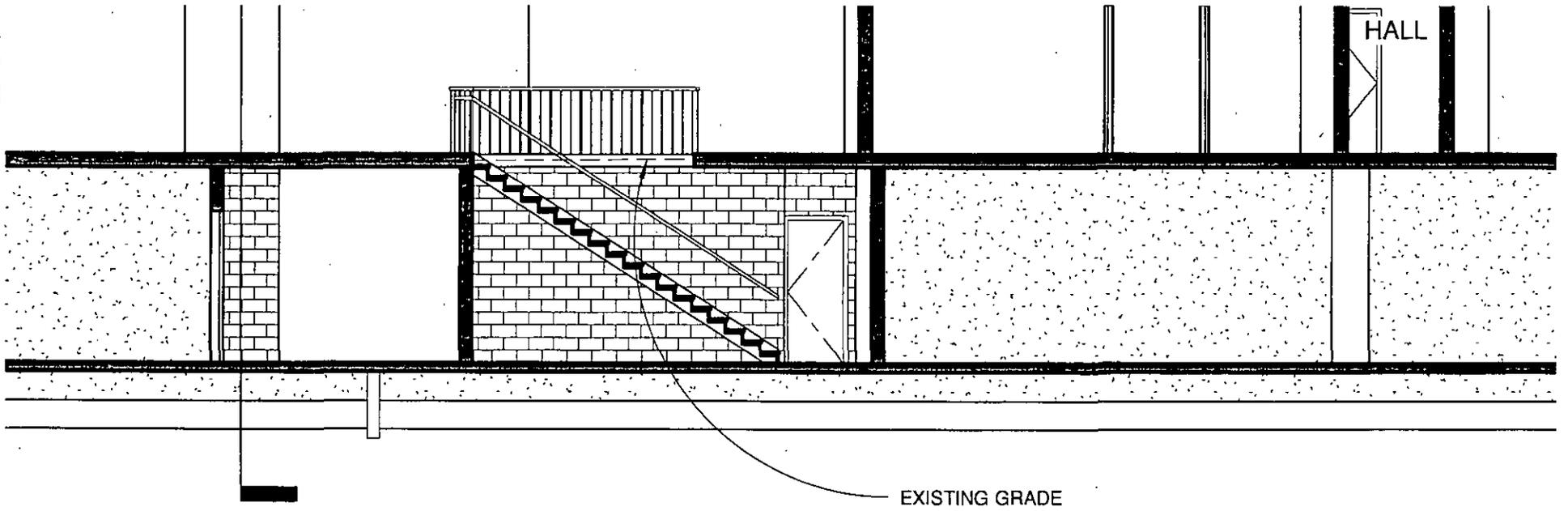
CLIENT: AMCAL Multi-Housing, Inc.
ADDRESS: 1629 & 1668 National Avenue San Diego, CA 92113

Los Vientos Affordable Housing
AMCAL Multi - Housing, Inc.
 1629 & 1668 National Avenue
 San Diego, CA 92113

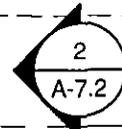


AUSTIN
VEUM
ROBBINS
PARTNERS
 ARCHITECTS
 2000 North Loop West, Suite 1000
 Austin, Texas 78701
 Phone: 512.476.1111
 Fax: 512.476.1112
 www.veumrobbins.com

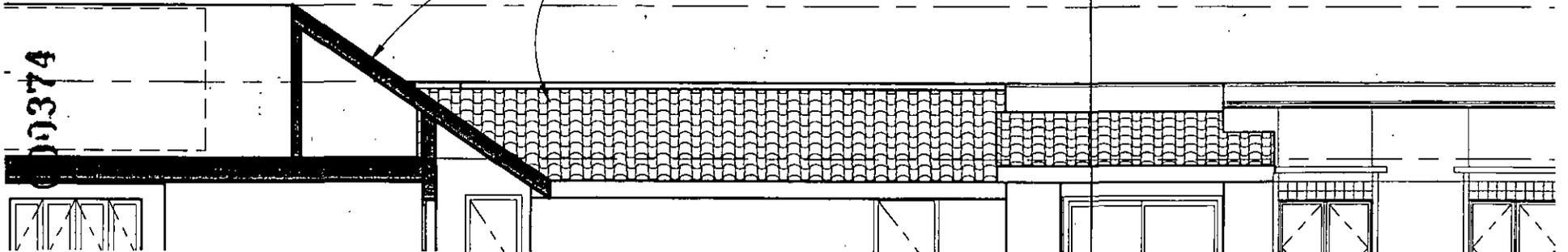
ATTACHMENT 7



60' HEIGHT LIMIT



SPANISH TILE ROOFING, TYP.



ATTACHMENT 7

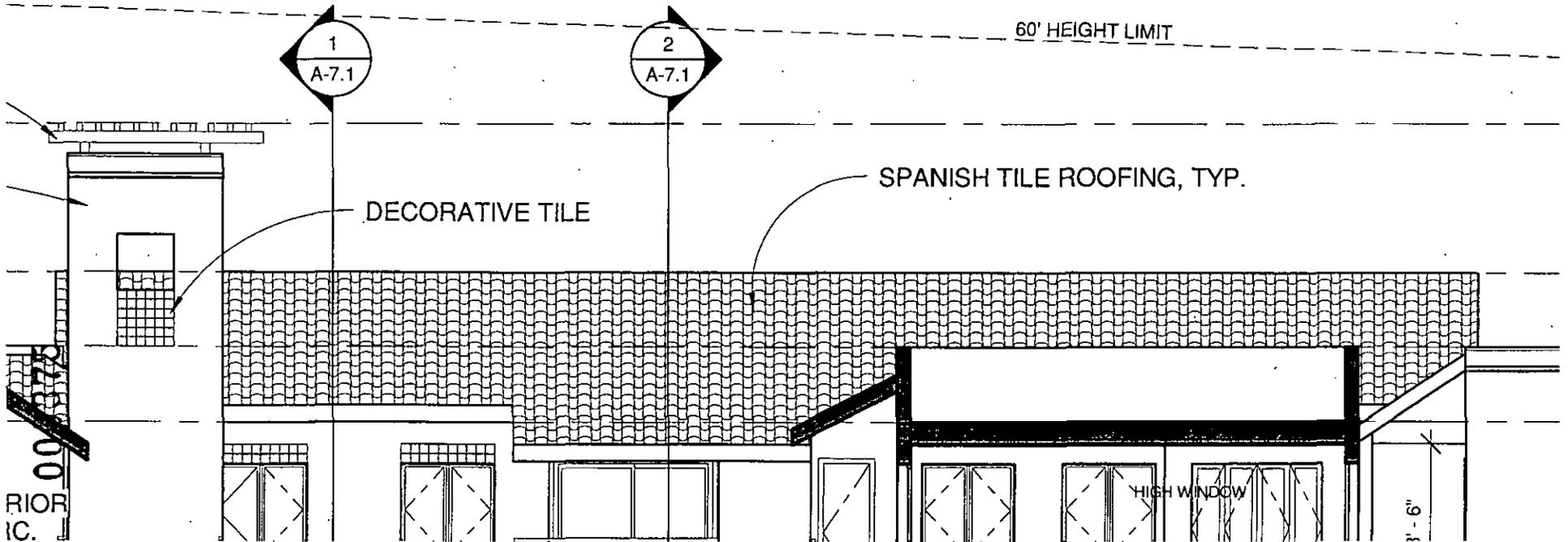
3%

8' - 3"

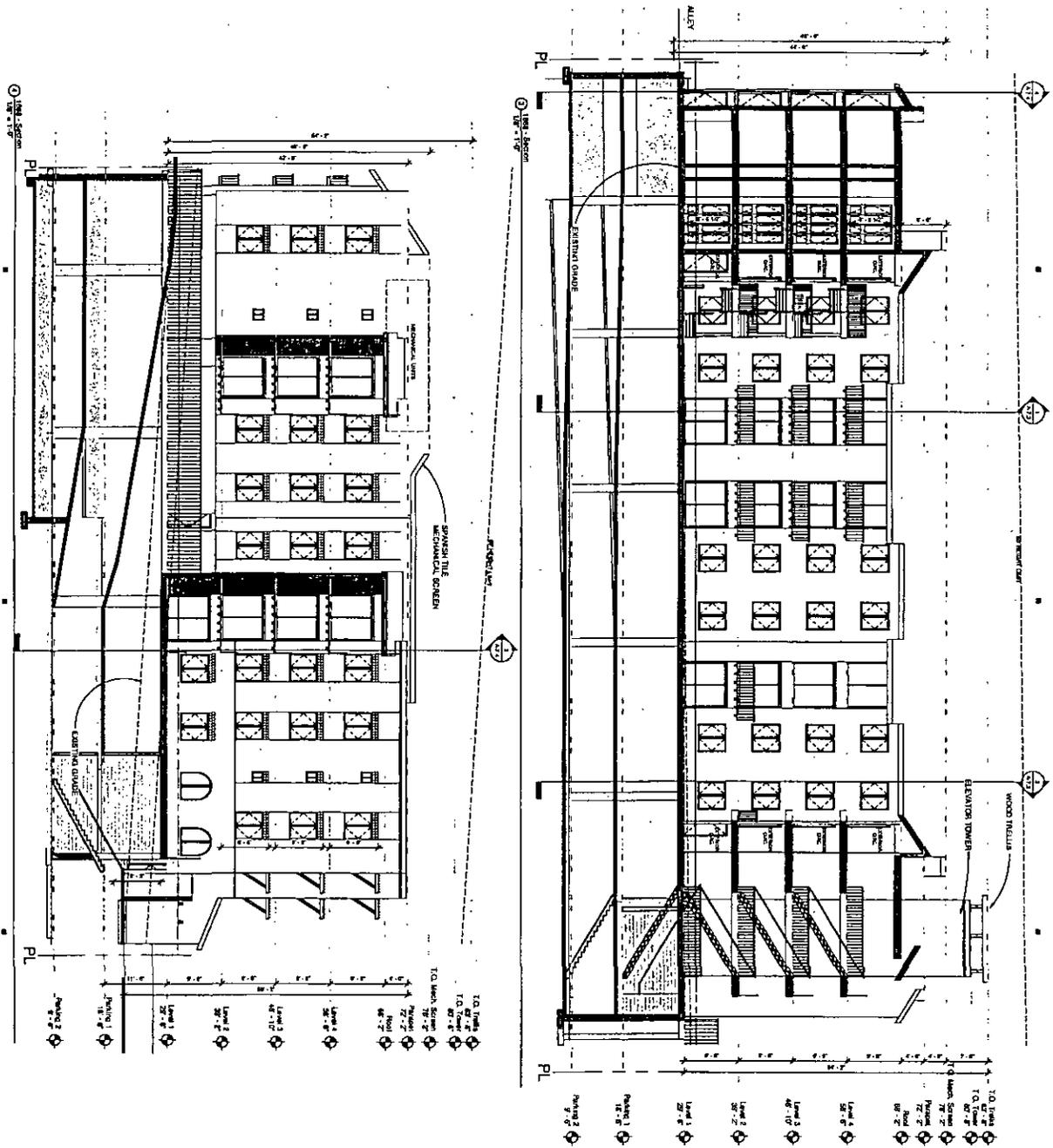
10%

ARKING GARAGE RAMP

EXISTING GRADE



000377



A-7.4
 Sheet 18 of 20

CONTRACTOR
 1988 - Section

DESIGNER
 National Avenue
 90 Dwellng Units

ARCHITECT
 AMCAL

DATE
 06/10/01

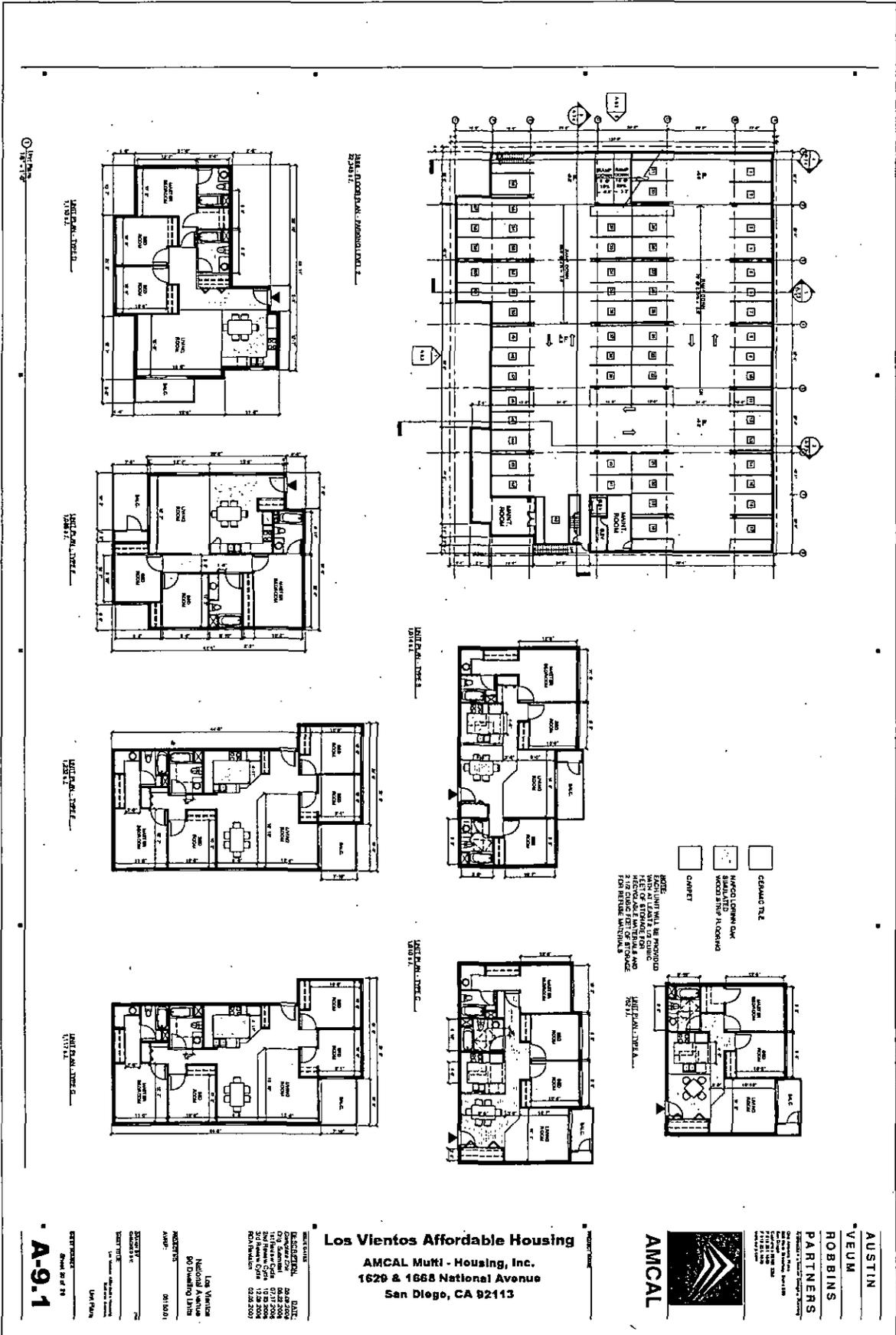
PROJECT
 Los Vientos
 National Avenue
 90 Dwellng Units

DATE
 06/10/01

Los Vientos Affordable Housing
 AMCAL Multi - Housing, Inc.
 1629 & 1668 National Avenue
 San Diego, CA 92113



AUSTIN
VEUM
ROBBINS
PARTNERS
 10000 North Loop West
 Suite 200
 Dallas, Texas 75243
 Phone: 214.343.1111
 Fax: 214.343.1111



- CERAMIC TILE
- HARDWOOD LAMINATE
- SIMULATED HARDWOOD
- CARPET

NOTE: EACH UNIT WILL BE PROVIDED WITH A SET OF STANDARD FURNITURE AND A SET OF STANDARD APPLIANCES. CARPET IS FOR REFERENCE PURPOSES ONLY.

Los Vientos Affordable Housing
AMCAL Multi - Housing, Inc.
 1629 & 1668 National Avenue
 San Diego, CA 92113

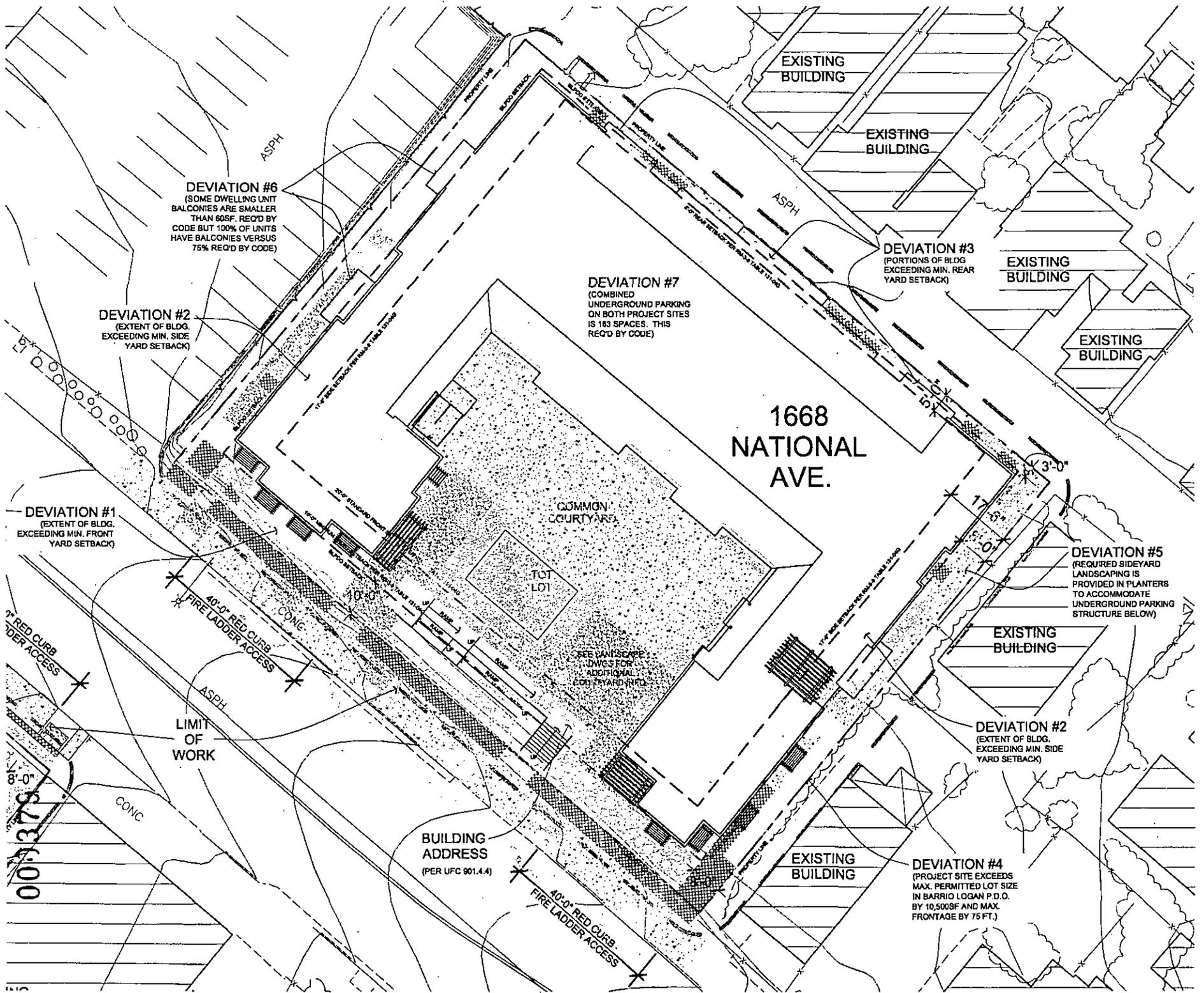
AUSTIN
VEUM
ROBBINS
PARTNERS



INTEREST
 0.1%
 0.2%
 0.3%
 0.4%
 0.5%
 0.6%
 0.7%
 0.8%
 0.9%
 1.0%

Los Vientos
 Multi-Unit
 600 Dunning Drive
 San Diego, CA 92113

APR 91
A-9.1



000381

PLANNING COMMISSION RESOLUTION NO. XXXX-PC

RECOMMENDING TO THE CITY COUNCIL APPROVAL OF
LOCAL COASTAL PROGRAM AMENDMENT,
REZONE NO. 341660
PLANNED DEVELOPMENT PERMIT NO. 417547
COASTAL DEVELOPMENT PERMIT NO. 341662
SITE DEVELOPMENT PERMIT NO. 341663

WHEREAS, on March 1, 2007, the Planning Commission of the City of San Diego held a public hearing for the purpose of considering and recommending to the Council of the City of San Diego approval of an amendment to the Progress Guide and General Plan, the Barrio Logan/Harbor 101 Community Plan, and Amendments to the Local Coastal Program No. 341661, Rezone No. 341660, Planned Development Permit No. 417547, Coastal Development Permit No. 341662 and Site Development Permit No. 341663; and

WHEREAS, the AMCAL Los Vientos Fund, L.P., a California Limited Partnership, Owner/Permittee, filed an application for a Rezone No. 341660; Planned Development Permit No. 417547, Coastal Development Permit No. 341662 and Site Development Permit No. 341663 to allow for the demolition of an existing dwelling unit and associated structures, and construction of 89 affordable for rent units, 43 units on 1629 National Avenue and 46 units on 1668 National Avenue within the Barrio Logan/Harbor 101 Community Planning Area. The project site is legally described as Lots 36 through 41, Block 132, and Lots 13 through 19, Block 138 of subdivision of Pueblo Lot 1157, commonly known as Mannasse and Schiller's addition, in the City of San Diego, County of San Diego, State of California, According to Map No. 209, Filed in the office of the County Recorder of San Diego County, July 11, 1870, State of California; and

WHEREAS, the Planning Commission of the City of San Diego, has considered all maps, exhibits, and written documents contained in the file for this project on record in the City of San Diego, and has considered the oral presentations given at the public hearing;
NOW, THEREFORE,

BE IT RESOLVED, by the Planning Commission of the City of San Diego, that it hereby recommends City Council approval of Rezone No. 341660, Local Coastal Program Amendment, Planned Development Permit No. 417547, Coastal Development Permit No. 341662 and Site Development Permit No. 341663; and incorporate all other listed actions.

Farah M. Mahzari
Development Project Manager
Development Services Department

Sabrina Curtin
Legislative Recorder
to the Planning Commission

Approved:
By a vote of:

000382

PLANNING COMMISSION RESOLUTION NO. PC - XXXX

**RECOMMENDING APPROVAL TO THE CITY COUNCIL
OF AN AMENDMENT TO THE PROGRESS GUIDE AND GENERAL PLAN,
THE BARRIO LOGAN/HARBOR 101 COMMUNITY PLAN, AND
AMENDMENTS TO THE LOCAL COASTAL PROGRAM
FOR LOS VIENTOS AFFORDABLE HOUSING**

WHEREAS, on March 1, 2007, the Planning Commission of the City of San Diego held a public hearing to consider an amendment to the Progress Guide and General Plan and Barrio Logan/Harbor 101 Community Plan, and an Amendment to the Local Coastal Program; and

WHEREAS, the amendment request is to redesignate two sites from Light Industry/Commercial to High Density Residential (45-74 dwelling units/acre); and

WHEREAS, City Council Policy 600-7 provides that public hearings to consider revisions to the Progress Guide and General Plan for the City of San Diego may be scheduled concurrently with public hearings on proposed plans in order to retain consistency between said plans and the Planning Commission has held such concurrent public hearings; and

WHEREAS, the Planning Commission of The City of San Diego, has considered all maps, exhibits, and written documents contained in the file for this project on record in the City of San Diego, and has considered the oral presentations given at the public hearing; **NOW, THEREFORE**,

BE IT RESOLVED, by the Planning Commission of The City of San Diego, that it hereby recommends City Council approval of the Los Vientos Affordable Housing Project, including the associated amendments to the Progress Guide and General Plan, the Barrio Logan/Harbor 101 Community Plan, and the Local Coastal Program.

Jean Cameron
Senior Planner
CPCI Department

Sabrina Curtin
Planning Commission Docket Clerk

Approved: March 1, 2006
By a vote of:

000383

CITY OF SAN DIEGO
MEMORANDUM

DATE: January 10, 2007
TO: Distribution
FROM: Jean Cameron, Senior Planner
SUBJECT: Barrio Logan Community Plan and Local Coastal Program
Amendment — Los Vientos Project

On December 8, 2005, the Planning Commission authorized the initiation of an amendment to the Barrio Logan/Harbor 101 Community Plan, Local Coastal Program, and San Diego Progress Guide and General Plan to consider re two sites totaling approximately 45,500 sq. ft. from Light Industry/Commercial Use to Residential (45 to 74 dwelling units per net residential acre). Specifically, the amendment would accommodate the location of two new multi-family residential projects located at 1629 and 1668 National Avenue (PTS 103439) and would also require a rezone from the Barrio Logan PDO Redevelopment Subdistrict to RM-3-9. The projects would consist of a total of 90 new affordable apartment units.

Please review the proposed land use map and related materials and comment on those issues that relate to your discipline. In your response please comment on how the proposed project would affect existing levels of service, impact existing local schools, emergency response times, and/or the state of existing facilities, etc. as they apply to your discipline. Your comments are necessary to prepare a report to the Planning Commission and City Council. Please remit your comments via email, to jcameron@sandiego.gov, or by mail to 202 C Street, MS-4A, San Diego CA 92101. **Comments are due by January 25, 2007.** All relevant comments will be included in the staff report for the Planning Commission and City Council.

If you have any questions, please contact me by calling (619) 533-5954 or send email to jcameron@sandiego.gov



Jean Cameron
Senior Planner
Attachments: Community Plan Amendment Packet

Distribution: B.D. Howard, Council District 8, MS-10A
Chair, Barrio Logan Redevelopment Project Area Committee

000384

Police Dept., Operational Support Division, Attn: Carey Brooks, MS-702
Park and Recreation Dept., Attn: Jeff Harkness, MS-35A
Transportation, Traffic Eng. Div, Attn: Gary Pence, MS-609
Sempra Energy, Attn: Michael Williams, 8316 Century Park Ct, Room 5101 SD CA 92123
DSD, Land Development Review-Planning, Attn: Josh McMurray, MS-501
DSD, EAS, Attn: Marc Cass, MS-501
DSD Water Review, Attn: Alice Vaughn, MS-910
DSD Wastewater Review, Attn: Jane Gilbert, MS-922
DSD Transportation Development, Attn: George Ghossain, MS-505
DSD Fire Department, Attn: Bob Medan, MS-411
Fire-Rescue Department, Attn: J. Lea Orianne, MS-15
Storm Water Pollution Prevention Division, Attn: Karen Henry, MS-27A
Storm Drains, Attn: Mark Hosford, MS-44
Street Division, Attn: Mario Sierra, MS-44
MWWD, Attn: Joe Harris, MS-901
SD Housing Commission, Attn: Todd Philips, 1625 Newton Avenue, SD CA 92113
CALTRANS Transportation Planning, Attn: Bill Figge, 1450 Frazee Road, SD CA 92108
San Diego Unified City School District, Attn: Roy MacPhail, 4100 Normal Street, Annex 2,
Room 101, SD CA 92103
SANDAG/MTB, Attn: Christine Eary, MS-908

cc:

Mary Wright, Program Manager
Farah Mahzari, Development Project Manager, MS-501
Robert Chavez, Community Development Specialist, Redevelopment Division

**AMENDMENT
TO THE
BARRIO LOGAN/HARBOR 101 COMMUNITY PLAN**

On (date to be determined), the City Council adopted an amendment to the Barrio Logan/Harbor 101 community Plan by Resolution No. (# to be determined) to change the land use designation from Light Industry/Commercial Use to Residential (45 to 74 dwelling units per net residential acre on two sites totaling 45,500 sq. ft. of both sides of National Avenue between 16th Street and Sigsbee St.

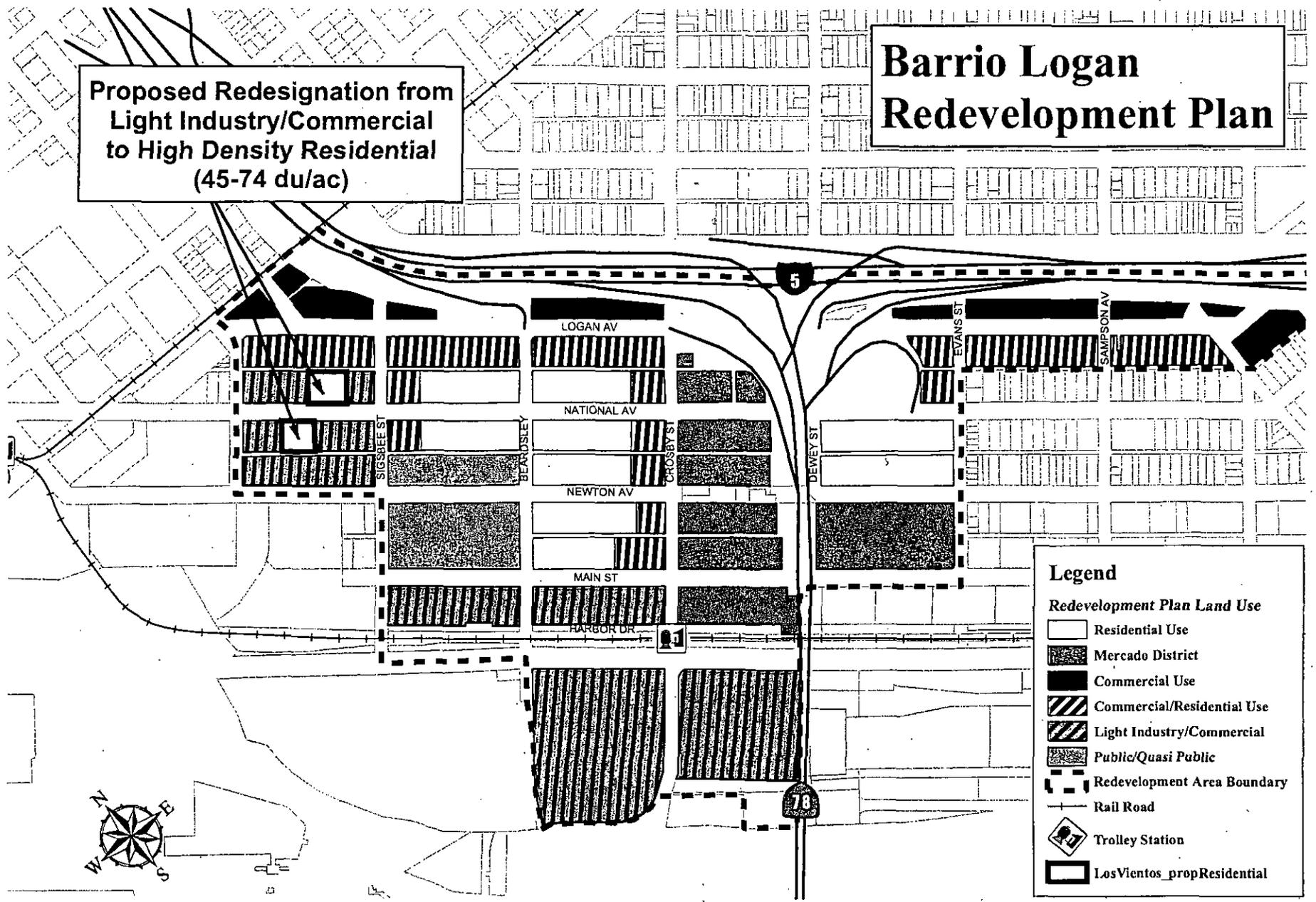
On (date to be determined), the City of San Diego Planning Commission recommended approval of the amendment.

A revised community plan graphic is attached. The revision will serve as an addendum to the Barrio Logan/Harbor 101 community plan.

For further information regarding this amendment, please contact the Barrio Logan Community Planner at (619) 533-5954.

Proposed Redesignation from
Light Industry/Commercial
to High Density Residential
(45-74 du/ac)

Barrio Logan Redevelopment Plan



Legend

Redevelopment Plan Land Use

- Residential Use
- Mercado District
- Commercial Use
- Commercial/Residential Use
- Light Industry/Commercial
- Public/Quasi Public
- Redevelopment Area Boundary
- Rail Road
- Trolley Station
- LosVientos_propResidential

000386



PLANNING COMMISSION RESOLUTION NO. 3911 -PC

INITIATING AN AMENDMENT TO THE PROGRESS GUIDE AND GENERAL PLAN AND THE BARRIO LOGAN COMMUNITY PLAN TO REDESIGNATE APPROXIMATELY 2.47 ACRES FROM LIGHT INDUSTRY/COMMERCIAL TO HIGH DENSITY RESIDENTIAL (45-74 DU/AC)

WHEREAS, on December 15, 2005, the Planning Commission of the City of San Diego held a public hearing to consider the initiation of an amendment to the Progress Guide and General Plan and the Barrio Logan Community Plan to redesignate approximately 2.47 acres of vacant land from Light Industrial/Commercial to High Density Residential; and

WHEREAS, the applicant is requesting a Community and General Plan Amendment in anticipation of future development that will allow for multi-family residential units on the subject property; and

WHEREAS, the Planning Commission of the City of San Diego considered all maps, exhibits, evidence and testimony; NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission of the City of San Diego that it hereby initiates the requested Community Plan and General Plan amendment; and

BE IT FURTHER RESOLVED, that the Planning Commission directs staff to consider the following issues:

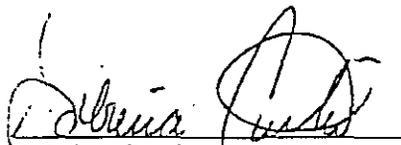
- The transition in the Barrio Logan area as projects may come forward prior to a community plan update;
- The appropriate mix of uses within the Light Industry/Commercial/Residential designation which could be a transitional designation in Barrio Logan, along with the phasing and impacts over time that would result from the mix of uses;
- The appropriate land use designations, density range, and zoning;
- The compatibility of adjacent residential/industrial/commercial development;
- The potential loss of industrial/commercial lands;
- The impact of potential residential development on public services and facilities;
- The availability of transit;
- The potential noise and health impacts related to the proximity of residential development to industrial/commercial uses, port activity, and the I-5 freeway;
- Housing availability and affordability;

- Walkability and pedestrian connectivity.

BE IT FURTHER RESOLVED, that this initiation does not constitute an endorsement of a project proposal. This action will allow staff analysis to proceed.



Theresa Millette, AICP
Senior Planner, Planning Department

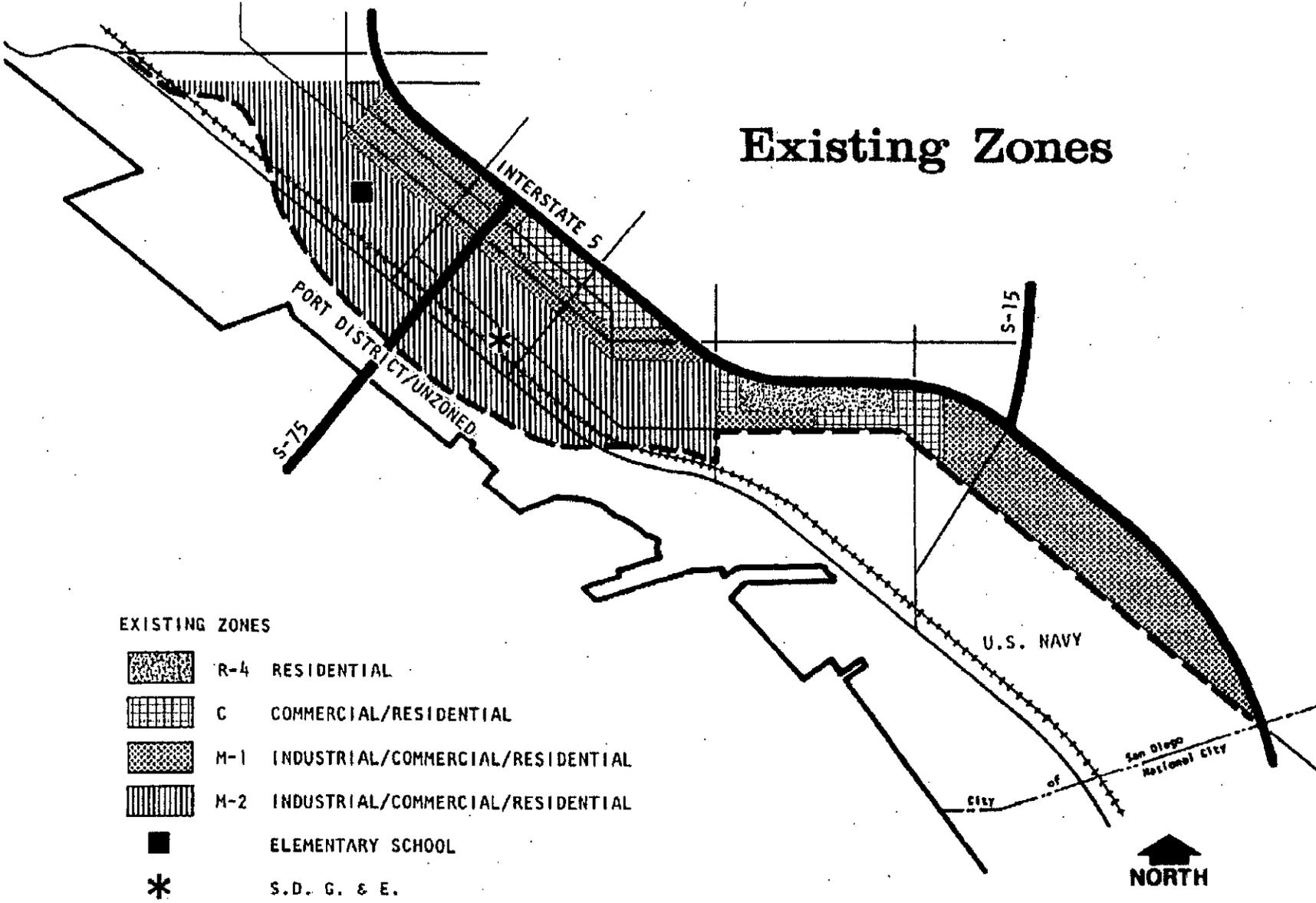


Sabrina Curtin
Legislative Recorder

Initiated: December 15, 2005

By a vote of: 4-1

Existing Zones



EXISTING ZONES

-  R-4 RESIDENTIAL
-  C COMMERCIAL/RESIDENTIAL
-  M-1 INDUSTRIAL/COMMERCIAL/RESIDENTIAL
-  M-2 INDUSTRIAL/COMMERCIAL/RESIDENTIAL
-  ELEMENTARY SCHOOL
-  S.D. G. & E.



Barrio Logan
Harbor 101

000390

Rezone Ordinance

(O-INSERT~)

ORDINANCE NUMBER O-_____ (NEW SERIES)

ADOPTED ON _____

AN ORDINANCE OF THE COUNCIL OF THE CITY OF SAN DIEGO CHANGING 1.04 ACRES LOCATED WITHIN THE BARRIO LOGAN COMMUNITY PLAN AREA, IN THE CITY OF SAN DIEGO, CALIFORNIA, FROM THE BARRIO LOGAN PLANNED DISTRICT-REDEVELOPMENT SUBDISTRICT-LIGHT INDUSTRY/COMMERCIAL USE INTO THE RM-3-9 ZONE, AS DEFINED BY SAN DIEGO MUNICIPAL CODE SECTION 131.0415; AND REPEALING ORDINANCE NO. 17746 (NEW SERIES), ADOPTED MARCH 2, 1992, OF THE ORDINANCES OF THE CITY OF SAN DIEGO INsofar AS THE SAME CONFLICT HEREWITH.

BE IT ORDAINED, by the Council of the City of San Diego, as follows:

Section 1. That the 1.04 acres located 1929 and 1668 National Avenue, and legally described as lots 36 through 41, Block 132, and lots 13 through 19, Block 138 of Subdivison of Pueblo Lot 1157, in the Barrio Logan/Harbor 101 Community Plan area, in the City of San Diego, California, as shown on Zone Map Drawing No. B-4249, filed in the office of the City Clerk as Document No. OO- _____, are rezoned from the into the Barrio Logan Planned District-Development Subdistrict Light Industry/Commercial Use into RM-3-9 ZONE, as the RM-3-9 Zone described and defined by San Diego Municipal Code Chapter 13 Article 1 Section 131.0415. This action amends the Official Zoning Map adopted by Resolution R-301263 on February 28, 2006.

000391

Section 2. That Ordinance No. 17746 (New Series), adopted March 2, 1992, of the ordinances of the City of San Diego is repealed insofar as the same conflict with the rezoned uses of the land.

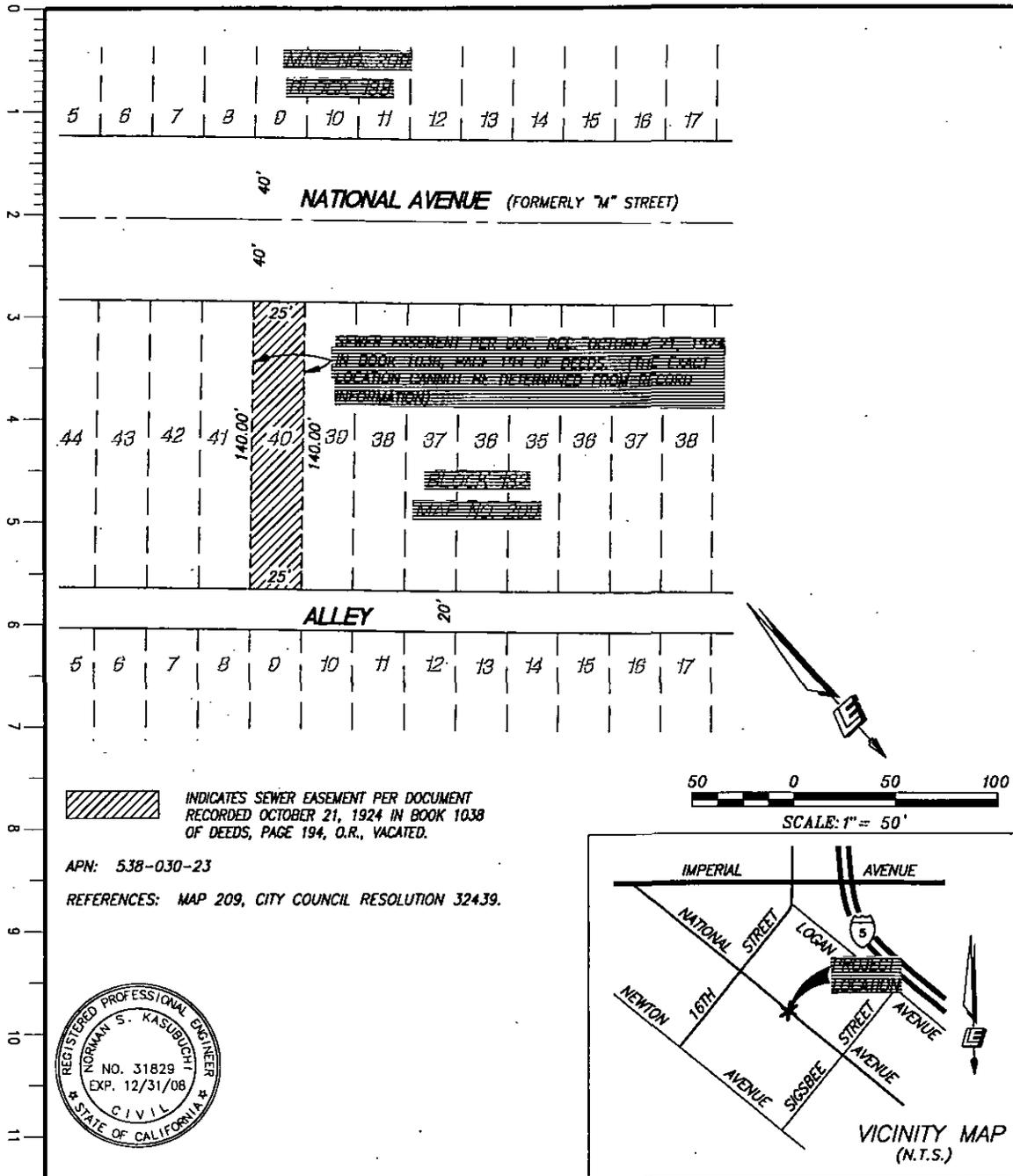
Section 3. That a full reading of this ordinance is dispensed with prior to its final passage, a written or printed copy having been available to the City Council and the public a day prior to its final passage.

Section 4. This ordinance shall take effect and be in force on the thirtieth day from and after its passage. However, the subject property is located in the Coastal Zone, therefore, the City Council's decision requires amending the City's Local Coastal Program. This ordinance shall be in force and effect on the date it is effectively certified by the California Coastal Commission as a City of San Diego Local Coastal Program Amendment. If this ordinance is certified with suggested modifications, this ordinance shall be void within the Coastal Zone.

APPROVED: MICHAEL AGUIRRE, City Attorney

By _____
Attorney name
Deputy City Attorney

Initials~
Date~
Or.Dept: INSERT~
Case No. 103439
O-INSERT~
Form=inloto.frm(61203wct)



PREPARED BY:
 LEPPERT ENGINEERING CORPORATION
 5190 GOVERNOR DRIVE, SUITE 205
 SAN DIEGO, CA 92122

NORMAN S. KASUBUCHI, RCE 31829 EXP. 12/31/08 DATE

SEWER EASEMENT VACATION WITHIN LOT 40, BLOCK 132, MAP 209

DESCRIPTION	BY	APPROVED	DATE	FILMED	CITY OF SAN DIEGO, CALIFORNIA SHEET 1 OF 1 SHEET	P.T.S. NO. 103439 JOB NO. 42-6474
ORIGINAL	LEC					
					FOR CITY ENGINEER	1836-6283 NAD 83 COORDINATES
					DATE	196-1723 LAMBERT COORDINATES
						20639-B
STATUS						

RESOLUTION NUMBER R-_____

ADOPTED ON _____

WHEREAS, Section 8330 et seq. of the California Streets and Highways Code provides a procedure for the vacation of public service easements by City Council resolution; and

WHEREAS, the affected property owners have requested the vacation of the sewer easement within Lot 40, Block 132 of Map No. 209 to unencumber these properties; and

WHEREAS, the City Council finds that:

- (a) there is no present or prospective use for the easement either for which it was originally acquired, or for any other public use of a like nature that can be anticipated; and
- (b) the public will benefit from the vacation through improved utilization of land; and
- (c) the vacation is not inconsistent with the General Plan, an approved Community Plan or Local Coastal Program; and
- (d) the purpose for which the easement was originally acquired will not be detrimentally affected by this vacation; NOW, THEREFORE,

BE IT RESOLVED, by the Council of The City of San Diego, as follows:

1. That the sewer easemnt within Lot 40, Block 132, Map 209, as more particularly shown on Exhibit "A" and Drawing No. 20639-B, on file in the Office of the City Clerk as Document No. RR-_____, which is by this reference is attached hereto and made a part hereof, be, and the same is hereby ordered, vacated.

2. That the City Clerk shall then cause a certified copy of this resolution, with Exhibit "A" and Drawing No. 20639-B, attested by him under seal, to be recorded in the office of the County Recorder.

Findings For The Abandonment Of A Public Service Easement:

1. There is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired or for any other public use of a like nature that can be anticipated.

The easement to be abandoned is a public sewer easement crossing the 1629 National Avenue project site. The sewer line located within the public sewer easement has been abandoned by the City and is no longer in use, and the City has no intent to use the easement in the future. There is no prospective public use for the easement because the City can not use the easement for any use other than for a sewer line. Thus, there is no present or prospective public use for the easement.

2. The public will benefit from the action through improved utilization of the land made available by the abandonment.

The City Council has declared a citywide housing crisis due to the lack of affordable housing. The project will provide 89 rental units affordable to low income households earning no more than 60% of the Area Median Income, and will include larger three and four bedroom units, as well as high quality, articulated buildings, and landscaped courtyards. The addition of 89 affordable housing units will contribute to the City's affordable housing supply and assist the City in reaching its goal to ensure a sufficient supply of affordable housing.

3. The abandonment is consistent with any applicable land use plan.

The abandonment of the sewer easement and the addition of 89 rental units affordable to low income households is consistent with the applicable land use plans, including the General Plan, Barrio Logan Community Plan, Barrio Logan Planned District Ordinance, and the Barrio Logan Redevelopment Plan.

4. The public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the abandonment or the purpose for which the easement was acquired no longer exists.

The City acquired the easement to operate a sewer line that has since been abandoned and the City has determined that the abandonment of the sewer easement will not detrimentally affect the

000395

Attachment 14

City's sewer system; therefore, the purpose for which the easement was acquired no longer exists.

APPROVED: MICHAEL AGUIRRE, City Attorney

By

NAME

Deputy City Attorney

ATTY/SEC. INITIALS

DATE

Or.Dept:Clerk

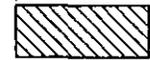
R-_____

LOS VIENTOS ZONE/REZONE EXHIBIT BARRIO LOGAN PDO

000396



LEGEND:



RM-3-9
1629 & 1668 NATIONAL AVENUE
SAN DIEGO, CA 92113



NOT TO SCALE

Leppert Engineering CORPORATION  5190 Governor Drive, Suite 205
San Diego, Ca. 92122-2848
Phone: (619) 597-2001 Fax: (619) 597-2009

ATTACHMENT 15

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
 CITY CLERK
 MAIL STATION 2A

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 42-6474

SITE DEVELOPMENT PERMIT NO. 341663
 PLANNED DEVELOPMENT PERMIT NO. 417547
 COASTAL DEVELOPMENT PERMIT NO. 341662

LOS VIENTOS PROJECT NO. 103439 [MMRP]
 CITY COUNCIL

This Permit is granted by the City Council of the City of San Diego to AMCAL LOS VIENTOS FUND, L.P., Owners/Permittees, pursuant to San Diego Municipal Code [SDMC] Section 126.0504. The project site is located at 1629 National Avenue (South Lot) and 1668 National Avenue (North Lot) within the Barrio Logan/ Harbor 101 Community Planning Area. The project site is legally described as Lots 36 through 41, Block 132, and Lots 13 Through 19, Block 138 of Subdivision of Pueblo Lot 1157, commonly known as Mannasse and Schiller's addition, in the City of San Diego, County of San Diego, State of California, According to Map No. 209, Filed in the Office of the County Recorder of San Diego County, July 11, 1870.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner /Permittee to construct 89 rental housing units, as described and identified by size, dimension, quantity, type, and location on the approved exhibits, dated _____, on file in the Development Services Department. 16 of the total units will be affordable to low income households for the term specified in this permit.

The project or facility shall include:

- a. 89 for rent units in two buildings with four stories of 2, 3 and 4 bedroom units (Type V). 43 units at 1629 over one level of subterranean parking, and 46 units at 1668 over two levels of subterranean parking (Type I concrete construction), both buildings include tot lots and laundry facilities. A common computer room and community room with a kitchen are provided at 1668 National Avenue;

- b. The underlying zoning authorizes 76 units. In exchange for reserving 20% of the pre-density bonus units (16 units) for occupancy by, and at rents affordable to, households earning no more than 60% AMI, the project is granted a density bonus, bringing the total number of allowed units to 89 units;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking facilities;
- e. Accessory improvements determined by the City Manager to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

STANDARD REQUIREMENTS:

1. Construction, grading or demolition must commence and be pursued in a diligent manner within thirty-six months after the effective date of final approval by the City, following all appeals. Failure to utilize the permit within thirty-six months will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all the SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder
3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the City Manager.
4. This Permit is a covenant running with the subject property and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.
5. The utilization and continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The applicant is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

8. Before issuance of any building or grading permits, complete grading and working drawings shall be submitted to the City Manager for approval. Plans shall be in substantial conformity to Exhibit "A," on file in the Development Services Department. No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. Prior to issuance of any construction permits, the applicant shall provide documentation that the Local Coastal Program Amendment has been certified by the California Coastal Commission.

10. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring and Reporting Program (MMRP). These MMRP conditions are incorporated into the permit by reference or authorization for the project.

12. The Owner/Permittee shall comply with the Mitigation, Monitoring, and Reporting Program (MMRP) as specified in the Mitigated Negative Declaration, LDR NO. 103439 satisfactory to the City Manager and City Engineer. Prior to the issuance of any building permits,

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all conditions of the MMRP shall be adhered to the satisfaction of the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas: Archaeological Resources, Paleontological Resources and Health and Safety.

AFFORDABLE HOUSING REQUIREMENTS:

13. The Project is subject to both the provisions of the City's Affordable Housing Density Bonus Regulations and the requirements of the Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code). To meet these requirements, the Owner/Permittee shall provide at least 16 units for occupancy by, and at rents affordable to, households earning no more than 60% AMI. Eight of the units will be reserved for a term of 30 years and eight of the units will be reserved for a term of 55 years.

14. Prior to receiving the first Certificate of Occupancy, the Owner/Permittee shall enter into an agreement with the San Diego Housing Commission to assure that at least 16 affordable units are built, occupied by eligible households, and leased at appropriate rents.

PLANNING/DESIGN REQUIREMENTS:

15. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as a condition of approval of this Permit. Where there is a conflict between a condition (including exhibits) of this Permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations. Where a condition (including exhibits) of this Permit establishes a provision which is more restrictive than the corresponding regulation of the underlying zone, then the condition shall prevail.

16. This permit grants the project the right to deviate from the following regulations of the underlying zone(s) provided the Project remains in substantial conformity to the Exhibit "A" on file in the Development Services Department:

- a. Front yard setbacks;
- b. Side yard setbacks;
- c. Rear yard setbacks;
- d. Maximum lot size;
- e. Side and Rear yard landscaping;
- f. Private exterior open space; and
- g. Parking.

17. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this Permit.

18. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Permittee.
19. Any future requested amendment to this Permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.
20. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.
21. The use of textured or enhanced paving shall meet applicable City standards as to location, noise and friction values.
22. The subject property and associated common areas on site shall be maintained in a neat and orderly fashion at all times.
23. No mechanical equipment, tank, duct, elevator enclosure, cooling tower, mechanical ventilator, or air conditioner shall be erected, constructed, converted, established, altered, or enlarged on the roof of any building, unless all such equipment and appurtenances are contained within a completely enclosed, architecturally integrated structure whose top and sides may include grillwork, louvers, and latticework.
24. Prior to the issuance of building permits, construction documents shall fully illustrate compliance with the Citywide Storage Standards for Trash and Recyclable Materials (SDMC) to the satisfaction of the City Manager. All exterior storage enclosures for trash and recyclable materials shall be located in a manner that is convenient and accessible to all occupants of and service providers to the project, in substantial conformance with the conceptual site plan marked Exhibit "A," on file in the Development Services Department.

LONG RANGE PLANNING REQUIREMENTS:

25. Provide a continuous horizontal reveal, or reglet detail, below the top of parapet, to delineate the termination of the wall. Utilize differentiated color above this line to further reinforce this transition.
26. Provide high quality windows which are recessed approximately 4" providing a shadow line at all openings.
27. Provide an Art element such as a mural on the 1629 National Avenue site.
28. Utilize warm and bright colors to match community character.

ENGINEERING REQUIREMENTS:

29. Prior to foundation inspection, the applicant shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying the pad elevation based on USGS datum is in accordance with the approved plans.
30. This project proposes to export 24,900 cubic yards of material from the project site. All export material shall be discharged into a legal disposal site. The approval of this project does not allow the onsite processing and sale of the export material unless the underlying zone allows a construction and demolition debris recycling facility with an approved Neighborhood Use Permit or Conditional Use Permit per LDC Section 141.0620(i).
31. Prior to building occupancy, the applicant shall obtain an Encroachment Maintenance and Removal Agreement, for any private sidewalk underdrains and/or curb outlets located in the public right-of-way.
32. Prior to building occupancy, the applicant shall assure by permit and bond the replacement of the existing driveway openings along the project's National Avenue frontage with city standard curb gutter and sidewalk.
33. Prior to building occupancy, the applicant shall assure by permit and bond the replacement of the curb which does not have concrete gutter with City standard curb and gutter, adjacent to the site on National Avenue, satisfactory to the City Engineer.
34. Prior to building occupancy, the applicant shall assure by permit and bond the replacement of damaged portions of sidewalk along the projects National Avenue frontage, satisfactory to the City Engineer.
35. Prior to the issuance of any construction permit the applicant shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
36. Prior to the issuance of any construction permit, the applicant shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
37. Prior to the building occupancy, the applicant shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance.

LANDSCAPE REQUIREMENTS:

38. Prior to issuance of any construction permits for grading, landscape construction documents for the revegetation and hydroseeding of all disturbed land shall be submitted in accordance with the Land Development Manual Landscape Standards and to the satisfaction of the

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City Manager. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Office of the Development Services Department.

39. Prior to issuance of any construction permits for public right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the City Manager for approval. Improvement plans shall take into account a 40 sq-ft area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

40. In the event that a foundation only permit is requested by the Permittee or subsequent Owner, a site plan or staking layout plan shall be submitted identifying all landscape areas consistent with Exhibit 'A,' Landscape Concept Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'

41. Prior to issuance of any construction permits for buildings (including shell), complete landscape and irrigation construction documents consistent with the Land Development Manual Landscape Standards shall be submitted to the City Manager for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Concept Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.

42. Prior to Final Inspection, it shall be the responsibility of the Permittee or subsequent Owner to install all required landscape. A "No Fee" Street Tree Permit, if applicable, shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

43. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

44. The Permittee or subsequent owner shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. In this case, a Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.

45. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the City Manager within 30 days of damage or prior to a Certificate of Occupancy or a Final Landscape Inspection.

WATER REQUIREMENTS:

46. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s) outside of any driveway, and the disconnection at the water main of any existing unused water service adjacent to the project site, in a manner satisfactory to the Water Department Director and the City Engineer.
47. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) on each water service serving the project, in a manner satisfactory to the Water Department Director and the City Engineer.
48. Prior to the issuance of any certificates of occupancy, public water facilities necessary to serve the development, including services, shall be complete and operational in a manner satisfactory to the Water Department Director and the City Engineer.
49. The Owner/Permittee agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Public water facilities, as shown on approved Exhibit "A", shall be modified at final engineering to comply with standards. The City will allow the Back Flow Prevention Device (BFPD) and Water Meter Assembly to be installed in the public right of way, perpendicular to the water lateral, provided that the developer shall agree to provide an Encroachment Removal and Maintenance Agreement (EMRA) for the BFPD in the public right of way.

TRANSPORTATION DEVELOPMENT:

50. No fewer than 159 automobile spaces, 4 accessible parking spaces, 51 bicycle spaces, and 9 motorcycle space shall be maintained on the property at all times in the approximate locations shown on the approved Exhibits "A," on file in the Office of the Development Services Department. Parking spaces shall comply at all times with requirements of the Land Development Code and shall not be converted for any other use unless otherwise authorized by the City Manager.
51. Prior to the issuance of any building permits, applicant shall provide a shared parking agreement between the two properties in order to provide 25 parking spaces at 1668 National Avenue to be used by residents at 1629 National Avenue.
52. Prior to the issuance of any building permits, applicant shall assure by permit and bond the re-stripping of National Avenue between Commercial Street and Sigsbee Street to include one travel lane in each direction, two-way left turn lane and modify existing shared through-left turn lane at National Avenue/16th Street intersection to a dedicated left-turn lane, satisfactory to the City Engineer.

WASTEWATER REQUIREMENTS:

53. The developer shall design and construct all proposed public sewer facilities in accordance with established criteria in the most current edition of the City of San Diego sewer design guide. Proposed facilities that do not meet the current standards shall be redesigned or private.
54. Prior to the issuance of any building permits, the developer shall assure, by permit and bond, the design and construction of all public sewer facilities necessary to serve this development.
55. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the building permit plan check. In addition, the developer shall submit calculations, satisfactory to the Metropolitan Wastewater Department Director, for sizing of the proposed sewer lateral from the property line to its connection with the public sewer main.
56. All on-site wastewater systems shall be private.
57. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any public sewer facilities.
58. Proposed sewer easement vacation shall have City Council approval.

FACILITIES FINANCING REQUIREMENTS:

59. Prior to building permit issuance, the Owner/Permittee shall be required to pay a Residential Development Impact Fee. The Owner/Permittee will be subject to the fees in effect at the time of the building permit issuance.

INFORMATION ONLY:

Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code section 66020.

APPROVED by the City Council of the City of San Diego on _____, 2007, and Resolution No. _____.

AUTHENTICATED BY THE CITY MANAGER

By _____

The undersigned Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Permittee hereunder.

[NAME OF COMPANY]

Owner/Permittee

By _____

By _____

NOTE: Notary acknowledgments must be attached per Civil Code section 1180 et seq.

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ALL-PURPOSE CERTIFICATE

Type/PTS Approval Number of Document 103439

Date of Approval _____

STATE OF CALIFORNIA
COUNTY OF SAN DIEGO

Farah M. Mahzari, Development Project Manager

On _____ before me, NAME OF NOTARY~, (Notary Public), personally appeared **Farah M. Mahzari**, Development Project Manager of the Development Services Department of the City of San Diego, personally known to me to be the person whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her capacity, and that by her signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

WITNESS my hand and official seal

Signature _____

Name of Notary~

ALL-PURPOSE CERTIFICATE

OWNER(S)/PERMITTEE(S) SIGNATURE/NOTARIZATION:

THE UNDERSIGNED OWNER(S)/PERMITTEE(S), BY EXECUTION THEREOF, AGREES TO EACH AND EVERY CONDITION OF THIS PERMIT AND PROMISES TO PERFORM EACH AND EVERY OBLIGATION OF OWNER(S)/PERMITTEE(S) THEREUNDER.

Signed _____

Typed Name

Signed _____

Typed Name

STATE OF _____

COUNTY OF _____

On _____ before me, _____ (Name of Notary Public) personally appeared _____, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature _____

DRAFT

RESOLUTION NUMBER R- _____
ADOPTED ON _____

WHEREAS, the AMCAL Multi-Housing, Inc., Owner/Permittee, filed an application with the City of San Diego for Site Development Permit SDP No. 341663, Coastal Development Permit CDP No. 341662 and Planned Development Permit PDP No. 417547, to demolish a single-family residence located at 1629 National Avenue and the construction of a 89-unit, affordable housing multi-family project consisting of two, four story buildings known as Los Vientos, located at 1629 and 1668 National Avenue within the Coastal Overlay Zone, Barrio Logan Planned District-Redevelopment Subdistrict, Barrio Logan Redevelopment Project Area, Transit Overlay Zone, Residential Overlay Zone.

WHEREAS, on March 1, 2007, the Planning Commission of the City of San Diego considered SDP No. 341663, CDP No. 341662 and PDP No. 417547, and pursuant to Resolution No. _____, the Planning Commission voted to recommend to City Council approval of the permits; and

WHEREAS, the matter was set for public hearing on March 1, 2007, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of City of San Diego, that it adopts the following findings with respect to SDP Permit No. 341663, CDP Permit No. 341662 and PDP Permit No. 417547:

A. Findings for Site Development Permit:

1. The proposed development will not adversely affect the applicable land use plan.

The proposed development will not adversely affect the applicable land use plan. The proposed affordable housing multi-family development will consist of 89 rental units located on separate parcels across the street from each other at 1629 and 1668 National Avenue. All of the affordable units will be available to households earning no more than 60% of the Area Median Income and would allow for the creation of affordable housing for existing residents of the community.

The project site is located within the Barrio Logan/Harbor 101 Community Plan Area and development is governed by the Barrio Logan Planned District Ordinance, which implements the goals and objectives of the Barrio Logan/Harbor 101 Community Plan.

Barrio Logan is an older residential-industrial community bounded by the San Diego Bay on the west, the Center City Redevelopment Area to the north, Interstate 5 to the east and National City

to the south. Existing uses surrounding the sites include office, single and multi-family dwelling units, a convenience store, auto salvaging, dry cleaning, and a meat distribution center.

The project would amend the Barrio Logan/Harbor 101 Community Plan to change the land use designation on the project sites to a High Density Residential designation with a density range of 45 to 74 units per acre. The proposed RM-3-9 Zone allows for the development of one unit per every 600 square feet of land area. With a project site of approximately 1.04 acres (45,500 square feet), the project site would allow for the development of 76 dwelling units. The developer has requested a 17% density bonus under the density bonus regulations, bringing the total number of allowed units to 89 units. Because 100% of the units will be affordable to low income households, the density bonus is necessary for the project to remain economically feasible.

The proposed change to residential use is consistent with the goals stated in the City's General Plan, the Barrio Logan Redevelopment Plan and the Community Plan. First, Goal 4 of the Housing Element of the General Plan calls for a significant increase in the number of affordable housing opportunities for low-income renters. The proposed increase in affordable housing stock would implement this Goal of the Housing Element and would help the City address its shortage of affordable housing stock during a time when City Council has determined that the City of San Diego is in an affordable housing state of emergency.

Second, the Barrio Logan Redevelopment Plan encourages a balanced mix of new housing stock, including low and moderate income housing, and contains other specific land use recommendations applicable to the site, which include achieving an environment that reflects a high level of concern for architecture, landscape, urban design and land use principles. The Redevelopment Plan also encourages the development of housing that satisfies the needs of various age, income, family size, and ethnic groups within the community, and maximizes opportunity for individual choice. The Redevelopment Plan seeks to retain the integrity of Barrio Logan by encouraging residential neighborhoods characterized by affordable housing, articulated buildings, densely planted courtyards and attractive sidewalks.

The proposed affordable multi-family development is consistent with other projects located within ½ block of the project site. Regarding urban design, the project design promotes an atmosphere conducive to enhancing the pedestrian experience through sidewalks, pedestrian friendly building components such as a community room near the sidewalk that activate the streetscape, enhanced landscaping within the public right-of-way, architectural detailing, usable central courtyards and tree plantings. With respect to affordable housing, the project is 100% affordable to low income households. The mix of two, three- and four-bedroom units in the proposed project would house households of various income levels and sizes, thus accommodating a variety of housing types and encouraging the provision of housing for all citizens of San Diego.

Third, one of the major goals in the Community Plan is to develop a circulation/transportation network in the community, organizing automobile circulation patterns, parking, and encouraging the development of other modes of transportation. One way to address the goal is to provide additional accessibility for transit-dependent populations. The project sites are located within

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walking distance of public transit ensuring future residents of the project access to public transit. Because the subject sites are located within two blocks of the 12th Street Trolley Station and with 500 feet of Metropolitan Bus Stops, the project will help to create a pedestrian friendly transportation network which will help minimize circulation conflicts. For both sites, the project also proposes to provide access to parking from the alley, which further enhances the pedestrian experience in terms of walkability and pedestrian connectivity.

The proposed change to a residential use will allow the development of affordable housing at a time when the City Council has determined that the City of San Diego is in an affordable housing state of emergency. In addition, the project meets the Community Plan's goal of providing both a balanced mix of new housing stock and accessibility to a transportation network for a the project's tenants. As such, the project will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and Welfare.

The proposed development will not be detrimental to the public health, safety, and welfare. The proposed affordable multi-family development consists of 89 rental units located across the street from each other on separate parcels at 1629 and 1668 National Avenue. The property located at 1629 National Avenue was previously used as an auto dismantling yard, and is now vacant except for a dilapidated single family structure that will be demolished as part of the construction. The property located at 1668 National Avenue is currently vacant.

The project will revitalize a blighted area by providing much needed affordable residential housing in an existing residential and office area. The project would be consistent with the surrounding uses and would coexist with minimum adverse effects on the environment. In addition, the project will eliminate the current blighted condition of the two separate parcels. A new affordable multi-family development will revitalize the area, prevent future blight, and increase property values by acting as a catalyst for further development.

A Mitigated Negative Declaration was prepared for the project and a Mitigation, Monitoring and Reporting Program (MMRP) will be adopted to mitigate potential impacts. Both documents are incorporated by reference into these findings. Conditions of approval require compliance with several operational constraints and development controls intended to assure the continued health, safety and general welfare of persons residing or working in the area. The proposed development will construct necessary sewer and water facilities to serve the residents of the development.

All proposed construction will comply with state and local codes and regulations for construction. In addition, Site Design Best Management Practices (BMPs) are also incorporated in the design, and include minimizing areas of impervious footprint through efficient design, providing enclosed and covered parking, and directing roof runoff to one or more hydro-dynamic separators, where feasible. Source control BMPs include covered trash enclosures, pest resistant and drought tolerant landscaping, automatic programmable timers, "good housekeeping" materials provided to residents, and stenciled or stamped drain inlets with warnings to discourage illegal dumping or discharge into the storm drains. The project will be in compliance with the

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City's current regulations and other regional, state and federal regulations to prevent detrimental impacts to the health, safety, and general welfare of persons residing and/or working in the area.

The affordable multi-family project will comply with all state and local codes and regulations, revitalize a blighted area, and create an area that is both visually and environmentally pleasing. Such an enhancement to the community would, therefore, not be detrimental to the public health, safety, or welfare of the community.

3. The proposed development will comply with the applicable regulations of the Land Development Code.

The proposed affordable multifamily development consists of new construction of 89 affordable housing units in two 'U' shaped Type V four-story buildings over concrete Type I subterranean parking. All proposed construction would comply with state and local codes and regulations for construction.

The RM-3-9 Zone allows for the development of one unit per every 600 square feet of land area. With a project site of approximately 1.04 acres (45,500 square feet), the RM-3-9 zone authorizes the development of 76 dwelling units on the project site. The project, however, requested 17% density bonus because 100% of the units will be affordable to low income households. The 17% density bonus brings the total number of units to 89 residential units. Although not required by the City's Affordable Housing Density Bonus Regulations, all 89 units will be affordable to low income households.

The project proposes deviations to the development standards of the City of San Diego Land Development Code for front yard setbacks, side yard setbacks, rear yard setbacks, maximum lot size, side yard landscaping, private exterior open space, and parking.

Each of the requested deviations would be necessary to allow 100% of the units to be affordable housing rental units, given the size and constraints of the site. The proposed development has otherwise been designed and conditioned to ensure conformance to the requirements of the City of San Diego Land Development Code. Therefore, the proposed project will comply with the relevant regulations of the San Diego Municipal Code in effect for this site.

B. Barrio Logan Planned District Permit:

1. The proposed use will fulfill a community need and will not adversely affect the City's Progress Guide and General Plan or the adopted Planned District Ordinance and Community Plan.

The project is consistent with the goals and objectives of the Progress Guide and General Plan and the Barrio Logan Community Plan, as is evidenced by the other areas designated as residential which are located a half-block from the Los Vientos plan area.

The Barrio Logan Community Plan envisions a hybrid community that allows land uses and urban activities that are typically considered conflictive, to remain side by side. Residential/industrial coexistence is a major goal of the Plan.

The Community Plan seeks to infill the existing community and to strengthen the community's housing, commercial and industrial assets. The plan envisions the residential component as a key element to the revitalization of the area and an increase in the size of the residential component as being necessary to support a minimum level of commercial services, which can then ensure the economic viability of the community in terms of its ability to support a minimum level of commercial service.

The Community Plan encourages the development of new housing in the area for low- and moderate-income households, both through private rehabilitation and through various housing assistance programs. The plan seeks to attain this goal by requiring the City to provide development opportunities for low- and moderate-income housing.

The Community Plan seeks to create a "self-contained, full-service community" with links to surrounding communities, through land use proposals that strengthen the residential, commercial and industrial components of the Community Plan. This can be accomplished by providing housing, employment and services within the boundaries of the community, and by closely relating the plan area to other community planning areas.

Another of the Community Plan's major goals is to develop a circulation/transportation network in the community, organizing automobile circulation patterns, parking, and encouraging the development of other modes of transportation. One way to address the goal is to provide additional accessibility for transit-dependent populations. The project sites are located within walking distance of public transit that would offer community choices to future residents of the projects. Because the subject sites are located within two blocks of the 12th Street Trolley Station and with 500 feet of Metropolitan Bus Stops, the project will help to create a pedestrian friendly transportation network which will help minimize circulation conflicts. For both sites, the project also proposes to provide access to parking from the alley, which further enhances the pedestrian experience in terms of walkability and pedestrian connectivity.

Similarly, the Barrio Logan Redevelopment Plan encourages a balanced mix of new housing stock, including low and moderate income housing, and contains other specific land use recommendations applicable to the site, which include achieving an environment that reflects a high level of concern for architecture, landscape, urban design and land use principles. The Redevelopment Plan also encourages the development of housing that satisfies the needs of various age, income, family size, and ethnic groups within the community, and maximizes opportunity for individual choice. Finally, the Redevelopment Plan seeks to retain the integrity of Barrio Logan by encouraging residential neighborhoods characterized by affordable housing, articulated buildings, densely planted courtyards and attractive sidewalks.

The proposed affordable multi-family development is consistent other projects located within ½ block of the project sites within the Community Plan and Redevelopment Area. Regarding urban design, the project design promotes an atmosphere conducive to enhancing the pedestrian

experience through sidewalks, pedestrian friendly building components such as a community room near the sidewalk that activate the streetscape, enhanced landscaping within the public right-of-way, architectural detailing, usable central courtyards and tree plantings. With respect to affordable housing, the project is 100% affordable to low income households. The mix of two, three- and four-bedroom units in the proposed project would house households of various income levels and sizes, thus accommodating a variety of housing types and encouraging the provision of housing for all citizens of San Diego.

2. The proposed use will not be detrimental to the health, safety and general welfare of persons residing or working in the area and will not adversely affect other properties in the vicinity.

The proposed development will not be detrimental to the public health, safety, and welfare. The proposed affordable multi-family development consists of 89 rental units located across the street from each other on separate parcels at 1629 and 1668 National Avenue. The property located at 1629 National Avenue was previously used as an auto dismantling yard, and is now vacant except for a dilapidated single family structure that will be demolished as part of the construction. The property located at 1668 National Avenue is currently vacant.

The project will revitalize a blighted area by providing much needed affordable residential housing in an existing residential and office area. The project would be consistent with the surrounding uses and would coexist with minimum adverse effects on the environment. In addition, the project will eliminate the current blighted condition of the two separate parcels. A new affordable multi-family development will revitalize the area, prevent future blight, and increase property values by acting as a catalyst for further development.

A Mitigated Negative Declaration was prepared for the project and a Mitigation, Monitoring and Reporting Program (MMRP) will be adopted to mitigate potential impacts. Conditions of approval require compliance with several operational constraints and development controls intended to assure the continued health, safety and general welfare of persons residing or working in the area. The proposed development will construct necessary sewer and water facilities to serve the residents of the development.

All proposed construction will comply with state and local codes and regulations for construction. In addition, Site Design Best Management Practices (BMPs) are also incorporated in the design, and include minimizing areas of impervious footprint through efficient design, providing enclosed and covered parking, and directing roof runoff to one or more hydro-dynamic separators, where feasible. Source control BMPs include covered trash enclosures, pest resistant and drought tolerant landscaping, automatic programmable timers, "good housekeeping" materials provided to residents, and stenciled or stamped drain inlets with warnings to discourage illegal dumping or discharge into the storm drains. The project will be in compliance with the City's current regulations and other regional, state and federal regulations to prevent detrimental impacts to the health, safety, and general welfare of persons residing and/or working in the area.

The affordable multi-family project will comply with all state and local codes and regulations, revitalize a blighted area, and create an area that is both visually and environmentally pleasing.

Such an enhancement to the community would, therefore, not be detrimental to the public health, safety, or welfare of the community.

3. The proposed use will fully comply with the relevant regulations of the Municipal Code in effect for this site.

The proposed use will fully comply with the relevant regulations of the Municipal Code in effect for this site. The proposed multi-family development consists of 89 affordable housing units. All proposed construction would comply with state and local codes and regulations for construction.

The project will reserve all of 89 of the units for households earning no more than 60% of the Area Median Income and, therefore, qualifies for a density bonus. The developer has requested a 17% density bonus under the City's Affordable Housing Density Bonus Regulations, bringing the total number of allowed units to 89 units. Because 100% of the units will be affordable to low income households, the density bonus is necessary for the project to remain economically feasible.

As a qualifying affordable housing development, the project also qualifies for deviations from the SDMC requirements for front yard setbacks, side yard setbacks, rear yard setbacks, maximum lot size, side yard landscaping, private exterior open space, and parking. Certain deviations are also authorized by the Planned Development Permit for the project.

C. Findings for all Planned Development Permits:

1. The proposed development will not adversely affect the applicable land use plan.

The proposed development will not adversely affect the applicable land use plan. The proposed affordable housing multi-family development will consist of 89 rental units located on separate parcels across the street from each other at 1629 and 1668 National Avenue. All of the affordable units will be available to households earning no more than 60% of the Area Median Income and would allow for the creation of affordable housing for existing residents of the community.

The project site is located within the Barrio Logan/Harbor 101 Community Plan Area and development is governed by the Barrio Logan Planned District Ordinance, which implements the goals and objectives of the Barrio Logan/Harbor 101 Community Plan.

Barrio Logan is an older residential-industrial community bounded by the San Diego Bay on the west, the Center City Redevelopment Area to the north, Interstate 5 to the east and National City to the south. Existing uses surrounding the sites include office, single and multi-family dwelling units, a convenience store, auto salvaging, dry cleaning, and a meat distribution center.

The project would amend the Barrio Logan/Harbor 101 Community Plan to change the land use designation on the project sites to a High Density Residential designation with a density range of 45 to 74 units per acre. The proposed RM-3-9 Zone allows for the development of one unit per

every 600 square feet of land area. With a project site of approximately 1.04 acres (45,500 square feet), the project site would allow for the development of 76 dwelling units. The developer has requested a 17% density bonus under the density bonus regulations, bringing the total number of allowed units to 89 units. Because 100% of the units will be affordable to low income households, the density bonus is necessary for the project to remain economically feasible.

The proposed change to residential use is consistent with the goals stated in the City's General Plan, the Barrio Logan Redevelopment Plan and the Community Plan. First, Goal 4 of the Housing Element of the General Plan calls for a significant increase in the number of affordable housing opportunities for low-income renters. The proposed increase in affordable housing stock would implement this Goal of the Housing Element and would help the City address its shortage of affordable housing stock during a time when City Council has determined that the City of San Diego is in an affordable housing state of emergency.

Second, the Barrio Logan Redevelopment Plan encourages a balanced mix of new housing stock, including low and moderate income housing, and contains other specific land use recommendations applicable to the site, which include achieving an environment that reflects a high level of concern for architecture, landscape, urban design and land use principles. The Redevelopment Plan also encourages the development of housing that satisfies the needs of various age, income, family size, and ethnic groups within the community, and maximizes opportunity for individual choice. The Redevelopment Plan seeks to retain the integrity of Barrio Logan by encouraging residential neighborhoods characterized by affordable housing, articulated buildings, densely planted courtyards and attractive sidewalks.

The proposed affordable multi-family development is consistent with other projects located within ½ block of the project site. Regarding urban design, the project design promotes an atmosphere conducive to enhancing the pedestrian experience through sidewalks, pedestrian friendly building components such as a community room near the sidewalk that activate the streetscape, enhanced landscaping within the public right-of-way, architectural detailing, usable central courtyards and tree plantings. With respect to affordable housing, the project is 100% affordable to low income households. The mix of two, three- and four-bedroom units in the proposed project would house households of various income levels and sizes, thus accommodating a variety of housing types and encouraging the provision of housing for all citizens of San Diego.

Third, one of the major goals in the Community Plan is to develop a circulation/transportation network in the community, organizing automobile circulation patterns, parking, and encouraging the development of other modes of transportation. One way to address the goal is to provide additional accessibility for transit-dependent populations. The project sites are located within walking distance of public transit that would offer community choices to future residents of the projects. Because the subject sites are located within two blocks of the 12th Street Trolley Station and with 500 feet of Metropolitan Bus Stops, the project will help to create a pedestrian friendly transportation network which will help minimize circulation conflicts. For both sites, the project also proposes to provide access to parking from the alley, which further enhances the pedestrian experience in terms of walkability and pedestrian connectivity.

000417

The proposed change to a residential use will allow the development of affordable housing at a time when the City Council has determined that the City of San Diego is in an affordable housing state of emergency. In addition, the project meets the Community Plan's goal of providing both a balanced mix of new housing stock and accessibility to a transportation network for the project's tenants. As such, the project will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare

The proposed development will not be detrimental to the public health, safety, and welfare. The proposed affordable multi-family development consists of 89 rental units located across the street from each other on separate parcels at 1629 and 1668 National Avenue. The property located at 1629 National Avenue was previously used as an auto dismantling yard, and is now vacant except for a dilapidated single family structure that will be demolished as part of the construction. The property located at 1668 National Avenue is currently vacant.

The project will revitalize a blighted area by providing much needed affordable residential housing in an existing residential and office area. The project would be consistent with the surrounding uses and would coexist with minimum adverse effects on the environment. In addition, the project will eliminate the current blighted condition of the two separate parcels. A new affordable multi-family development will revitalize the area, prevent future blight, and increase property values by acting as a catalyst for further development.

A Mitigated Negative Declaration was prepared for the project and a Mitigation, Monitoring and Reporting Program (MMRP) will be adopted to mitigate potential impacts. Conditions of approval require compliance with several operational constraints and development controls intended to assure the continued health, safety and general welfare of persons residing or working in the area. The proposed development will construct necessary sewer and water facilities to serve the residents of the development.

All proposed construction will comply with state and local codes and regulations for construction. In addition, Site Design Best Management Practices (BMPs) are also incorporated in the design, and include minimizing areas of impervious footprint through efficient design, providing enclosed and covered parking, and directing roof runoff to one or more hydro-dynamic separators, where feasible. Source control BMPs include covered trash enclosures, pest resistant and drought tolerant landscaping, automatic programmable timers, "good housekeeping" materials provided to residents, and stenciled or stamped drain inlets with warnings to discourage illegal dumping or discharge into the storm drains. The project will be in compliance with the City's current regulations and other regional, state and federal regulations to prevent detrimental impacts to the health, safety, and general welfare of persons residing and/or working in the area.

The affordable multi-family project will comply with all state and local codes and regulations, revitalize a blighted area, and create an area that is both visually and environmentally pleasing. Such an enhancement to the community would, therefore, not be detrimental to the public health, safety, or welfare of the community.

3. The proposed development will comply with the applicable regulations of the Land Development Code.

The proposed affordable family multifamily development consists of new construction of 89 units in two 'U' shaped four-story, Type V buildings over Type I concrete subterranean parking. All proposed construction would comply with state and local codes and regulations for construction.

The project proposes deviations to the development standards of the City of San Diego Land Development Code for front yard setback, side yard setback, rear yard setback, maximum lot size, side yard landscaping, private exterior space and parking. The project exceeds the Inclusionary Affordable Housing Requirements and Council Policy 600-27 (A) criteria for the Affordable/In-Fill Housing Expedite Program by restricting all residential units (100%) for occupancy by, and at rents affordable to, households earning between 30% and 60% of the Area Median Income (AMI).

Each of the requested deviations would be necessary to allow 100% of the units to be affordable housing rental units, given the size and constraints of the site. The proposed development has otherwise been designed and conditioned to ensure conformance to the requirements of the City of San Diego Land Development Code. Therefore, the proposed project will comply with the relevant regulations of the San Diego Municipal Code in effect for this site.

4. The proposed development, when considered as a whole, will be beneficial to the community.

The Los Vientos project will provide numerous benefits to the Barrio Logan community, including greatly needed affordable housing, on-site social services, community investment, redevelopment and the removal of blight. There is a tremendous need for housing in the area, particularly affordable housing for the local workforce, including housing to serve the adjacent employment/industrial lands.

Goal 4 of the Housing Element of the General Plan is to significantly increase the number of affordable housing opportunities both for low-income renters and first-time homebuyers. The Barrio Logan Redevelopment Project Plan also has a goal to "create a balanced mix of new housing stock, including low and moderate income housing. ..." The proposed increase in affordable housing stock would implement the Goal of the Housing Element, the Barrio Logan Redevelopment Project Plan, and would help the City address its shortage of affordable housing stock during a time when City Council has determined that the City of San Diego is in a housing state of emergency.

The proposed project will involve the development of 89 multifamily rental housing units on parcels located at 1629 and 1668 National Avenue and will provide housing for the households earning between 30% and 60% of the Area Median Income.

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In addition, the proposed project is located within one-third of a mile of existing public transit, including trolley service and several bus routes, providing much needed transportation options near affordable housing. The project is located approximately 2 blocks of the 12th Street Trolley Station as well as within 500 feet of Metropolitan Bus Stops. The area is served by bus routes 4, 11, 929, 891 and 932. Logan Avenue is served by bus routes 11 and 932. Imperial Avenue is served by bus route 4. Sigsbee Street is served by bus route 929. National Avenue is served by bus route 891. These routes provide access to the area, as well as transfer opportunities to and from locations outside of the area. The proposed project was purposely located within close proximity to transit opportunities in order to promote the use of alternate transportation and provide easier access to employment opportunities.

- 5. Any proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.**

The deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone. The project would be consistent with the recent residential development in the area, and the deviations are necessary for the feasibility of an affordable multi-family development at the project site.

The following deviations have been requested by the applicant and are supported by staff:

Front Yard Setbacks - A deviation from SDMC Section 131.0443(f) (1) for the required front 20 foot setback.

The RM-3-9 zone generally requires a 20 foot front setback; however, up to 50% of the width of the building envelope may observe a minimum 10 foot setback. The setback for one corner of each parking structure, however, will be less than the minimum required setback. On the 1629 site the setback will be short 8 feet, 6 inches and on the 1668 site the setback will be short 8 feet. The building walls above the parking structure on the 1629 site exceed the allowed 50% reduction in the front setback by 2% on the first level (78 feet of bldg envelope with a 10 foot setback). On the 2nd, 3rd and 4th floors are at 46.75%. The building walls at the 1668 site comply with the 50% width requirement (45.75% (80 feet out of 175 feet total). Thirty-five feet of these walls come out to within 2 feet of the property line to allow access to community areas and activate the street.

The parking structures encroach into the setbacks in one corner of each lot where the topography slopes to reveal the structure. To satisfy the City's parking requirements, the project had to maximize the capacity of the garages. The parking garages are generally subterranean, but on each site one corner slopes away to reveal the building. To make the garages fully subterranean would have required lowering the whole building, which would have forced the structure into the water table resulting in increased construction costs to fund waterproofing and water pumps. The resulting increase in the construction cost would be economically infeasible for a project reserving 100% of the units as affordable housing. In addition, the longer ramps necessary to

access this lower level would reduce the number of parking spaces; this would require another deviation and would result in the loss of one 3-bedroom affordable housing unit on each site (two 3-bedroom units in total). Subterranean parking enables the project to avoid impacting the street parking in the surrounding area.

The 1668 street wall is being activated by bringing a portion of the community rooms down to the street level as directed by Long Range Planning and the Redevelopment Agency; this also allows easier access for the residents of the 1629 site to the shared amenities.

The deviation for the building above on the 1629 site allows an amenities room to overlook the tot lot and the main entrance to provide visual surveillance of these areas.

Side Yard Setbacks - A deviation from SDMC Section 131.0443(f) (2) for the required side setbacks.

The RM-3-9 setbacks are 10% of the lot width (15 feet on 1629 and 17.5 feet on 1668). The buildings proposed will exceed the minimum permitted by between 1 foot to 10 feet on the 1629 site and 7 feet to 13 feet on the 1668 site. The parking structures on each site will exceed the minimum permitted by between 10 feet to 14 feet on the 1629 site and 13 feet on the 1668 site.

Strict compliance with the RM-3-9 setbacks would cause a loss of 20 feet of width on the 1629 site and 25 feet of width on the 1668 site. To meet these setback requirements would require a redesign that would result in the loss of at least 4 low income dwelling units on each site (8 total) and possibly more. The loss of this many units would make the project economically infeasible. This change would also reduce the size of the interior courtyard, which is its most usable community space. The majority of the encroachments into the side setbacks on both sites are for the exterior private space and exterior storage. This allows for 100% of the proposed units to have exterior private space and exterior storage instead of the 75% required.

The parking structures encroach into the setbacks in one corner of each lot where the topography slopes to reveal the structure. To satisfy the City's parking requirements, the project had to maximize the capacity of the garages. The parking garages are generally subterranean, but on each site one corner slopes away to reveal the building. To make the garages fully subterranean would have required lowering the whole building, which would have forced the structure into the water table resulting in increased construction costs to fund waterproofing and water pumps. The resulting increase in the construction cost would be economically infeasible for a project reserving 100% of the units as affordable housing. In addition, the longer ramps necessary to access this lower level would reduce the number of parking spaces; this would require another deviation and would result in the loss of one 3-bedroom affordable housing unit on each site (two 3-bedroom units in total). Subterranean parking enables the project to avoid impacting the street parking in the surrounding area.

Rear Yard Setbacks - A deviation from the required rear setback of 5 feet in the RM-3-9 zone.

Both sites exceed the minimum required rear yard setback by between 18 inches and 4 feet.

000421

The RM-3-9 zone requires a 5 foot rear setback, which would cause a loss of 2 feet of buildable area along the rear alley of each site. To meet this setback requirement would require a redesign that would result in the loss of at least 4 low income dwelling units. The loss of this many units would make the project economically infeasible and reduce the number of available affordable housing units in the City during an affordable housing crisis. This change would also reduce the size of the interior courtyard, which is its most usable community space. The majority of the encroachments into the rear setback on both sites are for the exterior private space and exterior storage. This allows for 100% of the proposed units to have exterior private space and exterior storage instead of the 75% required.

Maximum Lot Size – A deviation from the Barrio Logan Planned District Ordinance 14,000 square foot maximum lot size with a frontage of 100 feet.

The project lot size will be 21,000 square feet with a 150 feet of frontage for the south lot (1629 National Ave.) and 24,500 square feet with 175 feet of frontage for the north lot (1668 National Ave.). The lot size proposed is required to achieve the number of units necessary to make the project economically viable and to ensure that all of the units will be affordable to low income households. Without this deviation, the development would require a significant redesign to meet current development standards, resulting in a loss of units that would make the project economically infeasible and reduce the number of available affordable housing units in the City during an affordable housing crisis.

Side and Rear Yard Landscaping - Reduction or elimination of side and rear yard landscaping requirements.

The project is required to fulfill 60 plant points for the “remaining yard.” Landscape calculations are included on sheets LD-1 & LD-2 for each site (1629 and 1668). The parking structure occupies most of the site requiring that landscaping will have to be provided in pots and planters. Because the remaining yard (side area of buildings) is taken up entirely by the podium deck and the building footprint there is no ‘remaining yard’ to count. Planters with trees and shrubs are indicated in the landscape development plans for both sites to replace the landscaping and soften the podium level.

The size of the footprint of the building is necessary to provide 100% affordable units and related onsite parking in a quantity that yields an economically feasible project.

Private Exterior Open Space - A deviation from SDMC Section 131.0455(c) for required private exterior open space.

SDMC Section 131.0455(c) requires that at least 75% of the dwelling units to have more than 60 square feet of open space per dwelling unit, with a minimum dimension of 6 feet. These spaces, generally, cannot be closer than 9 feet from the property line.

This project provides balconies for 100% of the units for a total of 4,712 square feet of open space attached to each dwelling unit. The balconies range in size from 45 square feet to 83 square feet, the minimum dimension is 5 feet and they are 5 feet from the property line.

This deviation allows the project to provide all of the units with private exterior open space and is necessary to provide 100% affordable units onsite. Without this deviation, the development would require a significant redesign to meet current development standards, resulting in a loss of affordable housing units during a City-wide affordable housing crisis that would make the project economically infeasible.

Parking – A deviation from the minimum parking requirement

Per SDMC Table 142-05C, the minimum parking requirement for a project consisting of 50 two-bedroom (1.75 spaces per unit), 35 three-bedroom (2.0 spaces per unit), 4 four-bedroom units (2.0 spaces per unit), located within a transit area would be 166 parking spaces. The project will provide 163 parking spaces and therefore will be deficient by up to three parking spaces.

Inclusion of the additional three parking spaces would require enlarging the subterranean parking with a subsequent economic impact that would make the project economically infeasible. A deviation from the minimum parking requirement allows the parking area to be accessible from the alley, thereby reducing vehicular and pedestrian path conflicts.

D. Findings for Coastal Development Permit:

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The proposed affordable multi-family development is located on separate parcels across the street from each other at 1629 and 1668 National Avenue. The proposed site does not contain any existing physical accessway utilized by the general public to and along the ocean and other scenic coastal areas and, therefore, the proposed development will not encroach upon any existing physical accessway legally utilized by the public or any proposed public accessway identified in a Local Coastal Program land use plan. Currently, no ocean or scenic coastal views exist from any public vantage points through the project site. Therefore, the proposed development will not negatively impact public views to and along the ocean and other scenic coastal areas.

- 2. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project site does not contain any environmentally sensitive land. The property located at 1629 National Avenue was previously used as an auto dismantling yard, and is now vacant except for a dilapidated single family structure that will be demolished as part of the construction. The property located at 1668 National Avenue is currently vacant. Because the project site does not contain any environmentally sensitive lands, the proposed development will not adversely affect environmentally sensitive lands.

- 3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The proposed development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- 4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The proposed development is not located between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone, therefore, this finding is not applicable to the project.

DRAFT

RESOLUTION NUMBER _____

ADOPTED ON _____, 2007

WHEREAS, on _____, 2007, AMCAL Los Vientos Fund, L.P., a California limited partnership, submitted an application to the Development Services Department for a Progress Guide and General Plan Amendment/Community Plan Amendment/Rezone/Site Development Permit/Coastal Development Permit and Planned Development Permit; and

WHEREAS, the project was set for a public hearing to be conducted by the City of San Diego City Council; and

WHEREAS, the issue was heard by the City of San Diego City Council on _____, 2007; and

WHEREAS, the City of San Diego City Council considered the issues discussed in Mitigated Negative Declaration No. 103439; NOW THEREFORE,

BE IT RESOLVED, by the City of San Diego City Council, that it is hereby certified that Mitigated Negative Declaration No. 103439 has been completed in compliance with the California Environmental Quality Act of 1970 (California Public Resources Code Section 21000 et seq.) as amended, and the State guidelines thereto (California Administrative Code Section 15000 et seq.), that the report reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said report, together with any comments received during the public review process, has been reviewed and considered by the City of San Diego City Council.

BE IT FURTHER RESOLVED that the City of San Diego City Council finds that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study and therefore, that said Mitigated Negative Declaration, a copy of which is attached hereto and incorporated by reference, is hereby approved.

BE IT FURTHER RESOLVED that pursuant to California Public Resources Code, Section 21081.6, the City of San Diego City Council hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the project as required by this body in order to mitigate or avoid significant effects on the environment, a copy of which is attached hereto and incorporated herein by reference.

APPROVED:

Michael Aquirre
City Attorney

ATTACHMENT: Exhibit A, Mitigation Monitoring and Reporting Program

000485

Attachment 20

-----Original Message-----

From: Sam Johnson [<mailto:SamJohnson@sandiego.gov>]

Sent: Tuesday, January 30, 2007 6:12 PM

To: Mario Turner

Cc: Tom Davis; Robert Chavez

Subject: Re: Los Vientos - Barrio Logan PAC Vote

On January 19, 2007, the Barrio Logan Redevelopment PAC voted on the Los Vientos Project. Motion to "Approve the Project" was made by Glenna Schmidt and seconded by Georgette Gomez. The motion passed 8-0-2 [8 members in favor, 0 against and 2 members abstained (Jim Torti and Walter Barrett)].

Because PAC members received written reports on the intentions of the developer and after a presentation and discussion of the rezoning and applicable permits that would be needed (also done at the October 19, 2005 PAC meeting), it can be inferred that the motion intended to recommend approval of the following:

Community Planned Amendment (CPA), Local Coastal Program Amendment, Rezone, Barrio Logan Planned District Ordinance Amendment, Sewer Easement Abandonment, Site Development Permit (SDP), Planned Development Permit (PDP), and a Coastal Development Permit (CDP), and a 17% affordable housing density bonus. The rezone would change the underlying zone from Light Industrial/Commercial to RM-3-9. The Community Planned Amendment would change the land use from Industrial to High Density Residential. The Sewer Easement Abandonment would allow the vacation of an existing sewer easement (South Lot 1629).

Thank you,
Sam

Sam Johnson
Assistant Project Manager
City Heights Redevelopment Project Area
Barrio Logan Redevelopment Project Area
Redevelopment Agency of the City of San Diego City Planning & Community
Investment Dept.
600 B St. - 4th Floor
San Diego, CA 92101
(619) 533-5425 FAX (619) 533-5250
samjohnson@sandiego.gov
www.sandiego.gov/redevelopment-agency

Please Note: Correspondents should assume that all communication to or from this address is recorded and may be reviewed by third parties.



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title: Los Vientos Project No. For City Use Only: 103439

Project Address: 1668 & 1629 National Ave.

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature : _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature : _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature : _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature : _____ Date: _____

000927

Project Title: <u>Los Vientos</u>	Project No. (For City Use Only)
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? CA Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print):
Amcal Los Vientos Fund, LP

Owner Tenant/Lessee

Street Address:
30141 Agoura Rd, Ste 100

City/State/Zip:
Agoura Hills, CA 91301

Phone No: 818-706-0694 Fax No: 818-889-9158

Name of Corporate Officer/Partner (type or print):
PERCIVAL VAZ

Title (type or print):
MANAGING MEMBER

Signature: *Percival Vaz* Date: 5/10/06

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

DEVELOPMENT SERVICES
Project Chronology
LOS VIENTOS PROJECT NO. 103439

Date	Action	Description	City Review Time	Applicant Response
5/17/06	First Submittal	Project Deemed Complete	28 days	
6/10/06	First Assessment Letter			
8/2/06	Second Submittal			52 days
8/28/06	Second Review Complete		24 days	
10/26/06	Third Submittal			58 days
11/8/06	Third Review Complete		12 days	
12/21/06	Fourth Submittal			41 days
1/11/07	Issues Complete		9 days	
3/1/07	Public Hearing			
TOTAL STAFF TIME			73 days	
TOTAL APPLICANT TIME				151 days
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Planning Commission	9 months and 12 days	

CITY OF SAN DIEGO
MEMORANDUM

DATE: January 10, 2007
TO: Distribution
FROM: Jean Cameron, Senior Planner
SUBJECT: Barrio Logan Community Plan and Local Coastal Program
Amendment—Los Vientos Project

On December 8, 2005, the Planning Commission authorized the initiation of an amendment to the Barrio Logan/Harbor 101 Community Plan, Local Coastal Program, and San Diego Progress Guide and General Plan to consider re two sites totaling approximately 45,500 sq. ft. from Light industry/Commercial Use to Residential (45 to 74 dwelling units per net residential acre). Specifically, the amendment would accommodate the location of two new multi-family residential projects located at 1629 and 1668 National Avenue (PTS 103439) and would also require a rezone from the Barrio Logan PDO Redevelopment Subdistrict to RM-3-9. The projects would consist of a total of 90 new affordable apartment units.

Please review the proposed land use map and related materials and comment on those issues that relate to your discipline. In your response please comment on how the proposed project would affect existing levels of service, impact existing local schools, emergency response times, and/or the state of existing facilities, etc. as they apply to your discipline. Your comments are necessary to prepare a report to the Planning Commission and City Council. Please remit your comments via email, to jcameron@sandiego.gov, or by mail to 202 C Street, MS-4A, San Diego CA 92101. **Comments are due by January 25, 2007.** All relevant comments will be included in the staff report for the Planning Commission and City Council.

If you have any questions, please contact me by calling (619) 533-5954 or send email to jcameron@sandiego.gov



Jean Cameron
Senior Planner
Attachments: Community Plan Amendment Packet

Distribution: B.D. Howard, Council District 8, MS-10A
Chair, Barrio Logan Redevelopment Project Area Committee

Police Dept., Operational Support Division, Attn: Carey Brooks, MS-702
Park and Recreation Dept., Attn: Jeff Harkness, MS-35A
Transportation, Traffic Eng. Div, Attn: Gary Pence, MS-609
Sempra Energy, Attn: Michael Williams, 8316 Century Park Ct, Room 5101 SD CA 92123
DSD, Land Development Review-Planning, Attn: Josh McMurray, MS-501
DSD, EAS, Attn: Marc Cass, MS-501
DSD Water Review, Attn: Alice Vaughn, MS-910
DSD Wastewater Review, Attn: Jane Gilbert, MS-922
DSD Transportation Development, Attn: George Ghossain, MS-505
DSD Fire Department, Attn: Bob Medan, MS-411
Fire-Rescue Department, Attn: J. Lea Orianne, MS-15
Storm Water Pollution Prevention Division, Attn: Karen Henry, MS-27A
Storm Drains, Attn: Mark Hosford, MS-44
Street Division, Attn: Mario Sierra, MS-44
MWWWD, Attn: Joe Harris, MS-901
SD Housing Commission, Attn: Todd Philips, 1625 Newton Avenue, SD CA 92113
CALTRANS Transportation Planning, Attn: Bill Figge, 1450 Frazee Road, SD CA 92108
San Diego Unified City School District, Attn: Roy MacPhail, 4100 Normal Street, Annex 2,
Room 101, SD CA 92103
SANDAG/MTB, Attn: Christine Eary, MS-908

cc: Mary Wright, Program Manager
Farah Mahzari, Development Project Manager, MS-501
Robert Chavez, Community Development Specialist, Redevelopment Division

**AMENDMENT
TO THE
BARRIO LOGAN/HARBOR 101 COMMUNITY PLAN**

On (date to be determined), the City Council adopted an amendment to the Barrio Logan/Harbor 101 community Plan by Resolution No. (# to be determined) to change the land use designation from Light Industry/Commercial Use to Residential (45 to 74 dwelling units per net residential acre on two sites totaling 45,500 sq. ft. of both sides of National Avenue between 16th Street and Sigsbee St.

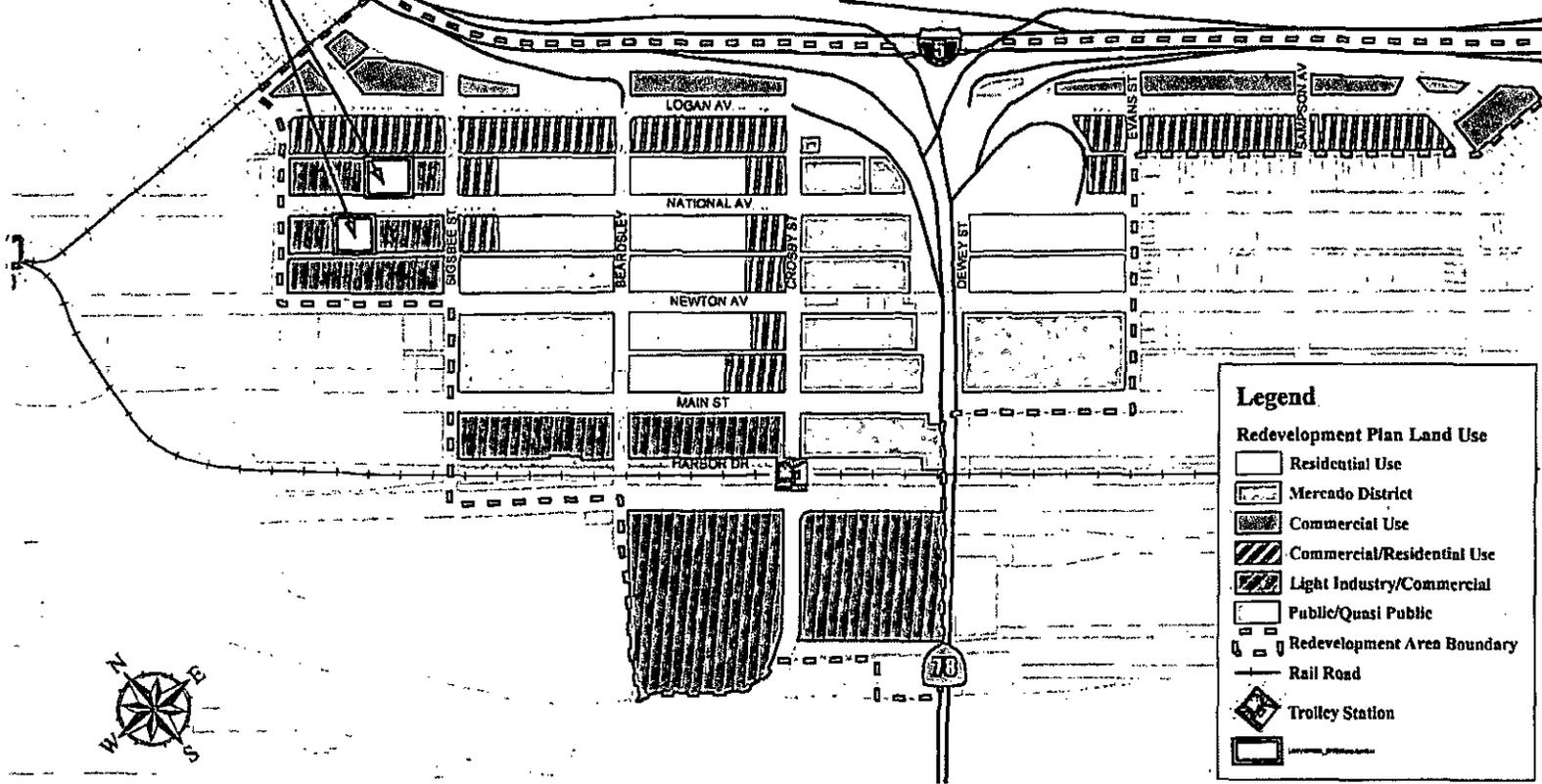
On (date to be determined), the City of San Diego Planning Commission recommended approval of the amendment.

A revised community plan graphic is attached. The revision will serve as an addendum to the Barrio Logan/Harbor 101 community plan.

For further information regarding this amendment, please contact the Barrio Logan Community Planner at (619) 533-5954.

Barrio Logan Redevelopment Plan

Proposed Redesignation from
Light Industry/Commercial
to Residential



Legend

Redevelopment Plan Land Use

- Residential Use
- Mercado District
- Commercial Use
- Commercial/Residential Use
- Light Industry/Commercial
- Public/Quasi Public
- Redevelopment Area Boundary
- Rail Road
- Trolley Station
- [Symbol]

Barrio Logan Harbor 101

From Amto BL/101 Plan filed 5/07/91 219
Doc # KR-277378



203
3/26

Mitigated Negative Declaration

Land Development
Review Division
(619) 446-5460

Project No. 103439

SUBJECT: Los Vientos: COMMUNITY PLAN AMENDMENT (CPA), LOCAL COASTAL PROGRAM AMENDMENT, REZONE, BARRIO LOGAN PLANNED DISTRICT ORDINANCE AMENDMENT, SEWER EASEMENT ABANDONMENT, SITE DEVELOPMENT PERMIT (SDP), PLAN DEVELOPMENT PERMIT (PDP) and a COASTAL DEVELOPMENT PERMIT (CDP) to allow the demolition of a single-family residence located at 1629 National Avenue and the construction of a ~~90-unit~~ 89-unit affordable housing multi-family project consisting of two, four-story buildings. The Rezone would change the underlying zone from Light Industrial/Commercial to RM-3-9. The Community Plan Amendment would change the land use from Industrial to High Density Residential. The Sewer Easement Abandonment would allow the vacation of an existing sewer easement (South Lot 1629). The project site is located at 1629 National Avenue and 1668 National Avenue within the Coastal Overlay Zone, Barrio Logan Planned District-Redevelopment Subdistrict, Barrio Logan Redevelopment Project Area, Transit Overlay Zone, Residential Tandem Parking Overlay Zone and Council District 8. Legal Description: Lots 36 through 41, Block 132 and Lots 13 through 19, Block 138 of subdivision of Pueblo Lot 1157. Applicant: AMCAL Multi-Housing, Inc.

UPDATE: Prior to the end of the public review period for the environmental document, additional information was provided resulting in minor revision to the Mitigated Negative Declaration. Section 15073.5 (c)(4) of the California Environmental Quality Act Guidelines states that recirculation of the Mitigated Negative Declaration is not required when new information is added to the declaration which merely clarifies, amplifies, or makes insignificant modifications to the negative declaration. Minor revisions have been made to the Mitigated Negative Declaration and Initial Study. These revisions do not affect the conclusions of the environmental document. All changes and additions are shown in ~~strikeout~~ underline format.

- I. PROJECT DESCRIPTION: See attached Initial Study.
- II. ENVIRONMENTAL SETTING: See attached Initial Study.
- III. DETERMINATION:

The City of San Diego conducted an Initial Study which determined that the proposed project could have a significant environmental effect in the following areas(s): **Historical Resources (Archaeology); Paleontology and Health and Safety.** Subsequent revisions in the project proposal create the specific mitigation identified in Section V of this Mitigated Negative Declaration. The project as revised now avoids or mitigates the potentially significant environmental effects previously identified, and the preparation of an Environmental Impact Report will not be required.

IV. DOCUMENTATION:

The attached Initial Study documents the reasons to support the above Determination.

V. MITIGATION, MONITORING AND REPORTING PROGRAM:

A. General

MMRP Conditions - The applicant shall comply with the Mitigation, Monitoring and Reporting Program (MMRP) as specified in the Mitigated Negative Declaration 103439 satisfactory to the City Manager and the City Engineer. Prior to issuance of any construction permit(s) or filing of final map(s), all mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas: **Archaeological Resources, Paleontological Resources and Health and Safety.**

HISTORICAL RESOURCES (ARCHAEOLOGY)

I. **Prior to Permit Issuance or Bid Opening/Bid Award**

A. Land Development Review (LDR) Plan Check

1. Prior to permit issuance or Bid Opening/Bid Award, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring, if applicable, have been noted on the appropriate construction documents.

B. Letters of Qualification have been submitted to ADD

1. Prior to Bid Award, the applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project.
3. Prior to the start of work, the applicant must obtain approval from MMC for any personnel changes associated with the monitoring program.

II. **Prior to Start of Construction**

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coast Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
3. The PI may submit a detailed letter to MMC requesting a reduction to the 1/4 mile radius.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring, the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor,

Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.

- a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Acknowledgement of Responsibility for Curation (CIP or Other Public Projects)
The applicant shall submit a letter to MMC acknowledging their responsibility for the cost of curation associated with all phases of the archaeological monitoring program.
3. Identify Areas to be Monitored
 - a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) based on the appropriate construction documents (reduced to 11x17) to MMC for approval identifying the areas to be monitored including the delineation of grading/excavation limits.
 - b. The AME shall be based on the results of a site specific records search as well as information regarding the age of existing pipelines, laterals and associated appurtenances and/or any known soil conditions (native or formation).
 - c. MMC shall notify the PI that the AME has been approved.
4. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as age of existing pipe to be replaced, depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.
5. Approval of AME and Construction Schedule
After approval of the AME by MMC, the PI shall submit to MMC written authorization of the AME and Construction Schedule from the CM.

III. During Construction

- A. Monitor Shall be Present During Grading/Excavation/Trenching
 1. The monitor shall be present full-time during grading/excavation/trenching activities including, but not limited to mainline, laterals, jacking and receiving pits, services and all other appurtenances associated with underground utilities as identified on the AME and as authorized by the CM. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities.**
 2. The monitor shall document field activity via the Consultant Site Visit Record (CSVSR). The CSVSR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring**

Completion), and in the case of ANY discoveries. The RE shall forward copies to MMC.

3. The PI may submit a detailed letter to the CM and/or RE for concurrence and forwarding to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous trenching activities, presence of fossil formations, or when native soils are encountered may reduce or increase the potential for resources to be present.

B. Discovery Notification Process

1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.

C. Determination of Significance

1. The PI and Native American representative, if applicable, shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
 - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) and obtain written approval of the program from MMC, CM and RE. ADRP and any mitigation must be approved by MMC, RE and/or CM before ground disturbing activities in the area of discovery will be allowed to resume.
 - (1). Note: For pipeline trenching projects only, the PI shall implement the Discovery Process for Pipeline Trenching projects identified below under "D."
 - c. If resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.
 - (1). Note: For Pipeline Trenching Projects Only. If the deposit is limited in size, both in length and depth; the information value is limited and is not associated with any other resource; and there are no unique features/artifacts associated with the deposit, the discovery should be considered not significant.
 - (2). Note, for Pipeline Trenching Projects Only: If significance can not be determined, the Final Monitoring Report and Site Record (DPR Form 523A/B) shall identify the discovery as Potentially Significant.

D. Discovery Process for Significant Resources - Pipeline Trenching Projects

The following procedure constitutes adequate mitigation of a significant discovery encountered during pipeline trenching activities including but not limited to excavation for jacking pits, receiving pits, laterals, and manholes to reduce impacts to below a level of significance:

1. Procedures for documentation, curation and reporting
 - a. One hundred percent of the artifacts within the trench alignment and width shall be documented in-situ, to include photographic records, plan view of the trench and profiles of side walls, recovered, photographed after cleaning and analyzed and curated. The remainder of the deposit within the limits of excavation (trench walls) shall be left intact.
 - b. The PI shall prepare a Draft Monitoring Report and submit to MMC via the RE as indicated in Section VI-A.
 - c. The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) the resource(s) encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines. The DPR forms shall be submitted to the South Coastal Information Center for either a Primary Record or SDI Number and included in the Final Monitoring Report.
 - d. The Final Monitoring Report shall include a recommendation for monitoring of any future work in the vicinity of the resource.

IV. Discovery of Human Remains

If human remains are discovered, work shall halt in that area and the following procedures set forth in the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

- A. Notification
 1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS).
 2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.
- B. Isolate discovery site
 1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenience of the remains.
 2. The Medical Examiner, in consultation with the PI, shall determine the need for a field examination to determine the provenience.
 3. If a field examination is not warranted, the Medical Examiner shall determine with input from the PI, if the remains are or are most likely to be of Native American origin.
- C. If Human Remains **ARE** determined to be Native American
 1. The Medical Examiner shall notify the Native American Heritage Commission (NAHC). By law, **ONLY** the Medical Examiner can make this call.

2. The NAHC shall contact the PI within 24 hours or sooner, after Medical Examiner has completed coordination.
 3. NAHC shall identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information..
 4. The PI shall coordinate with the MLD for additional consultation.
 5. Disposition of Native American Human Remains shall be determined between the MLD and the PI, IF:
 - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 24 hours after being notified by the Commission; OR;
 - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner.
- D. If Human Remains are **NOT** Native American
1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
 2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
 3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the Museum of Man for analysis. The decision for interment of the human remains shall be made in consultation with MMC, EAS, the applicant department and/or Real Estate Assets Department (READ) and the Museum of Man.

V. Night Work

- A. If night work is included in the contract
1. When night work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries
In the event that no discoveries were encountered during night work, The PI shall record the information on the CSVN and submit to MMC via the RE by fax by 9am the following morning, if possible.
 - b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV – Discovery of Human Remains.
 - c. Potentially Significant Discoveries
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
 - d. The PI shall immediately contact the RE and MMC, or by 8AM the following morning to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.

2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

VI. Post Construction

A. Submittal of Draft Monitoring Report

1. The PI shall submit two copies of the Draft Monitoring Report (even if negative) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC via the RE for review and approval within 90 days following the completion of monitoring,
 - a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program or Pipeline Trenching Discovery Process shall be included in the Draft Monitoring Report.
 - b. Recording Sites with State of California Department of Parks and Recreation The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
2. MMC shall return the Draft Monitoring Report to the PI via the RE for revision or, for preparation of the Final Report.
3. The PI shall submit revised Draft Monitoring Report to MMC via the RE for approval.
4. MMC shall provide written verification to the PI of the approved report.
5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.

B. Handling of Artifacts

1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.

C. Curation of artifacts: Accession Agreement and Acceptance Verification

1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
2. The PI shall submit the Accession Agreement and catalogue record(s) to the RE or BI, as appropriate for donor signature with a copy submitted to MMC.
3. The RE or BI, as appropriate shall obtain signature on the Accession Agreement and shall return to PI with copy submitted to MMC.
4. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.

D. Final Monitoring Report(s)

1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC of the approved report.
2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

PALEONTOLOGICAL RESOURCES

I. Prior to Permit Issuance or Bid Opening/Bid Award

A. Land Development Review (LDR) Plan Check

1. Prior to permit issuance or Bid Opening/Bid Award, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.

B. Letters of Qualification have been submitted to ADD

1. Prior to Bid Award, the applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring, the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.

- a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Acknowledgement of Responsibility for Curation (CIP or Other Public Projects)
The applicant shall submit a letter to MMC acknowledging their responsibility for the cost of curation associated with all phases of the paleontological monitoring program.
3. Identify Areas to be Monitored
 - a. Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC for approval identifying the areas to be monitored including the delineation of grading/excavation limits.
 - b. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
 - c. MMC shall notify the PI that the PME has been approved.
4. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.
5. Approval of PME and Construction Schedule
After approval of the PME by MMC, the PI shall submit to MMC written authorization of the PME and Construction Schedule from the CM.

III. During Construction

A. Monitor Shall be Present During Grading/Excavation/Trenching

1. The monitor shall be present full-time during grading/excavation/trenching activities including, but not limited to mainline, laterals, jacking and receiving pits, services and all other appurtenances associated with underground utilities as identified on the PME and as authorized by the CM that could result in impacts to formations with high and/or moderate resource sensitivity at depths of 10 feet or greater and as authorized by the construction manager.. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities.**
2. The monitor shall document field activity via the Consultant Site Visit Record (CSVr). The CSVr's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.

3. The PI may submit a detailed letter to the CM and/or RE for concurrence and forwarding to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
- B. Discovery Notification Process
1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- C. Determination of Significance
1. The PI shall evaluate the significance of the resource.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
 - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval of the program from MMC, MC and/or RE. PRP and any mitigation must be approved by MMC, RE and/or CM before ground disturbing activities in the area of discovery will be allowed to resume.
 - (1). Note: For pipeline trenching projects only, the PI shall implement the Discovery Process for Pipeline Trenching projects identified below under "D."
 - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
 - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.
 - (1). Note: For Pipeline Trenching Projects Only. If the fossil discovery is limited in size, both in length and depth; the information value is limited and there are no unique fossil features associated with the discovery area, then the discovery should be considered not significant.
 - (2). Note, for Pipeline Trenching Projects Only: If significance can not be determined, the Final Monitoring Report and Site Record shall identify the discovery as Potentially Significant.
- D. Discovery Process for Significant Resources - Pipeline Trenching Projects

The following procedure constitutes adequate mitigation of a significant discovery encountered during pipeline trenching activities including but not limited to excavation for jacking pits, receiving pits, laterals, and manholes to reduce impacts to below a level of significance.

1. Procedures for documentation, curation and reporting
 - a. One hundred percent of the fossil resources within the trench alignment and width shall be documented in-situ photographically, drawn in plan view (trench and profiles of side walls), recovered from the trench and photographed after cleaning, then analyzed and curated consistent with Society of Invertebrate Paleontology Standards. The remainder of the deposit within the limits of excavation (trench walls) shall be left intact and so documented.
 - b. The PI shall prepare a Draft Monitoring Report and submit to MMC via the RE as indicated in Section VI-A.
 - c. The PI shall be responsible for recording (on the appropriate forms for the San Diego Natural History Museum) the resource(s) encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines. The forms shall be submitted to the San Diego Natural History Museum and included in the Final Monitoring Report.
 - d. The Final Monitoring Report shall include a recommendation for monitoring of any future work in the vicinity of the resource.

IV. Night Work

- A. If night work is included in the contract
 1. When night work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries
In the event that no discoveries were encountered during night work, The PI shall record the information on the CSVR and submit to MMC via the RE via fax by 9am the following morning, if possible.
 - b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
 - c. Potentially Significant Discoveries
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
 - d. The PI shall immediately contact the RE and MMC, or by 8AM the following morning to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

VI. Post Construction

A. Submittal of Draft Monitoring Report

1. The PI shall submit two copies of the Draft Monitoring Report (even if negative) which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC via the RE for review and approval within 90 days following the completion of monitoring,
 - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program or Pipeline Trenching Discovery Process shall be included in the Draft Monitoring Report.
 - b. Recording Sites with the San Diego Natural History Museum
The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
2. MMC shall return the Draft Monitoring Report to the PI via the RE for revision or, for preparation of the Final Report.
3. The PI shall submit revised Draft Monitoring Report to MMC via the RE for approval.
4. MMC shall provide written verification to the PI of the approved report.
5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.

B. Handling of Fossil Remains

1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.

C. Curation of artifacts: Deed of Gift and Acceptance Verification

1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
2. The PI shall submit the Deed of Gift and catalogue record(s) to the RE or BI, as appropriate for donor signature with a copy submitted to MMC.
3. The RE or BI, as appropriate shall obtain signature on the Deed of Gift and shall return to PI with copy submitted to MMC.
4. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.

D. Final Monitoring Report(s)

1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC of the approved report.
2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

HEALTH AND SAFETY

The following shall be verified by the environmental designee of the ADD of LDR prior to the approval of any building permit plans.

1. Prior to the issuance of the first building permit, the applicant must provide to the Environmental designee of the ADD of LDR a "No Further Action" letter or other certification from the County of San Diego Department of Environmental Health (DEH) verifying DEH approval that the site meets the criteria for residential use.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

VI. PUBLIC REVIEW DISTRIBUTION:

Draft copies or notice of this Mitigated Negative Declaration were distributed to:

County of San Diego

Air Pollution Control District (MS 0-176)
Department of Environmental Health, Hazardous Materials Management Division
(MS D-561)

City of San Diego

Council District 8
Development Services Department
Logan Heights Branch Library (MS 17)
Billy Church, Planning Review
Farah Mahzari, Development Project Manager
Allison Sherwood, EAS
Shirley Edwards, City Attorney's Office
Larry Kuzminsky, LDR-Engineering
Jeff Oakely, LDR-Landscape Reviewer
Jean Cameron, Long Range Planning

Other

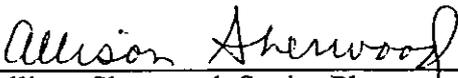
Historical Resources Board (87)
Carmen Lucas (206)
Jerry Schaefer, Ph.D. (209)
San Diego Museum of Man (213)
Louie Guassac (215A)
Ron Christman (215)
South Coastal Information Center @ San Diego State University (210)
San Diego Historical Society (211)
San Diego Archaeological Center (212)
Save Our Heritage Organisation (214)

San Diego County Archaeological Society (218)
National Trust for Historic Preservation (219)
Cabrillo Historical Society (220)
La Jolla Historical Society (221)
Native American Heritage Commission (222)
Acquisitions Department (224)
Kumeyaay Cultural Repatriation Committee (225)
Native American Distribution (PUBLIC NOTICE ONLY 225A-R)
 Barona Group of Capitan Grande Band of Mission Indians (225A)
 Campo Band of Mission Indians (225B)
 Ewiiapaayp Band of Mission Indians (225C)
 Inaja and Cosmit Band of Mission Indians (225D)
 Jamul Indian Village (225E)
 La Posta Band of Mission Indians (225F)
 Manzanita Band of Mission Indians (225G)
 Sycuan Band of Mission Indians (225H)
 Viejas Group of Capitan Grande Band of Mission Indians (225I)
 Mesa Grande Band of Mission Indians (225J)
 San Pasqual Band of Mission Indians (225K)
 Santa Ysabel Band of Diegueño Indians (225L)
 La Jolla Band of Mission Indians (225M)
 Pala Band of Mission Indians (225N)
 Pauma Band of Mission Indians (225O)
 Pechanga Band of Mission Indians (225P)
 San Luiseno Band of Mission Indians/Rincon (225Q)
 Los Coyotes Band of Indians (225R)
Balboa Park Committee (226)
Balboa Club (226B)
Barrio Station Inc. (241)
Downtown San Diego Partnership (237)
San Diego City College (238)
Gaslamp Quarter Council (239)
Melissa Mailander (240)
Barrio Station, Inc. (241)
Cruz Rangel (245)
Al Ducheny (246)
Mario Turner, Appicant
Janay Kruger, Agent

VII. RESULTS OF PUBLIC REVIEW:

- No comments were received during the public input period.
- Comments were received but did not address the draft Mitigated Negative Declaration finding or the accuracy/completeness of the Initial Study. No response is necessary. The letters are attached.
- Comments addressing the findings of the draft Mitigated Negative Declaration and/or accuracy or completeness of the Initial Study were received during the public input period. The letters and responses follow.

Copies of the draft Mitigated Negative Declaration, the Mitigation, Monitoring and Reporting Program and any Initial Study material are available in the office of the Land Development Review Division for review, or for purchase at the cost of reproduction.



Allison Sherwood, Senior Planner
Development Services Department

January 18, 2007
Date of Draft Report

February 09, 2007
Date of Final Report

Analyst: Cass



San Diego County Archaeological Society, Inc.

Environmental Review Committee

28 January 2007

To: Mr. Marc Cass
Development Services Department
City of San Diego
1222 First Avenue, Mail Station 501
San Diego, California 92101

Subject: Draft Mitigated Negative Declaration
Los Vientos
Project No. 103439

Dear Mr. Cass:

I have reviewed the subject DMND on behalf of this committee of the San Diego County Archaeological Society.

Based on the information contained in the DMND, initial study and historical assessment for the project, we have the following comments:

- (1) As was also noted in our 11 June 2006 letter to you on the La Entrada Apartments DMND (Project No. 93861), the Barrio Logan History section of Section V of the historical assessment is based on a 1983 report. This is unacceptable. The historical analysis must be updated. Note that the most recent historical events mentioned are from the 1970's.
- (2) There is an inconsistency between the first paragraph of the Barrio Logan History cited above and the footnote on that page and the citation in the bibliography. The former states that the *East End Planned District and Historic District Report* was prepared by Dr. Brandes. The latter indicate it was only prepared under Dr. Brandes' guidance. If this report is retained as a reference when the section is updated, the authorship attributions should be made consistent.

We thank you for providing these documents to us for review and look forward to the revised historical assessment.

Sincerely,


James W. Royle, Jr., Chairperson
Environmental Review Committee

cc: Office of Marie Burke Lia, Attorney at Law
SDCAS President
File

1. In order for an event or activity to be "historical" for purposes of local designation, that event or activity must have occurred more than 45 years ago. Events which have occurred after the 1970's wouldn't be "historical" in the context of this MND.
2. The inconsistency between the footnote and the endnote has been corrected and incorporated into the final historical assessment.

City of San Diego
Development Services Department
LAND DEVELOPMENT REVIEW DIVISION
1222 First Avenue, Mail Station 501
San Diego, CA 92101
(619) 446-5460

INITIAL STUDY
Project No. 103439

SUBJECT: Los Vientos: COMMUNITY PLANNED AMENDMENT (CPA), LOCAL COASTAL PROGRAM AMENDMENT, REZONE, BARRIO LOGAN PLANNED DISTRICT ORDINANCE AMENDMENT, SEWER EASEMENT ABANDONMENT, SITE DEVELOPMENT PERMIT (SDP), PLAN DEVELOPMENT PERMIT (PDP) and a COASTAL DEVELOPMENT PERMIT (CDP) to allow the demolition of a single-family residence located at 1629 National Avenue and the construction of a ~~90-unit~~ 89-unit affordable housing multi-family project consisting of two, four-story buildings. The Rezone would change the underlying zone from Light Industrial/Commercial to RM-3-9. The Community Plan Amendment would change the land use from Industrial to High Density Residential. The Sewer Easement Abandonment would allow the vacation of an existing sewer easement (South Lot 1629). The project site is located at 1629 National Avenue and 1668 National Avenue within the Coastal Overlay Zone, Barrio Logan Planned District-Redevelopment Subdistrict, Barrio Logan Redevelopment Project Area, Transit Overlay Zone, Residential Tandem Parking Overlay Zone and Council District 8. Legal Description: Lots 36 through 41, Block 132 and Lots 13 through 19, Block 138 of subdivision of Pueblo Lot 1157. Applicant: AMCAL Multi-Housing, Inc.

I. PURPOSE AND MAIN FEATURES:

The proposed project is a Rezone, Community Plan Amendment (CPA), Barrio Logan Planned District Ordinance Amendment, Local Coastal Program Amendment, Sewer Easement Abandonment, Site Development Permit (SDP), Planned Development Permit (PDP) and a Coastal Development Permit (CDP) to be heard by the City Council (Process 5 Hearing). The project would amend the Barrio Logan/Harbor 101 Community Plan, Local Coastal Program and San Diego Progress Guide and General Plan from Light Industry/Commercial Use to Residential (45 to 74 dwelling units per net residential acre.) The Sewer Easement Abandonment would allow the vacation of an existing sewer easement (South Lot 1629). The project proposes the demolition of a single-family residence and various auxiliary structures and the development of a ~~90-unit~~ 89-unit affordable housing multi-family project. A portion of the development would be affordable for families earning between 30% and 60% of the Area Medium Income (AMI). The development would be located on two separate sites on National Avenue with ~~44-43-~~ units to be located at 1629 National Avenue and 46 units to be located at 1668 National Avenue. Both sites would support one structure on each site that would be four stories in height and would include a single-level of subterranean parking. The structure that would be located at 1668 National Avenue would provide a computer room and a community room with a kitchen. Both structures would also include tot lots. The ~~44-43-~~ units at 1629 National Avenue would consist of ~~28~~ 24 two-bedroom units, ~~13~~ 15 three-bedroom units and ~~3~~ 4 four-bedroom units. The 46 units at 1668 National Avenue would consist of ~~21~~ 26 two-bedroom units and ~~25~~ 20 three-bedroom units. Both structures would include stucco siding, Spanish tile roofing and wood trellis details. The

structure associated with 1668 National Avenue would accommodate ~~116~~ 110 parking spaces. ~~where 87 are required.~~ The subterranean parking structure associated with 1629 National Avenue would accommodate ~~56~~ 53 parking spaces. ~~where 81 are required.~~ The project would provide a total of 163 spaces where 166 are required. Access to both subterranean parking structures would be from National Avenue the alleys behind each site.

The project proposes the following deviations: (1) Deviation from San Diego Municipal Code (SDMC) Section 131.0443(f) (1) to allow for a reduced minimum front yard setback of 1'6" to 10'0" where 10'0" is required; (2) Deviation from SDMC Section 131.0443(f)(2) to allow side yard setbacks of between 1'0" and 5'0" where 15'0" to 17'6" are required; (3) Deviation from SDMC Section 131.0431(e) to allow rear yard setbacks of between 1'0" and 3'6" where 5'0" is required; (4) Deviation from SDMC Section 103.0959(b) to allow lot consolidation that would create a premise exceeding 14,000 square feet of lot area and over 100 feet of frontage along the front property line; (5) Deviation from SDMC Section 142.0404 to allow the reduction or elimination of remaining yard landscape point requirements where 60 points are required; (6) Deviation from SDMC Section 131.0455(c) to allow private balconies with a minimum dimension of 5 feet where 6 feet is required and to allow private open space within 5 feet of the property line where 9 feet should be provided; (7) Deviation from SDMC Table 142-05C to allow 163 parking spaces where 166 are required. and ~~(8) Deviation from SDMC Section 142.0340 to allow one approximately 5'0" high retaining wall within the front setback where two 3'0" high walls are permitted.~~

The site located at 1629 National Avenue would intercept runoff from the roof and building via a private on-site drainage system and ultimately discharge the runoff to National Avenue through sidewalk under drains or curb outlets and then into the existing alley. The runoff in the alley travels westerly in the alley towards 16th street and then southerly along 16th street in the curb and gutter to an inlet at the intersection of 16th Street and Newton. The site located at 1668 National Avenue would be intercepted in the same manner, but would ultimately travel along the existing curb and gutter to an existing inlet located at the intersection of National Avenue and 16th Street.

With respect the site located at 1629 National Avenue (0.48-acre) the project would result in 8,200 cubic-yards of cut at a maximum depth of 13.4 feet. With respect to the site located at 1668, the grading would result in ~~17,500~~ 16,700 cubic-yards of cut and export with a maximum depth of 26-feet for the 0.56-acre site. Total grading would be ~~25,700~~ 24,900 cubic-yards. Landscaping would be in conformance with the City's Landscape Technical Manual and would include the following: Accent Trees, Courtyard Palms, groundcover and shrubs.

II. ENVIRONMENTAL SETTING:

The project site is approximately 1.07 acres (1629 National Avenue-0.48 acres; 1668 National Avenue-0.578) and is located in the Barrio Logan Community Planning Area. The project site is currently zoned Barrio Logan Planned District (BLPD)-Redevelopment Sub-district-Light Industry/Commercial Use. Surrounding land uses generally include Light Industrial/Commercial to the north, south, east and west. Existing surrounding land uses consist of single dwelling units, duplexes and a teen health center to the north; Light industrial and storage to the south; Radford Garage Doors and single dwelling units to the east; and Central Meats and a parking lot to the west.

Both properties are relatively flat. The site located at 1629 National Avenue is currently developed with an automotive recycler consisting of a storage shed, office, house trailer, two shipping containers and a covered storage area. The site also supports a single-family residence. The elevations for the site range from approximately 15 feet at the southwest corner to approximately 21 feet at the northeast corner of the property. The site located at 1668 National Avenue is essentially vacant with the remnants of an old office and a former decontamination station. The site is relatively flat with elevations ranging from approximately 26 feet at the Southwest corner to approximately 32 feet at the Northeast corner of the property. No biological resources exist on-site. The project is not within nor adjacent to the Multi-Habitat Planning Area (MHPA).

Police service for the subject property would be provided by officers from Central Division, located at 2501 Imperial Avenue. The identified project is located in the Neighborhood of Barrio Logan, which is located within the boundaries of police beat 511. The 2005 (February 15 to June 30, 2005) average response time for priority one calls on beat 511 was 11.13 minutes. The citywide average response time for that same time period was 14.11 minutes. Fire Department Response times are approximately 1.8 minutes from Station 7, located at Cesar Chavez & National; 2.9 minutes from Station 4, located at 8th and J and 3.0 minutes from Station 11, located at Broadway and 25th.

III. ENVIRONMENTAL ANALYSIS: See attached Initial Study checklist.

IV. DISCUSSION:

*During the environmental review of the project, it was determined that construction could potentially result in significant but mitigable impacts in the following area(s): **Historical Resources (Archaeology); Paleontology and Health and Safety.***

Historical Resources (Archaeology)

According to the City's Historical Resources Sensitivity Map, the site is located in an area with a high potential for subsurface archaeological resources. The project would export approximately ~~25,700~~ 24,900 cubic-yards of cut at depths of up to 26-feet. Due to the quantity of cut and the potential to impact archeological finds on-site, archeological monitoring would be required during grading. Additionally, the Barrio Logan Redevelopment Plan EIR SCH-No.90010287 requires monitoring by a qualified archaeologist during construction and grading activities. In the event that such resources are discovered, excavation would be halted or diverted, to allow recovery, evaluation, and recordation of materials. A Mitigation, Monitoring and Reporting Program, contained in Section V of the attached Mitigated Negative Declaration, would mitigate potentially significant impacts archaeological resources to below a level of significance.

Paleontology

The project is located within the Bay Point Formation, which has a high potential for paleontological resources. The project proposes grading quantities of approximately ~~25,700~~ 24,900 cubic-yards of cut at depths of up to 26-feet. Additionally, the Barrio Logan Redevelopment Plan EIR SCH-No.90010287 requires monitoring by a qualified paleontologist during construction and grading activities. As such, a Mitigation, Monitoring and Reporting Program, contained in Section V of the attached Mitigated Negative Declaration, would mitigate potentially significant impacts to paleontological resources to below a level of significance.

Health and Safety (Hazardous Materials/Public Safety)

As new residential construction occurs in or near areas historically used for industry, agriculture, commerce or solid waste (e.g. landfills, former landfill sites, or fuel storage), contaminated soils and groundwater can be found. As part of the environmental review process, steps must be taken to disclose and address the safe removal, disposal and/or remediation of hazardous materials.

In order to assess both of the sites, a Phase I Environmental Site Assessment (ESA), dated May 17, 2005 and prepared by Environmental Business Solutions, which analyzed both sites was provided. The Phase I ESA includes a records search with the objective of identifying the possible presence and concentrations of petroleum hydrocarbons and Volatile Organic Compounds (VOCs) in the shallow soil and groundwater at the sites in connection with known and reported releases from on and off-Site sources. The report also included soils samplings and analysis through 18 soil borings and 18 trenches. The subsurface testing indicated that relatively low levels of VOC's, Petroleum Hydrocarbons and Lead. Therefore, due to the contamination found on both sites, proof of regulatory oversight would be required to be submitted.

The County of San Diego Department of Environmental Health (DEH) would provide oversight for site assessment and site cleanup. DEH has the responsibility to promote a safe and healthy environment for the public in areas where soils and other materials contaminated with hazardous substances are excavated, removed, or handled.

Due to the contamination found on and around the site, there is a potential to result in a significant impact with respect to health and safety. Therefore, the applicant must provide to the Environmental designee of the ADD of LDR a "No Further Action" letter or other certification from the County of San Diego Department of Environmental Health (DEH) verifying DEH approval that the site meets the criteria for residential development. Compliance with the requirements of DEH would reduce impacts to below a level of significance. As such, a Mitigation, Monitoring and Reporting Program, contained in Section V of the attached Mitigated Negative Declaration, would mitigate potentially significant impacts to Hazardous Materials/Public Safety to below a level of significance.

*The following environmental issues were considered in depth during the environmental review of the project and determined NOT to be potentially significant:
Aesthetics/Neighborhood Character, Geology, Historical Resources (Architecture), Public Utilities, Water Quality, Hydrology, Noise, Traffic, Human Health and Public Safety.*

Aesthetics/Neighborhood Character

The thresholds for determining whether a project would severely contrast with the surrounding neighborhood character are very subjective in nature. However, an assessment of whether the project would exceed the allowed height or bulk regulations and existing pattern of development in the surrounding area by a significant margin is a primary qualitative threshold that is applied. Since the project does not exceed the allowed height or bulk regulations, the project would not exceed this threshold.

A secondary assessment is whether a project would use an architectural style that would be in stark contrast with surrounding development that follows a single or common theme (e.g. Gaslamp Quarter, Old Town). Since the project is a multi-family development that

would be located in an area where there are a variety of different land uses and there is no single architectural theme, project implementation would not exceed this threshold.

A third assessment is whether the project would result in a physical loss, isolation or degradation of a community identification symbol or landmark, or whether the project would be located in a highly visible area (e.g., on a canyon edge, hilltop or adjacent to an interstate highway) which would strongly contrast with the surrounding development. Since the project would not result in an adverse effect to an identified landmark or would strongly contrast with surrounding development, project implementation would not exceed this threshold.

As such, project implementation would not result in a significant impact with respect to Aesthetics or Neighborhood Character. Therefore, no mitigation is required.

Geology

The project site is located in a seismically active region of California, and therefore, the potential exists for geologic hazards, such as earthquakes and ground failure. In order to fully assess the project's potential for geologic impacts, a Geotechnical Investigation and a Fault Study, dated November 4, 2005, was prepared for the project and an Addendum to the report was prepared on October 20, 2006. The reports are summarized herein.

The proposed project would be located at 1629 and 1668 National Avenue. The sites are located in Geologic Hazard Categories 11 and 13. Hazard category 11 is characterized by Active, Alquist-Priolo Earthquake Fault Zone. Hazard category 13 is characterized by the "Downtown Special Fault Zone ." Projects located within geologic hazard categories 11 and 13 require a fault hazard study to determine if "active" or "potentially active" faults traverse the site.

A field exploration consisted of eight small diameter hollow-stem-auger borings and six exploratory trenches. The purpose of these excavations was to evaluate the engineering characteristics of the onsite soils and potential geologic hazards with regard to the proposed development. The borings allowed evaluation of the onsite soils, including those likely to be encountered at the proposed foundation elevations and provided representative samples for laboratory testing. The trenches also provided direct observation of the Bay Point Formation to evaluate the presence or absence of faulting on site.

Based on the subsurface exploration, the sites were found to be overlain by a thin layer of undocumented fill. The fill soils were found to generally consist of loose to medium dense, brown to reddish brown, silty/clayey sand with gravel and debris throughout. The soils were found to generally range from less than a foot to approximately 7 feet in depth. Underneath the fill soil, the Bay Point Formation was also encountered and further down, the San Diego Formation was encountered. Groundwater was encountered at approximately 20 feet to 30 feet below the ground. As such, if during construction grading, water is encountered, dewatering would be implemented.

With respect to other geologic conditions, the potential of a fault existing underneath the sites were considered and analyzed. The study concluded, based upon the subsurface work completed, that the sites are not underlain by either an active fault or potentially active fault and that the sites are suitable to receive the proposed improvements.

The sites were found suitable for the proposed development as long as the recommendations outlined in the report are followed. The recommendations would be

made conditions of the permit. As such, permit issuance would preclude a significant geologic impact, and no mitigation is required.

Traffic

In order to assess the potential traffic impacts associated with the proposed project, a traffic study entitled "*Los Vientos Residential Development Traffic Impact Study*," was prepared for the project. The study was prepared by Katz, Okitsu & Associates and a final version was produced in November 2006. The traffic study is available for public review in the offices of the Development Services Department and is summarized below.

The traffic study concluded that the project would generate a total of 540 Average Daily Trips (ADT) with 43 trips occurring in the AM peak and 54 trips occurring during the PM peak hour. The ADT that is forecasted to be generated from project implementation is expected to impact surrounding roadway segments and intersections (both non-signalized and signalized). To ascertain the roadway segments and intersections that are likely to be impacted from project implementation, a trip distribution and assignment was used. The trip generation and assignment for the proposed project is based on observed traffic patterns and knowledge of the roadway network and land uses in the study area.

The study analyzed the project's potential traffic impacts on the following roadway segments: National Avenue between Sigsbee Street and project driveways; National Avenue between project driveways and 16th street; 16th Street between National Avenue and Logan Avenue. The study also analyzed the following intersections: National Avenue and Sigsbee Street (signalized); National Avenue at 16th Street (unsignalized); Logan Avenue at 16th Street (unsignalized); 16th Street at Commercial Street (signalized); National Avenue at project driveway 1 (unsignalized); National Avenue at project driveway 2 (unsignalized).

The intersections and roadway segments were analyzed under Existing Near-Term Conditions and Horizon Year Conditions. The near-term time period represents the first year of anticipated building occupancy by a total of 2.0 percent to represent near-term traffic volumes. The Horizon Year time period is set for the year 2030. A growth rate was developed for the horizon year analysis based on SANDAG Series 10 traffic forecasts. For the horizon year analysis existing volumes were grown by a total of 64 percent. In addition, traffic from cumulative projects was added to intersections and segments in the study area. All study area

For near-term volumes, existing traffic counts were grown by a total of 2 percent to represent near-term traffic volumes. According to the analysis, all study segments operate at Level of Service C (LOS) or better with and without the project. The acceptable Level of Service (LOS) for intersections is generally LOS "D" or better. A significant impact would result to a roadway segment if the project's contribution to a roadway segment increases the Volume-to-Capacity (v/c) ratio by at least 2% and leaves the roadway segment level-of-service (LOS) at E or F. Since all of the intersections currently operate at the acceptable LOS C, project implementation would not result in a significant impact to roadway segments.

With respect to intersections, an intersection is considered to be significantly impacted if it operates at LOS E or LOS F and the incremental contribution of the proposed project adds at least 2.0 seconds to the intersection delay. Since none of the intersections operate at a LOS E or LOS F, project implementation would not result in a significant impact.

The traffic report adequately addresses the issue of transportation and circulation. As such, the proposed project would not have a significant impact on traffic or circulation and no mitigation would be required. However, the traffic study does recommend that the configuration of National Avenue between Sigsbee Street and Commercial Avenue be re-stripped to include one travel lane in each direction and a two-way left-turn lane. As part of this reconfiguration, the intersection of 16th Street and National would be re-stripped to modify the existing westbound shared through-left turn lane to a dedicated left turn lane. This recommendation would be a condition of the permit.

Hydrology

The project would result in a decrease of runoff for both sites. Current, or pre-development runoff calculations for the site located at 1629 National Avenue was calculated based upon two runoff areas. Area one's runoff calculation is 1.23 cubic-feet per second (cfs) and Area two's calculation is 0.61 cubic-feet per second for a total of 1.84 cubic-feet per second. Post-development calculations would result in a reduction of runoff to 1.11 cubic-feet per second. The runoff would be collected via a private on-site drainage system and would ultimately be discharged to National Avenue through sidewalk under drains or curb outlets and then into the existing alley. The runoff in the alley travels westerly in the alley towards 16th street and then southerly along 16th street in the curb and gutter to an inlet at the intersection of 16th Street and Newton.

Runoff would also decrease for the site located at 1668 National Avenue. Currently, runoff is calculated to be 2.14 cubic-feet per second (cfs). After project implementation, the site would result in runoff calculated to be 1.95 cubic-feet per second. The runoff would be intercepted in the same manner as the other site, but would ultimately travel along the existing curb and gutter to an existing inlet located at the intersection of National Avenue and 16th Street.

Therefore, project implementation would result in a net decrease of runoff from both sites from 3.98 cubic-feet per second to 3.62 cubic-feet per second. As such, project implementation would not result in a significant impact to hydrologic conditions and no mitigation is required.

Water Quality

With respect to Water Quality, the project site is located within the San Diego Pueblo San Diego Hydrologic Unit (HU 908.00), within the San Diego Mesa Hydrologic Area (HA 908.20) and is part of the Chollas Hydrologic Subarea Area (HAS 908.22), per the Water Quality Control Plan for the San Diego Basin.

The following pollutants of concern were identified: sediments, nutrients, bacteria and viruses, trash and debris, oxygen demanding substances, oil and grease and pesticides. The permanent Best Management Practices (BMPs) identified are Site Design BMPs (minimize impervious footprint; conserve natural areas; minimize directly connected impervious areas; maximize canopy intersection and water conservation) and Source Control BMPs (landscape plans incorporating pest resistant and drought tolerant plant material and rain shut off devices shall be incorporated into the irrigation system) and Structural Treatment BMPs (Drainage from the developed portion of the project would be conveyed through the site by on-site private storm drain systems).

Proper engineering controls and best management practices as outlined above and in accordance with the San Diego Municipal Code Chapter 14, Article 2, Division 1 (Grading Regulations) and Division 2 (Storm Water Runoff Control and Drainage Regulations), and Chapter 4, Article 3, Division 3 (Stormwater Management and Discharge Control) would minimize water runoff and soil erosion during excavation/construction activities. The resultant discharge from the site would then be substantially free of pollutants and sediments to the maximum extent practicable. Therefore, compliance with the outlined BMPs in the Water Quality Technical Report would preclude any potential impacts to below a level of significance and no mitigation is required.

Historical Resources (Architecture)

The structure under review is a Craftsman style single-family residence and was constructed in 1918. Any structure that is determined to be 45 years old or older may be historically significant under the California Environmental Quality Act (CEQA). Therefore, a Historical Resources Evaluation Report was prepared for the project by Kathleen Crawford entitled, "*Historical Assessment of the Building Located at 1629 National Avenue, San Diego, California 92113.*" (November 2006). The report is summarized herein.

The structure is a Craftsman style single-family residence that was constructed in 1918 and is located at 1629 National Avenue (Lot 41, Block 132, Map 00209 Assessor's Parcel Number 538-030-24). The Craftsman style features long, horizontal lines combined with a use of natural materials such as cobble stones, clinker brick, wood shingles and boulders. The typical Craftsman residence usually includes a low-pitched, gabled roof with a wide, unenclosed eave overhang with multiple roof planes. Porches are common and can be full or partial-width across the main elevation. The property is surrounded by Sigsbee Street to the east, Logan Avenue to the north, 18th street to the west and Newton Avenue to the south. The neighborhood setting in and around the property was originally primarily residential, typified by single-family residential construction. Over the years, the neighborhood setting in and around the property has substantially changed, as the surrounding area has been developed with industrial and commercial uses.

The structure is a one-story, asymmetrical, rectangular shaped, Craftsman style, single-family residence. The building has a pier foundation, horizontal wood siding and a front gable roof with asphalt shingles. The roof has a deep eave overhang with exposed rafters and knee braces. A brick chimney pierces the center of the roof line. The building was evaluated under local, state and national criteria. Some of the evaluation criteria used in the analysis include the following: Identification of persons or events significant in local, state or national history; Exemplary reflection of special elements of a City's historical, archaeological, cultural, social, economic, political, aesthetic elements; Embodiment of distinctive characteristics of a style, type, period or method of construction or is a valuable example of the use of indigenous materials; A representative example of an able work of a master builder, designer, architect, engineer, landscape architect, interior designer, or craftsman; Listed or determined to be eligible by the National Park Services for listing on the National Register of Historic Places or is listed or has been determined eligible by the State Historical Preservation Office for listing on the State Register of Historical Resources or is a finite group of resources related to one another in a clearly distinguishable way or is geographically definable.

In addition to the determination of significance, the property must also possess integrity. Integrity is the ability of a property to convey and maintain its significance. In order to retain historic integrity, a property will always possess several, and usually most of the

aspects. The seven key aspect for integrity include location, design, setting, material, workmanship, feeling and association.

The study concluded that the structure does not have historical significance nor does it have architectural significance. Additionally, the study concluded the structure does not possess integrity. As such, demolition of the structure would not result in a significant impact to historical resources under CEQA.

Public Utilities

In September 1989, the California Integrated Solid Waste Management Act (also known as Assembly Bill 939 (AB 939)) was enacted into law. It requires each city in the state to divert at least 50% percent of its solid waste from landfill disposal through source reduction, recycling, and composting by 2000. The following solid waste thresholds will help further this requirement through inclusion of solid waste considerations in review and preparation of environmental documents.

Construction/demolition projects that meet or exceed the following thresholds are considered to have potentially significant solid waste impacts based on solid waste generation estimates:

- a. Single Family/Multifamily Construction of 50 units or more
- b. Commercial Construction of 40,000 square feet or more

Use of the thresholds above is applicable only to projects that propose either a change in land use density, community plan amendment or a rezone. The proposed project includes an increase in density, a community plan amendment and a rezone. As such, a Waste Management Plan was prepared for the project and is summarize herein.

The estimated generation of solid-waste due to construction and demolition activities is broken down as follows: Asphalt/Concrete is expected to result in 673 tons; Brick/Masonry is expected to result in 14.28 tons; Building materials (doors, windows, cabinets, etc.) is expected to result in 6 tons; Cardboard is expected to result in 4 tons; Carpet is expected to result in .0625 tons; Drywall is expected to result in 383.7 tons; Landscape debris is expected to result in 12 tons; Scrap Metal is expected to result in 9.06 tons; Unpainted Wood and Pallets is expected to result in 12 tons; Garbage/Trash is expected to result in 17 tons and operation is expected to result in 108 tons (based on 1.2 tons/year/unit).

Waste Management would be in the form of reusing any materials for construction of the project. To the extent materials would not be reused on site, materials would be deposited in separate roll-off containers specifically designated for the different types of waste materials (wood, metal, drywall, tiles, carpet, etc.). If materials are not reused on-site, the materials would be recycled at the appropriate facilities.

Compliance with Assembly Bill 939 would preclude a significant impact under CEQA.

Human Health and Public Safety

The project is proposing to demolish a single-family residence which may contain asbestos and lead-based paint and if so, could potentially pose a risk to human health and public safety. While the City of San Diego does not have permitting authority over the handling of hazardous material, all demolition activities must be conducted in accordance with the San Diego County Air Pollution Control District (SDAPCD) Rules 361.140

through 361.156 and the California Code of Regulations Title 8 and 17 regarding the handling and disposal of Asbestos-containing materials and Lead-based paints, respectively.

The SDAPCD requires a project follow special procedures during demolition, renovation, and removal of asbestos containing material. In addition, the SDAPCD must be notified in writing at least 10 days in advance of any demolition regardless of whether any asbestos is present or not. Failure to meet these requirements would result in the issuance of a Notice of Violation.

If the testing shows the presence of asbestos or lead-based paints, then proper precautions must be made during the removal and disposal of asbestos or lead-based paint containing materials. The removal and disposal of these materials is regulated by state agencies (Cal-OSHA and Cal-EPA), the SDAPCD, and the County of San Diego Department of Environmental Health (DEH). These agencies ensure that the demolition crew, adjacent residents, or other individuals are not exposed to these hazardous building materials.

Because the above-mentioned State and County agencies oversee asbestos and lead-based paint removal, and it is required of the applicant to notify these agencies prior to any demolition activities as per state and county law, human health and public safety impacts due to the demolition of the on-site structures would be below a level of significance. Notice to the SDAPCD would be a permit condition; therefore, permit issuance would preclude a significant impact to human health and public safety. Therefore, no mitigation is required.

Noise

Projects are analyzed for the amount of noise the project would generate and for the amount of noise affecting the project. The intended use of the project would not result in the generation of noise, except during temporary construction which is regulated by SDMC section 59.5.0404.

Multi-family residential units are limited to an interior noise standard of 45dB and an exterior noise standard of 65 dB for any required usable space. With regards to noise affecting the project, the main sources of noise would be from the traffic on National Avenue.

With respect to required exterior usable space, a general indication of potential significance is whether the required usable space would be positioned within 50 feet from the center of the closest (outside) lane on a street with an existing or future ADT of 7,500. The required exterior open space is approximately 100 feet from the center of the closest lane on National Avenue and the existing ADT count for National Avenue is 4,174 ADT, which results in an approximate noise calculation of 59.43 dB. With respect to future noise conditions, a growth rate was developed for the horizon year (year 2030) based on SANDAG Series 10 traffic forecasts and City of San Diego historical count data in the study area. For the horizon year analysis, existing volumes were grown by a total of 64 percent. This forecast would result in National Avenue having an increase in the ADT count from 4,174 to 6,845 ADT, which results in an approximate noise calculation of 61.58 dB. Both existing and future noise calculations are well below the 65dB threshold for required exterior usable open space.

With respect to interior noise, interior noise standards are regulated by Title 24, Noise Insulation Standards of the California Code of Regulations. Title 24 requires that interior noise levels be at or below 45 dBA CNEL in habitable residential space with windows

With respect to interior noise, interior noise standards are regulated by Title 24, Noise Insulation Standards of the California Code of Regulations. Title 24 requires that interior noise levels be at or below 45 dBA CNEL in habitable residential space with windows closed. Prior to the issuance of building permits, verification of this standard would be required. Therefore, compliance with Title 24 and issuance of a building permit would preclude a significant impact under CEQA. As such, no mitigation is required.

V. RECOMMENDATION:

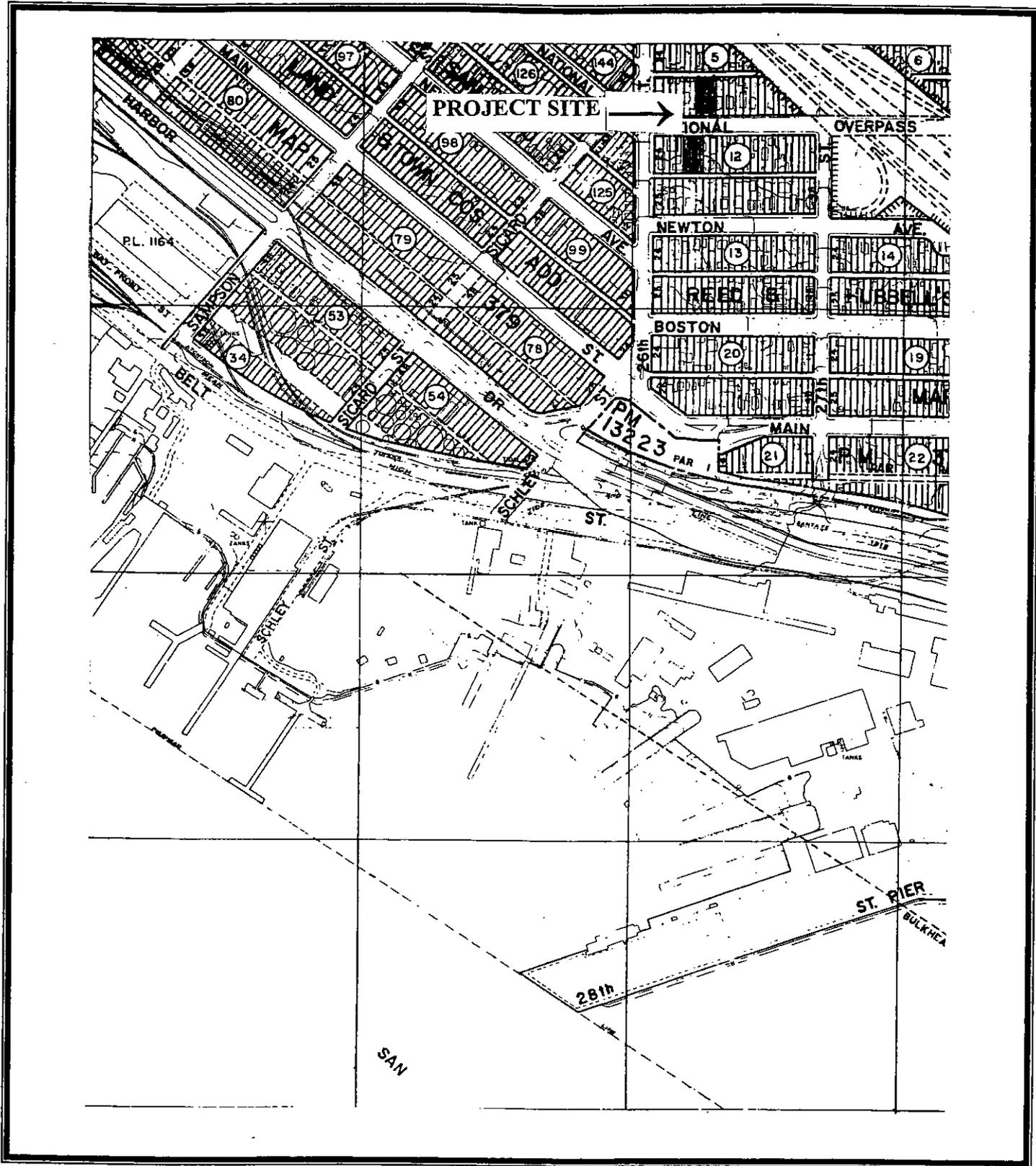
On the basis of this initial evaluation:

- The proposed project would not have a significant effect on the environment, and a NEGATIVE DECLARATION should be prepared.
- Although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described in Section IV above have been added to the project. A MITIGATED NEGATIVE DECLARATION should be prepared.
- The proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT should be required.

PROJECT ANALYST: Cass

Attachments:

Figure 1: Location Map
Figure 2: Photo Exhibit
Figure 3: Elevations (1668 National Avenue)
Figure 4: Elevations (1629 National Avenue)
Figure 5: Site Plan
Initial Study Checklist



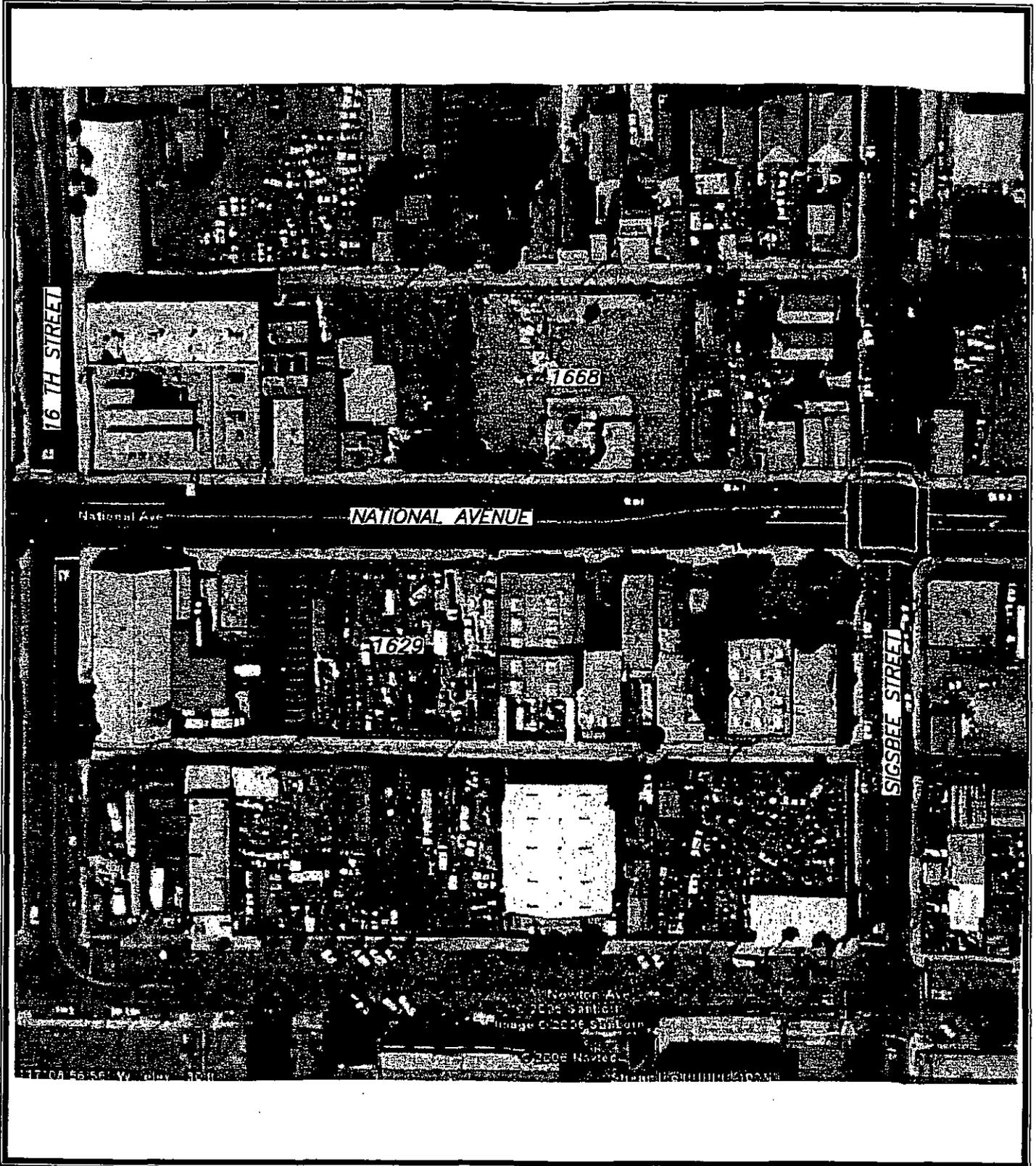
Los Vientos

Location Map

Environmental Analysis Section Project No. 103439
 CITY OF SAN DIEGO - DEVELOPMENT SERVICES

Figure
1





Los Vientos

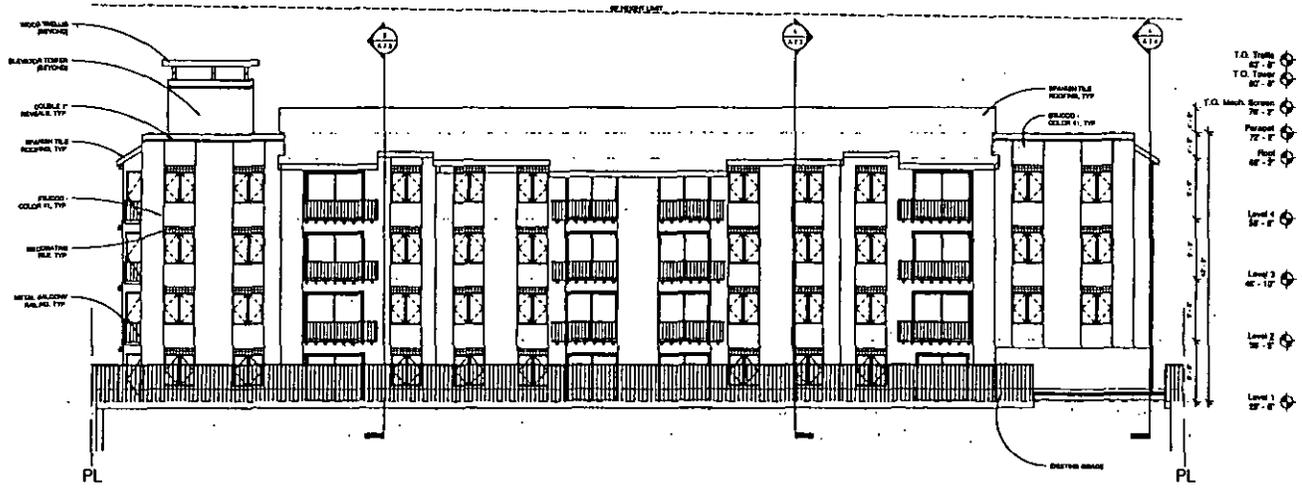


Photo Exhibit

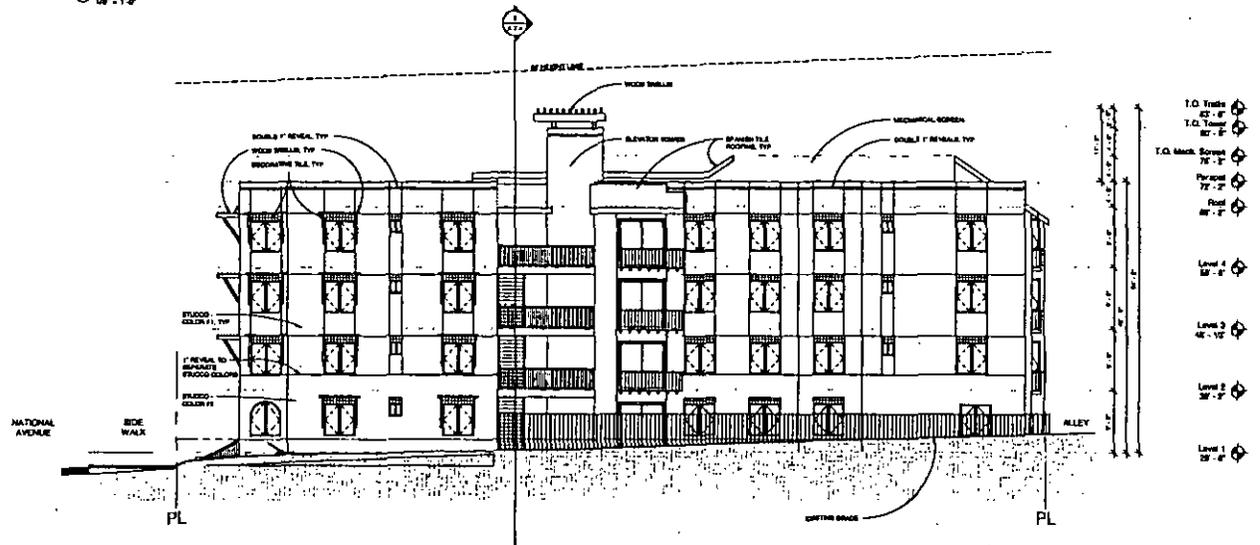
Environmental Analysis Section Project No. 103439
CITY OF SAN DIEGO · DEVELOPMENT SERVICES

Figure

2



① 100 - Elevation - North from Alley
UP - 1'-0"



② 100 - Elevation - East
UP - 1'-0"

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PARTNERS

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Los Vientos Affordable Housing
AMCAL Multi - Housing, Inc.
1625 S. National Avenue
San Diego, CA 92113

SCALE TABLE

DESCRIPTION	DATE
Complete Elevation	05.09.2008
City Submission	05.22.2008
1st Review Cycle	07.17.2008
2nd Review Cycle	10.03.2008
3rd Review Cycle	12.08.2008

Los Vientos
National Avenue
90 Dwelling Units

PROJECT NO.
AVP/ 05150.01

DESIGNED BY
AVEUM

CLIENT
Los Vientos Affordable Housing
1625 S. National Avenue

1608 - Exterior Elevations

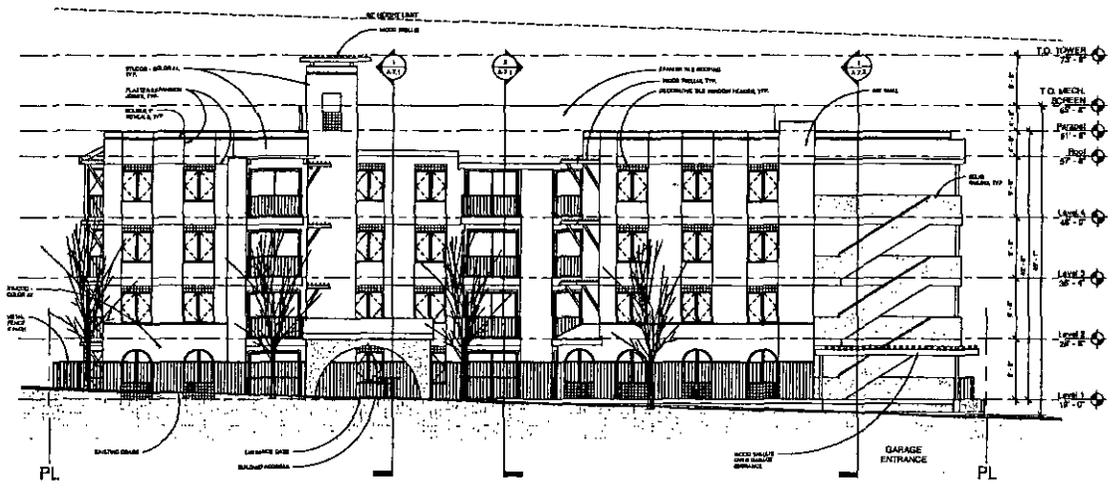
DATE PLOTTED
Sheet 15 of 10

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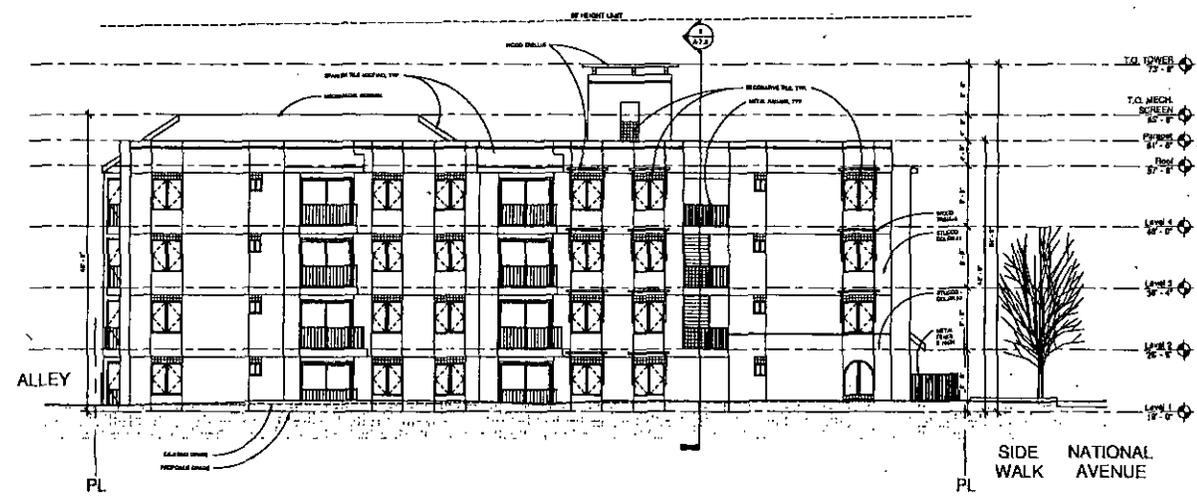


Elevations (1668 National Avenue)
Environmental Analysis Section - Project No. 103439
CITY OF SAN DIEGO · DEVELOPMENT SERVICES

Figure
3



① 1629 - Elevation - North (View from Highway)
1/2" = 1'-0"



② 1629 - Elevation - East
1/2" = 1'-0"

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Los Vientos Affordable Housing
AMCAL Multi - Housing, Inc.
1629 & 1668 National Avenue
San Diego, CA 92113

REVISION	DATE
Complete C/A	05.08.2006
City, Submittal	05.22.2006
1st Review Cycle	07.17.2006
2nd Review Cycle	10.23.2006
3rd Review Cycle	12.12.2006

Los Vientos
National Avenue
60 Dwelling Units
NUMBER 1629
AVRP: 05150.01

DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DATE: 10/23/06
PROJECT: Los Vientos Affordable Housing
National Avenue
1629 - Exterior Elevations

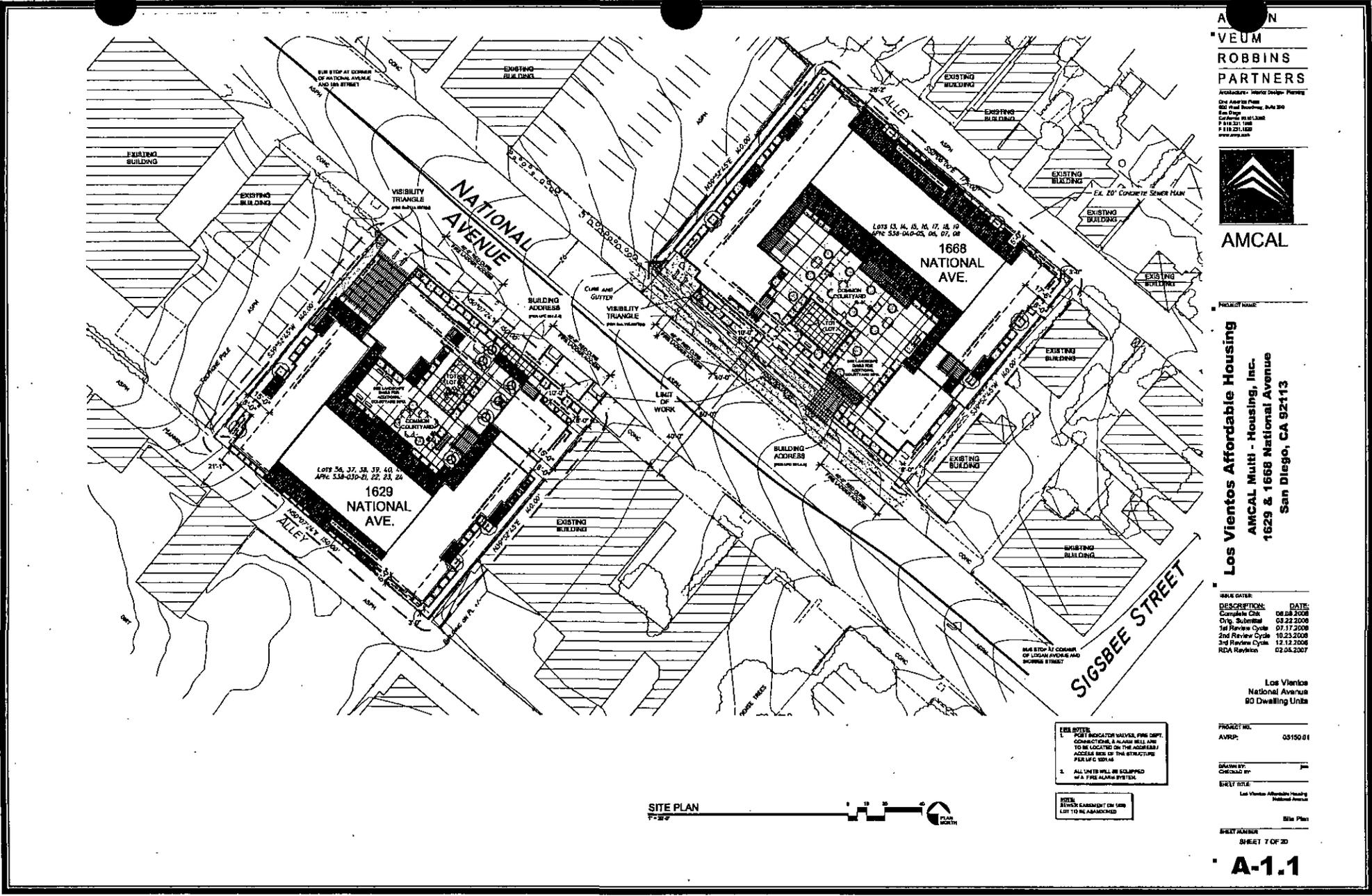
DATE PLOTTED: 12/12/06
SHEET 13 OF 20

A-6.1



Elevations (1629 National Avenue)
Environmental Analysis Section - Project No. 103439
CITY OF SAN DIEGO · DEVELOPMENT SERVICES

Figure
4



AMCAL
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AMCAL

PROJECT NAME:

Los Vientos Affordable Housing
AMCAL Multi - Housing, Inc.
1629 & 1668 National Avenue
San Diego, CA 92113

DATE:

DESCRIPTION	DATE
Complete Civil	08.28.2008
Civil, Submittal	03.22.2009
1st Review Cycle	07.17.2009
2nd Review Cycle	10.23.2009
3rd Review Cycle	12.12.2009
RDA Review	02.05.2007

Los Vientos
National Avenue
90 Dwelling Units

PROJECT NO.
AVRP: 05150.01

DESIGNED BY:
CHECKED BY:

DRAWN BY:
Los Vientos Affordable Housing
National Avenue

DATE PLOTTED:
SHEET 7 OF 20

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Site Plan
Environmental Analysis Section - Project No. 103439
CITY OF SAN DIEGO · DEVELOPMENT SERVICES

Figure
5

Initial Study Checklist

Date: November 1, 2006

Project No.: 103439

Name of Project: Los Vientos

III. ENVIRONMENTAL ANALYSIS:

The purpose of the Initial Study is to identify the potential for significant environmental impacts which could be associated with a project pursuant to Section 15063 of the State CEQA Guidelines. In addition, the Initial Study provides the lead agency with information which forms the basis for deciding whether to prepare an Environmental Impact Report, Negative Declaration or Mitigated Negative Declaration. This Checklist provides a means to facilitate early environmental assessment. However, subsequent to this preliminary review, modifications to the project may mitigate adverse impacts. All answers of "yes" and "maybe" indicate that there is a potential for significant environmental impacts and these determinations are explained in Section IV of the Initial Study.

- | | <u>Yes</u> | <u>Maybe</u> | <u>No</u> |
|---|------------|--------------|-----------|
| I. AESTHETICS / NEIGHBORHOOD CHARACTER – Will the proposal result in: | | | |
| A. The obstruction of any vista or scenic view from a public viewing area?
<u>No such vista or scenic view would be obstructed, nor was such a view identified in the Barrio Logan Community Plan.</u> | <u>—</u> | <u>—</u> | <u>X</u> |
| B. The creation of a negative aesthetic site or project?
<u>The project is a multi-family development that would encumber both sides of National Avenue and would comply with all zoning regulation except where a deviation has been requested. As such, project implementation would not result in a significant impact to aesthetics or neighborhood character. See Initial Study discussion.</u> | <u>—</u> | <u>X</u> | <u>—</u> |

	<u>Yes</u>	<u>Maybe</u>	<u>No</u>
C. Project bulk, scale, materials, or style which would be incompatible with surrounding development? <u>The project does propose deviations; however, the deviations would not result in the project being incompatible with surrounding development. As such, project implementation would not result in incompatible development.</u>	—	—	<u>X</u>
D. Substantial alteration to the existing character of the area? <u>The project is a multi-family residential project that would be in general conformance with surrounding uses. Additionally, the project proposes a community plan amendment and rezone.</u>	—	—	<u>X</u>
E. The loss of any distinctive or landmark tree(s), or a stand of mature trees? <u>The site is not adjacent to any habitat type. There are no distinctive or landmark tree(s), or a stand of mature trees on the site.</u>	—	—	<u>X</u>
F. Substantial change in topography or ground surface relief features? <u>The project proposes 8200 cubic-yards of export at depths of 13.4 feet. However, the project site is relatively flat and does not support steep hillsides or any other environmentally sensitive lands. As such, project grading would not result in a substantial change in topography.</u>	—	—	<u>X</u>
G. The loss, covering or modification of any unique geologic or physical features such as a natural canyon, sandstone bluff, rock outcrop, or hillside with a slope in excess of 25 percent? <u>See I-F.</u>	—	—	<u>X</u>
H. Substantial light or glare? <u>Lighting would be in compliance SDMC section 142.0740 "Outdoor lighting regulations." As such, the project would not result in substantial lighting</u>	—	—	<u>X</u>

		<u>Yes</u>	<u>Maybe</u>	<u>No</u>
I.	Substantial shading of other properties? <u>The project would not result in excess height or exceed the bulk and scale regulations of the Land Development Code.</u>	—	—	<u>X</u>
II.	AGRICULTURE RESOURCES / NATURAL RESOURCES / MINERAL RESOURCES – Would the proposal result in:			
A.	The loss of availability of a known mineral resource (e.g., sand or gravel) that would be of value to the region and the residents of the state? <u>The project site is on urban land that has been heavily disturbed and has supported previous development. No known mineral resources are present.</u>	—	—	<u>X</u>
B.	The conversion of agricultural land to nonagricultural use or impairment of the agricultural productivity of agricultural land? <u>The project site is located within a developed, urbanized area.</u>	—	—	<u>X</u>
III.	AIR QUALITY – Would the proposal:			
A.	Conflict with or obstruct implementation of the applicable air quality plan? <u>The project would not create a substantial amount of ADTs, nor would it result in significant stationary source emissions. Therefore, the project would not conflict with or obstruct implementation of the applicable air quality plan.</u>	—	—	<u>X</u>
B.	Violate any air quality standard or contribute substantially to an existing or projected air quality violation? <u>See III-A.</u>	—	—	<u>X</u>

	<u>Yes</u>	<u>Maybe</u>	<u>No</u>
C. Expose sensitive receptors to substantial pollutant concentrations? <u>The project would introduce residential uses into an area that is comprised of a mixture of uses. While the San Diego Air Basin is classified as a non-attainment area by the Environmental Protection Agency in terms of oxidants (ozone) and carbon monoxide (CO), the project location is adjacent to the coast. As such, sensitive receptors would not be exposed to substantial pollutant concentrations.</u>	—	—	<u>X</u>
D. Create objectionable odors affecting a substantial number of people? <u>The project is a residential development. As such, project implementation would not result in the creation of objectionable odors.</u>	—	—	<u>X</u>
E. Exceed 100 pounds per day of Particulate Matter 10 (dust)? <u>The South Coast Air Quality Management District's CEQA Air Quality Handbook (1993) estimates roughly 100 pounds of Particulate Matter 10 dust is generated by grading 4.0 acres per day. Therefore, since the project site is 0.48 acres, the project would not exceed 100 pounds per day.</u>	—	—	<u>X</u>
F. Alter air movement in the area of the project? <u>Air movement would not be substantially altered. See III-A.</u>	—	—	<u>X</u>
G. Cause a substantial alteration in moisture, or temperature, or any change in climate, either locally or regionally? <u>See III-A.</u>	—	—	<u>X</u>
IV. BIOLOGY – Would the proposal result in:			
A. A reduction in the number of any unique, rare, endangered, sensitive, or fully protected species of plants or animals? <u>There are no such species of plants or animals on or adjacent to the project site.</u>	—	—	<u>X</u>

	<u>Yes</u>	<u>Maybe</u>	<u>No</u>
B. A substantial change in the diversity of any species of animals or plants? <u>See IV-A.</u>	—	—	<u>X</u>
C. Introduction of invasive species of plants into the area? <u>The project does not propose any invasive species.</u>	—	—	<u>X</u>
D. Interference with the movement of any resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors? <u>No such corridors exist on or adjacent to the project site.</u>	—	—	<u>X</u>
E. An impact to a sensitive habitat, including, but not limited to streamside vegetation, aquatic, riparian, oak woodland, coastal sage scrub or chaparral? <u>See IV-A.</u>	—	—	<u>X</u>
F. An impact on City, State, or federally regulated wetlands (including, but not limited to, coastal salt marsh, vernal pool, lagoon, coastal, etc.) through direct removal, filling, hydrological interruption or other means? <u>The site is previously developed. There are no wetlands on-site.</u>	—	—	<u>X</u>
G. Conflict with the provisions of the City's Multiple Species Conservation Program Subarea Plan or other approved local, regional or state habitat conservation plan? <u>Project site is not within or adjacent to the MHPA. See IV-A.</u>	—	—	<u>X</u>
V. ENERGY – Would the proposal:			
A. Result in the use of excessive amounts of fuel or energy (e.g. natural gas)? <u>The proposed parking structure would not use excessive amounts of fuel or energy.</u>	—	—	<u>X</u>

	<u>Yes</u>	<u>Maybe</u>	<u>No</u>
B. Result in the use of excessive amounts of power? <u>See V-A.</u>	—	—	<u>X</u>
VI. GEOLOGY/SOILS – Would the proposal:			
A. Expose people or property to geologic hazards such as earthquakes, landslides, mudslides, ground failure, or similar hazards? <u>The proposed project lies within Geologic Hazard Zone 11 and Zone 13. See Initial Study discussion.</u>	—	<u>X</u>	—
B. Result in a substantial increase in wind or water erosion of soils, either on or off the site? <u>The proposed project would be in compliance with the City's Storm Water Regulations.</u>	—	—	<u>X</u>
C. Be located on a geologic unit or soil that is unstable or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse? <u>See VI-A.</u>	—	<u>X</u>	—
VII. HISTORICAL RESOURCES – Would the proposal result in:			
A. Alteration of or the destruction of a prehistoric or historic archaeological site? <u>The proposed project is within the historical sensitivity map boundaries. Therefore, archaeological monitoring would be required during all grading activities. See Initial Study discussion.</u>	—	<u>X</u>	—
B. Adverse physical or aesthetic effects to a prehistoric or historic building, structure, object, or site? <u>The project may result in significant impact to architecturally significant buildings. See Initial Study discussion.</u>	—	<u>X</u>	—

	<u>Yes</u>	<u>Maybe</u>	<u>No</u>
C. Adverse physical or aesthetic effects to an architecturally significant building, structure, or object? <u>See VII-B.</u>	—	<u>X</u>	—
D. Any impact to existing religious or sacred uses within the potential impact area? <u>No such potential exists on-site. See VII-A.</u>	—	—	<u>X</u>
E. The disturbance of any human remains, including those interred outside of formal cemeteries? <u>See VII-A.</u>	—	—	<u>X</u>
 VIII. HUMAN HEALTH / PUBLIC SAFETY / HAZARDOUS MATERIALS: Would the proposal:			
A. Create any known health hazard (excluding mental health)? <u>The project is a multi-family residential project. As such, project implementation would not result in the creation of any health hazards. See Initial Study.</u>	—	—	<u>X</u>
B. Expose people or the environment to a significant hazard through the routine transport, use or disposal of hazardous materials? <u>The project is a multi-family residential project. As such, the project does not propose the handling or disposal of hazardous materials no such uses would occur.</u>	—	—	<u>X</u>
C. Create a future risk of an explosion or the release of hazardous substances (including but not limited to gas, oil, pesticides, chemicals, radiation, or explosives)? <u>See VIII-A and B.</u>	—	—	<u>X</u>

	<u>Yes</u>	<u>Maybe</u>	<u>No</u>
D. Impair implementation of, or physically interfere with an adopted emergency response plan or emergency evacuation plan? <u>No such impairment is anticipated.</u>	—	—	<u>X</u>
E. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, create a significant hazard to the public or environment? <u>The site may be contaminated due to the location and the past uses of the site. See Health & Safety discussion in the Initial Study.</u>	—	<u>X</u>	—
F. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? <u>See VIII-A and B.</u>	—	—	<u>X</u>
IX. HYDROLOGY/WATER QUALITY – Would the proposal result in:			
A. An increase in pollutant discharges, including down stream sedimentation, to receiving waters during or following construction? Consider water quality parameters such as temperature dissolved oxygen, turbidity and other typical storm water pollutants. <u>The project would not result in an increase of pollutant discharges. See Water Quality discussion.</u>	—	<u>X</u>	—
B. An increase in impervious surfaces and associated increased runoff? <u>Runoff would decrease as a result of project implementation. See Hydrology/Water Quality discussion in the Initial Study.</u>	—	<u>X</u>	—
C. Substantial alteration to on- and off-site drainage patterns due to changes in runoff flow rates or volumes? <u>See IX-A. and -B.</u>	—	<u>X</u>	—

	<u>Yes</u>	<u>Maybe</u>	<u>No</u>
D. Discharge of identified pollutants to an already impaired water body (as listed on the Clean Water Act Section 303(d) list)? <u>The project would not discharge polluted water to an already impaired water body . Runoff would be treated by appropriate BMP's. See Initial Study discussion.</u>	—	<u>X</u>	—
E. A potentially significant adverse impact on ground water quality? <u>See IX-D.</u>	—	<u>X</u>	—
F. Cause or contribute to an exceedance of applicable surface or groundwater receiving water quality objectives or degradation of beneficial uses? <u>See IX-D.</u>	—	—	<u>X</u>
X. LAND USE – Would the proposal result in:			
A. A land use which is inconsistent with the adopted community plan land use designation for the site or conflict with any applicable land use plan, policy or regulation of an agency with jurisdiction over a project? <u>The project proposes an amendment to the Barrio Logan Community Plan. As such, project implementation would not conflict with the designated land use.</u>	—	—	<u>X</u>
B. A conflict with the goals, objectives and recommendations of the community plan in which it is located? <u>See X-A.</u>	—	—	<u>X</u>
C. A conflict with adopted environmental plans, including applicable habitat conservation plans adopted for the purpose of avoiding or mitigating an environmental effect for the area? <u>The project does not conflict with any such plans. See X-A.</u>	—	—	<u>X</u>

	<u>Yes</u>	<u>Maybe</u>	<u>No</u>
D. Physically divide an established community? <u>The project is located within a Redevelopment Area and would not divide an established community.</u>	—	—	<u>X</u>
E. Land uses which are not compatible with aircraft accident potential as defined by an adopted airport Airport Land Use Compatibility Plan(ALUCP)? <u>Project is not within any airport ALUCP.</u>	—	—	<u>X</u>
XI. NOISE – Would the proposal result in:			
A. A significant increase in the existing ambient noise levels? <u>The project would generate noise in terms of traffic generation (ADT) and construction activities. However, with respect to traffic generation, 540 ADT's are expected. As such, project implementation would not result in a significant increase in ambient noise levels. With respect to construction activities, noise from construction is temporary and is regulated by the City of San Diego Noise Abatement and Control Ordinance, Section 59.5.0404 of the San Diego Municipal Code.</u>	—	—	<u>X</u>
B. Exposure of people to noise levels which exceed the City's adopted noise ordinance? <u>See XI-A and the noise discussion in the Initial Study.</u>	—	<u>X</u>	—
C. Exposure of people to current or future transportation noise levels which exceed standards established in the Transportation Element of the General Plan or an adopted airport Comprehensive Land Use Plan? <u>See noise discussion in the Initial Study.</u>	—	<u>X</u>	—
XII. PALEONTOLOGICAL RESOURCES: Would the proposal impact a unique paleontological resource or site or unique geologic feature? <u>The project proposes 25,700 cubic-yards of cut at depths that exceed 10 feet. As such, paleontological monitoring would be required during grading activities.</u>	—	<u>X</u>	—

	<u>Yes</u>	<u>Maybe</u>	<u>No</u>
D. Parks or other recreational facilities? <u>No effect would occur.</u>	—	—	<u>X</u>
E. Maintenance of public facilities, including roads? <u>Maintenance of public facilities would not be affected with the project being developed.</u>	—	—	<u>X</u>
F. Other governmental services? <u>No effect would occur. See XIV-A.</u>	—	—	<u>X</u>
XV. RECREATIONAL RESOURCES – Would the proposal result in:			
A. Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? <u>The project would not have a substantial affect on recreational resources.</u>	—	—	<u>X</u>
B. Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment? <u>No such adverse effects would occur.</u>	—	—	<u>X</u>
XVI. TRANSPORTATION/CIRCULATION – Would the proposal result in:			
A. Traffic generation in excess of specific/ community plan allocation? <u>See Traffic Discussion in the Initial Study.</u>	—	<u>X</u>	—
B. An increase in projected traffic which is substantial in relation to the existing traffic load and capacity of the street system? <u>See XVI-A.</u>	—	<u>X</u>	—
C. An increased demand for off-site parking? <u>The project would comply with the applicable parking regulations. The demand for off-site parking would not increase. See Traffic Discussion.</u>	—	<u>X</u>	—

	<u>Yes</u>	<u>Maybe</u>	<u>No</u>
D. Effects on existing parking? <u>See XVI-C.</u>	—	<u>X</u>	—
E. Substantial impact upon existing or planned transportation systems? <u>No such impact is expected. See XVI-A.</u>	—	<u>X</u>	—
F. Alterations to present circulation movements including effects on existing public access to beaches, parks, or other open space areas? <u>No such impacts would occur.</u>	—	—	<u>X</u>
G. Increase in traffic hazards for motor vehicles, bicyclists or pedestrians due to a proposed, non-standard design feature (e.g., poor sight distance or driveway onto an access-restricted roadway)? <u>The project would be designed to engineering standards. No such impacts would result.</u>	—	—	<u>X</u>
H. A conflict with adopted policies, plans or programs supporting alternative transportation models (e.g., bus turnouts, bicycle racks)? <u>It is not anticipated that the project would create any conflicts with such adopted transportation policies, plans, or programs.</u>	—	—	<u>X</u>
XVII. UTILITIES – Would the proposal result in a need for new systems, or require substantial alterations to existing utilities, including:			
A. Natural gas? <u>The proposed project would not require new systems or substantial alterations to existing natural gas utilities.</u>	—	—	<u>X</u>
B. Communications systems? <u>No new systems or substantial alterations would be required. See XVII-A.</u>	—	—	<u>X</u>
C. Water? <u>No new systems or substantial alterations would be required. See XVII-A.</u>	—	—	<u>X</u>

- | | <u>Yes</u> | <u>Maybe</u> | <u>No</u> |
|--|------------|--------------|-----------|
| D. Sewer?
<u>No new systems or substantial alterations would be required. See XVII-A.</u> | — | — | <u>X</u> |
| E. Storm water drainage?
<u>Storm Water drainage would be developed and maintained in accordance with the City's Storm Water Guidelines. No new or substantial alterations would be required.</u> | — | — | <u>X</u> |
| F. Solid waste disposal?
<u>No new systems or substantial alterations would be required. See XVII-A.</u> | — | — | <u>X</u> |

XVIII. WATER CONSERVATION – Would the proposal result in:

- | | | | |
|--|---|---|----------|
| A. Use of excessive amounts of water?
<u>Project would not use excessive amounts of water.</u> | — | — | <u>X</u> |
| B. Landscaping which is predominantly non-drought resistant vegetation?
<u>Landscaping would be consistent with the City's Landscaping Regulations.</u> | — | — | <u>X</u> |

XIX. MANDATORY FINDINGS OF SIGNIFICANCE:

- | | | | |
|---|---|---|----------|
| A. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?
<u>No sensitive vegetation exists on-site. The project does not have the potential to affect any of the above.</u> | — | — | <u>X</u> |
|---|---|---|----------|

Yes Maybe No

B. Does the project have the potential to achieve short-term, to the disadvantage of long-term, environmental goals? (A short-term impact on the environment is one which occurs in a relatively brief, definitive period of time while long-term impacts would endure well into the future.)

Project is consistent with the long-term vision and would not achieve short-term goals to the disadvantage of long-term goals.

— — X

C. Does the project have impacts which are individually limited, but cumulatively considerable? (A project may impact on two or more separate resources where the impact on each resource is relatively small, but where the effect of the total of those impacts on the environment is significant.)

The project would not considerably contribute to an existing significant cumulative impact.

— — X

D. Does the project have environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly?

The proposed project would not cause substantial adverse environmental effects on human beings, either directly or indirectly.

— — X

INITIAL STUDY CHECKLIST

REFERENCES

I. Aesthetics / Neighborhood Character

City of San Diego Progress Guide and General Plan.

Community Plan.

Local Coastal Plan.

II. Agricultural Resources / Natural Resources / Mineral Resources

City of San Diego Progress Guide and General Plan.

U.S. Department of Agriculture, Soil Survey - San Diego Area, California, Part I and II, 1973.

California Department of Conservation - Division of Mines and Geology, Mineral Land Classification.

Division of Mines and Geology, Special Report 153 - Significant Resources Maps.

Site Specific Report: _____

III. Air

California Clean Air Act Guidelines (Indirect Source Control Programs) 1990.

Regional Air Quality Strategies (RAQS) - APCD.

Site Specific Report:

IV. Biology

City of San Diego, Multiple Species Conservation Program (MSCP), Subarea Plan, 1997

City of San Diego, MSCP, "Vegetation Communities with Sensitive Species and Vernal Pools" maps, 1996.

City of San Diego, MSCP, "Multiple Habitat Planning Area" maps, 1997.

___ Community Plan - Resource Element.

___ California Department of Fish and Game, California Natural Diversity Database, "State and Federally-listed Endangered, Threatened, and Rare Plants of California," January 2001.

___ California Department of Fish & Game, California Natural Diversity Database, "State and Federally-listed Endangered and Threatened Animals of California," January 2001.

___ City of San Diego Land Development Code Biology Guidelines.

___ Site Specific Report:

V. Energy N/A

VI. Geology/Soils

√ City of San Diego Seismic Safety Study.

___ U.S. Department of Agriculture Soil Survey - San Diego Area, California, Part I and II, December 1973 and Part III, 1975.

√ Site Specific Report: *Preliminary Geotechnical Investigation and Fault Study, 1629 through 1651, and 1668 National Avenue, San Diego CA*, prepared by Leighton and Associates, Inc. and dated November 04, 2005.

√ Site Specific Report: *Addendum to the Preliminary Geotechnical Investigation and Fault Study, 1629 through 1651, and 1668 National Avenue, San Diego CA*, prepared by Leighton and Associates, Inc. and dated November 04, 2005.

VII. Historical Resources

√ City of San Diego Historical Resources Guidelines.

√ City of San Diego Archaeology Library.

___ Historical Resources Board List.

√ Barrio Logan Community Plan

Site Specific Report: Historical Assessment of the Building Located at 1629 National Avenue, San Diego CA 92113, prepared by Kathleen Crawford and dated November 2006.

VIII. Human Health / Public Safety / Hazardous Materials

San Diego County Hazardous Materials Environmental Assessment Listing, 2004.

San Diego County Hazardous Materials Management Division

FAA Determination

State Assessment and Mitigation, Unauthorized Release Listing, Public Use Authorized 1995.

Airport Comprehensive Land Use Plan.

Site Specific Report: Phase I Environmental Site Assessment for 1629-1651 National Avenue and 1668 National Avenue, San Diego CA, prepared by Environmental Business Solutions and dated December 12, 2005.

Site Specific Report: Phase I Environmental Site Assessment for 1629-1651 National Avenue and 1668 National Avenue, San Diego CA, prepared by Environmental Business Solutions and dated December 12, 2005.

IX. Hydrology/Water Quality

Flood Insurance Rate Map (FIRM).

Federal Emergency Management Agency (FEMA), National Flood Insurance Program - Flood Boundary and Floodway Map.

Clean Water Act Section 303(d) list, dated July, 2003, http://www.swrcb.ca.gov/tmdl/303d_lists.html.

X. Land Use

City of San Diego Progress Guide and General Plan.

Community Plan.

Airport Comprehensive Land Use Plan

City of San Diego Zoning Maps

___ FAA Determination

XI. Noise

___ Community Plan

___ San Diego International Airport - Lindbergh Field CNEL Maps.

___ Brown Field Airport Master Plan CNEL Maps.

___ Montgomery Field CNEL Maps.

San Diego Association of Governments - San Diego Regional Average Weekday Traffic Volumes.

___ San Diego Metropolitan Area Average Weekday Traffic Volume Maps, SANDAG.

___ City of San Diego Progress Guide and General Plan.

___ Site Specific Report:

XII. Paleontological Resources

City of San Diego Paleontological Guidelines.

Deméré, Thomas A., and Stephen L. Walsh, "Paleontological Resources City of San Diego," Department of Paleontology San Diego Natural History Museum, 1996.

___ Kennedy, Michael P., and Gary L. Peterson, "Geology of the San Diego Metropolitan Area, California. Del Mar, La Jolla, Point Loma, La Mesa, Poway, and SW 1/4 Escondido 7 1/2 Minute Quadrangles," California Division of Mines and Geology Bulletin 200, Sacramento, 1975.

___ Kennedy, Michael P., and Siang S. Tan, "Geology of National City, Imperial Beach and Otay Mesa Quadrangles, Southern San Diego Metropolitan Area, California," Map Sheet 29, 1977.

___ Site Specific Report: _____

XIII. Population / Housing

___ City of San Diego Progress Guide and General Plan.

Community Plan.

___ Series 8 Population Forecasts, SANDAG.

___ Other: _____

XIV. Public Services

___ City of San Diego Progress Guide and General Plan.

Community Plan.

XV. Recreational Resources

___ City of San Diego Progress Guide and General Plan.

Community Plan.

___ Department of Park and Recreation

___ City of San Diego - San Diego Regional Bicycling Map

___ Additional Resources: _____

XVI. Transportation / Circulation

___ City of San Diego Progress Guide and General Plan.

Community Plan.

___ San Diego Metropolitan Area Average Weekday Traffic Volume Maps, SANDAG.

___ San Diego Region Weekday Traffic Volumes, SANDAG.

___ Site Specific Report: *Los Vientos Residential Development Traffic Impact Study*, prepared by Katz, Okitsu & Associates and dated November 2006.

XVII. Utilities

Community Plan

XVIII. Water Conservation N/A

___ Sunset Magazine, New Western Garden Book. Rev. ed. Menlo Park, CA: Sunset Magazine.

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