

REPORT NO. CCDC-07-19

DATE ISSUED: October 24, 2007

ATTENTION: Council President and City Council  
Docket of October 30, 2007

ORIGINATING DEPT.: Centre City Development Corporation

SUBJECT: 15<sup>th</sup> & Commercial (block bounded by Imperial Avenue and 15<sup>th</sup>,  
16<sup>th</sup> and Commercial Streets) – Centre City Conditional Use  
Permit/Variance No. 2007-24 to Amend and Supersede  
Conditional Use Permit 88-1224 to Reconstruct an Existing  
Transitional Housing Facility and Add Residential and Educational  
Uses -- East Village Redevelopment District of the Expansion Sub  
Area of the Centre City Redevelopment Project – *Public Hearing*

COUNCIL DISTRICT: District 2

REFERENCE: None

STAFF CONTACT: Brad Richter, CCDC Current Planning Manager, 619-533-7115

REQUESTED ACTION: Consider Centre City Conditional Use Permit/Variance 2007-24 for the 15<sup>th</sup> & Commercial project to amend and supersede Conditional Use Permit 88-1224 to allow for the reconstruction of a transitional housing facility and add residential and educational uses to the site.

STAFF RECOMMENDATION: That the City Council adopt a Resolution approving Centre City Conditional Use Permit/Variance 2007-24.

SUMMARY: S.V.D.P. Management Inc. has submitted a request to amend Conditional Use Permit (“CUP”) 88-1224 to build a 12-story, 142-foot tall building on the south end of the block bounded by Imperial Avenue and 15<sup>th</sup>, 16<sup>th</sup> and Commercial streets. The existing CUP encompasses the entire block to allow an emergency center for the homeless, including meals, showers, permanent and temporary housing, and related support programs at the Joan Kroc Center (“JKC”) and Bishop Maher Center (“BMC”) buildings located on-site. The proposed project will replace the existing BMC building that provides transitional housing facilities (150 beds) in a 12-story building, accommodate the child day care center facilities currently located at the JKC, and add 64 income-restricted Living Units (plus one manager’s unit). The project will not increase the number of beds associated with the existing transitional housing on this site. The project includes a variance from the minimum streetwall height development standard for a one-story building located between two non-buildable setbacks (seismic fault and pre-existing utility easement).

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FISCAL CONSIDERATIONS: None at this time. However, the applicant has inquired about possible Redevelopment Agency financial assistance as part of the project funding, which is currently being reviewed by CCDC staff. The applicant requests review of this CUP/Variance at this time based on the merits of the request and without consideration of potential financial assistance in order to maintain already secured funding for the child day-care component of the project. Any consideration of Agency funding of the project will be brought forward to the Agency at a late date with a full analysis of any such request.

CENTRE CITY DEVELOPMENT CORPORATION RECOMMENDATION: On September 19, 2007, the Centre City Development Corporation voted unanimously to recommend approval of the project to the City Council.

COMMUNITY PARTICIPATION AND PUBLIC OUTREACH EFFORTS: The Centre City Advisory Committee ("CCAC"), downtown's Community Planning Group and Project Area Committee, reviewed the project at its September 8, 2007 meeting and voted unanimously to support the project. The East Village Association ("EVA") reviewed the project at its July meeting and voted to support the project. EVA recommended adding a condition of approval to the CUP to expand security camera monitoring on the adjoining streets.

#### BACKGROUND

The BMC and the adjacent JKC provide emergency services to the homeless under CUP 88-1224, which amended and superseded CUP 83-0193.1, which was originally approved in 1983 and amended in 1984 to revise landscaping and add a subterranean parking garage. CUP 88-1224 was approved in 1989 to allow an existing single-story warehouse to be remodeled, adding approximately 9,000 square feet of building area (on the site of the BMC) to accommodate 150 beds of transitional housing for homeless single men. While the CUP 88-1224 covers the entire approximately 60,000 square-foot block, the requested amendment results in substantive changes to only the southern one-third of the block, where the BMC is located. The BMC currently provides 150 beds of transitional housing in a prefabricated building originally constructed in 1977 that has outlived its usefulness and needs replacing as a larger, more functional facility. The project proposes a new 12-story building to accommodate the transitional housing facility (no increase in beds), and adds 64 permanent residential units (Living Units), one manager's unit, and three guest rooms (not for rent but for visiting staff and similar). In addition, the new building would accommodate the child day care/school facility that is currently sited in the JKC. The project requires amending a previously-approved and amended CUP, which requires City Council approval. The project application was submitted on May 24, 2007 and deemed complete on June 6, 2007.

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DEVELOPMENT TEAM

ROLE	FIRM/CONTACT	OWNED BY
Owner/Developer	S.V.D.P. Management Inc. Mike Hovsepian, Project Manager	See Board of Directors List (Attachment A) (Non-Profit Organization)
Architect	Austin Veum Robbins Partners Tom Vorkoper, Project Architect David De Castro, Project Architect	Doug and Deen Austin, Chris Veum, Randy Robbins (Privately Owned)

PROJECT DESCRIPTION

	Existing	Proposed
Site Area	60,329 sq.ft.	60,329 sq.ft.
Maximum Floor Area Ratio	3.0	3.0
Proposed Floor Area Ratio	1.5	2.93
Stories / Height	3 stories / 45 ft.	3-12 stories / 45-140 ft.
BMC Transitional Housing	Long-Term Single Men, up to 2-year stay: 150 beds	Long-Term Single Men, up to 2-year stay: 75 dorms/150 beds
JKC Transitional Housing	Short-Term Families, up to 120 days: 37 units Long-Term Families, up to 2- year stay: 29 units Long-Term Single Women, up to 2-year stay: 19 units	Short-Term Families, up to 120 days: 37 units Long-Term Families, up to 2- year stay: 29 units Long-Term Single Women, up to 2-year stay: 19 units
Residential/Permanent Housing	--	64 Living Units 1 Manager Unit
Child Day Care/ School	5,978 sq.ft.	19,408 sq.ft.
Related Services/Offices	Accessory	Accessory
Parking	125	141 (all employee parking, except one space for the manager of the Living Units)
Assessor's Parcel No.	535-622-06	535-622-06

DISCUSSION

SVDP is seeking approval of an amendment to existing CUP 88-1224 that covers the full block bounded by Imperial Avenue and 15<sup>th</sup>, 16<sup>th</sup>, and Commercial streets. The CUP allows for an emergency center (a.k.a., “emergency shelter”) in the two buildings located on the block (JKC and BMC) to provide dining and shower facilities, sleeping areas, counseling, skill workshops, transitional housing, day care, and related programs. Since the time of the original permit approval and subsequent amendments, the JKC has refined its residential programs to serve only homeless families and homeless single women (both short-term and long-term stays), and the BMC continues to serve the needs of homeless single men, as permitted. While the services and programs of operations taking place on the site have shifted somewhat over time, the facilities continue to provide the same services to the homeless as originally permitted.

The requested amendment involves the replacement of the existing BMC building to accommodate the existing 150 beds of transitional housing in a new, larger building; the relocation of the existing day care/school facilities from the JKC to the new building; and, the addition of permanent affordable rental units. No expansion of this or other regulated CUP uses (number of beds/dorms or allowed uses) or change in operations is proposed for either the replacement facility or those remaining at the JKC. The new (amended) CUP will supersede the existing CUP and requires a Process 5 (City Council) approval.

The developable portion of the site is limited by the presence of seismic faults just east of mid-block on Commercial Street, as well as a previously existing SDG&E easement at the southeast corner. As such, the footprint of the tower is generally located on the west half of the site and a smaller one-story building is situated between the fault setback zones and the SDG&E easement area. The Centre City Planned District Ordinance (PDO) allows projects with no-build zones such as these to be exempt from streetwall standards; however, the one-story building does not meet the PDO’s minimum 45-foot streetwall height and will require approval of a Variance.

Surrounding the project site are the Paul Mirabile Center and the Studio 15 Single Room Occupancy (SRO) hotel project (under construction) to the west across 15<sup>th</sup> Street; residential to the east across 16<sup>th</sup> Street; the Metropolitan Transit System (MTS) maintenance and storage yard to the north; and, a variety of older warehouses and surface parking lots in the surrounding vicinity.

PROJECT ANALYSIS

The project lies within the Mixed Commercial Land Use District which accommodates a wide variety of uses, including residential, commercial and service, transportation, retail, and the separately regulated uses proposed in the project. Under this land use classification, a CUP is required for either Homeless Facilities (including emergency (overnight) and day centers) or Transitional Housing facilities. Residential, child care facilities, and accessory uses are allowed by right. The Land Development Code (LDC) requires certain homeless facilities, including those provided in the project, to be separated by a quarter-mile from other homeless facilities;

however, the facilities pre-date the establishment of other homeless facilities in the vicinity, as well as the separation requirements, and therefore are allowed to continue (note that the uses subject to the quarter-mile requirement are not being expanded).

The applicant proposes to demolish the southerly building on the block and construct a 12-story, 140-foot tall, mixed-use building to house the 150 beds of transitional housing currently located in the BMC building, relocate and expand the child day care/school facility currently located at the JKC, and add new income-restricted residential uses (described below). The building would segregate uses by floor and with separate entries and circulation corridors, providing three floors of additional child day care, four floors of transitional housing, and four floors of "Living Units," which would be income-restricted to 40% Average Median Income (AMI). The 12<sup>th</sup> floor would include a community room and meditation garden, three "guest rooms" (not for rent but for visiting staff and similar), and security dog kennels. In addition, a separate one-story building is proposed for additional day care uses with an outdoor play facility. One hundred twenty-five (125) parking spaces currently exist under the JKC building, primarily serving as parking for staff of the facility and some residential parking (on an as-needed basis). The project will provide one level of parking under the new construction (connected to existing garage under the JKC) with 15 spaces to provide additional staff parking (not required) and one space for the resident manager of the living units (required). Access to the parking garage would share the existing driveway on 16<sup>th</sup> Street.

Existing Services/Facilities - The existing CUP allows for an emergency center (a.k.a., "emergency shelter") in the two buildings located on the block (JKC and BMC) to provide dining and shower facilities, sleeping areas, counseling, skill workshops, transitional housing, day care, and related programs. Since the time of the original permit approval and subsequent amendments, the JKC has refined its residential programs to serve only homeless families and single women (short term and long term bases), while the BMC has served, and will continue to serve, the long-term housing needs of homeless single men. Under the new (amending and superseding) CUP, the JKC will continue to function as a Homeless Facility including a day center and an emergency shelter with counseling offices, skill workshops, bathroom and shower facilities, kitchen and dining facilities, classrooms, chapel and offices. The CUP will include a condition that neither building on this site is to serve as a congregate meal facility offering meals to the general public (non-residents), as those activities currently take place immediately across the street at the Paul Mirabile Center. No expansion of this or other regulated CUP uses (number of beds/dorms or allowed uses) or change in operations is proposed for either the replacement facility or those remaining at the JKC.

Transitional Housing - The project will increase the square footage of the existing transitional housing facilities by over 8,500 square feet in a better organized and more functional space in the new building. Transitional housing facilities will occupy four floors of the new building (floors four through seven) and will include 75 dormitory rooms containing 150 beds for long-term stays (up to two years) for homeless single men. Dorm rooms will be approximately 240 square feet each. Each floor will include laundry and shower facilities, community gathering rooms, offices, and storage. Hours of operation will continue the existing 24/7 practice. Residents of this facility

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will have access to several accessory programs which are available only to the residents of the JKC and BMC, including counseling, child day care, skill workshops and recreational facilities.

Child Day Care – Day care programs are currently provided at the JKC for residents of the JKC and/or BMC. With this project, the day care programs would be relocated to the new building and significantly enhanced and would continue to serve only the residents of these two buildings. The existing space at the JKC would be reutilized as needed office space. Day care programs will be spatially and programmatically separate from the transitional housing and other residential tenants. This use will be located on floors one through three, with direct access to and from the JKC and separate stairways and elevators, as well as the separate one-story building. The facilities will serve infants, pre-school, kindergarteners, and teens and will include classrooms for after school programs, outdoor play area, counseling rooms, and offices.

Living Units – Living Units are a separately regulated use under the Municipal Code, subject to special development regulations. The project proposes 64 Living Units restricted to persons with income at or below 40% AMI, and a one-bedroom manager's unit, each with individual kitchen and bathroom facilities, which exceeds minimum code requirements. Parking is not required for living units at this income level; however, one parking space will be provided for the manager's unit. These residences will occupy levels 8 through 11 in the new building and will include access to a common outdoor terrace on level 8 as well as the rooftop amenity area.

## Design Analysis

The proposed project design utilizes an interesting mix of colors, materials, and wall surfaces to create an attractive development for this neighborhood. The tower incorporates an attractive mix of horizontal and vertical elements such as fins, terraces, and balconies in concrete (painted, exposed, and stained), brick, metal, glass, and "Trespa" (colored synthetic material) panels articulated in burnt orange, brown, and red colors. The most prominent elevation on Commercial Street includes a transparent three-story base with a strong corner statement and an upper façade animated by multi-colored panels that provide shade and privacy to the units. Fifteenth Street has a more restrained design, with subtle finishes of concrete, redwood, and aluminum reflecting the contemporary industrial aesthetic of the redeveloping neighborhood. The interior elevations (north and east) complement the street facades with similar compositions and use of materials. These elevations include significant glazing, except for two wall planes facing north, at the location of a stair tower (west) and shear walls (east), which are proposed to be articulated with patterns of stained concrete and may include artwork in the future (design/type to be determined).

The single-story building is 18 feet tall, with raised parapets for mechanical screening set back approximately 15 feet from the property line. The area surrounding the building will be an outdoor play area with an attractive perimeter wall consisting of alternating panels of honed exposed aggregate block wall and "green screens" around the perimeter (planters with growing vines that attach to open metal frame, designed to support such growth). While the PDO exempts projects from meeting streetwall standards in situations where physical constraints prohibit development (such as seismic fault no-build zones), projects are required to meet these standards where buildings are proposed. At 18 feet in height along the Commercial Street frontage, this building does not meet the minimum 45-foot streetwall height; therefore, approval of a Variance is required.

There is no direct access to 15<sup>th</sup> Street by pedestrians or vehicles from Commercial Street (Fire Lane only), as this street is subject to a separate right-of-way use agreement with the City. A solid fence spans the street and connects to the buildings on either side, so that the area can be used as an outdoor "commons" for adjacent residents and users of the shelter facilities. While the use and design of this area is not formally a part of the current application or permit, it is adjacent to, and will be utilized by, this project. The applicant proposes to upgrade the fencing to coordinate with the proposed project, which would significantly enhance the appearance of this area.

#### CONDITIONAL USE PERMIT FINDINGS

Under Section 126.0305 of the San Diego Municipal Code, the following four findings must be made in order to approve a CUP, as follows:

1. *The proposed use or development will not adversely affect the applicable land use plan.*

The facility has operated in downtown San Diego for 30 years, providing valuable services to the needy members of the community, including the homeless, those at-risk of becoming homeless, and their families. The project replaces a deteriorating building that currently provides the same uses as those proposed and which are allowed in this land use district with approval of a CUP. The project will provide a new building that improves the living conditions of the transitional residents, including upgraded day care facilities for their children, and increase the supply of affordable housing in this vicinity.

2. *The proposed use or development will not be detrimental to the public health, safety, and welfare.*

The proposed use will not be detrimental to, but rather contribute to public health, safety, and welfare by providing members of our community with needed services and living facilities. The proposed hours of operation and conditions of approval will ensure that the use is not a detriment to the public health, safety, and welfare of the surrounding neighborhood.

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3. The proposed use or development will comply to the maximum extent feasible with the regulations of the Land Development Code.

The proposed development continues operations and programs that have existed on-site and complied with the regulations affecting the site for 30 years. The facility is designed, and will continue to operate, in conformance with the regulations of the City's Land Development Code and the Centre City Planned District Ordinance.

4. The proposed use is appropriate at the proposed location.

The proposed project replaces an aged facility that is currently located on this site and operates in conjunction with the adjacent programs and facilities at the JKC, which are both covered under a single CUP. The site is within the Mixed Commercial District which allows the proposed use with approval of a CUP.

#### VARIANCE FINDINGS

Findings - In order to grant a Variance request, the following findings must be found:

1. There are special circumstances or conditions applying to the land or premises for which the Variance is sought that are peculiar to the land or premises and do not apply generally to the land or premises in the neighborhood, and these conditions have not resulted from any act of the applicant after the adoption of the applicable zoning regulations.

Development of this site is constrained by the two seismic faults located just east of mid-block on Commercial Street, as well as a previously existing SDG&E easement at the southeast corner. The faults and the easement are both non-buildable areas and result in the project not being able to meet streetwall development standards along 89 feet of the 201-foot length of the Commercial Street frontage and all 100 feet of the 16<sup>th</sup> Street frontage. The project proposes a one-story building outside these setbacks to occupy 32 feet of the Commercial Street frontage. At 18 feet in height along this frontage, this building does not meet the minimum 45-foot streetwall height established by the PDO. Additional floor levels are not needed for this facility and are limited by the relatively small size of the development footprint (between the no-build zones).

2. The circumstances or conditions are such that the strict application of the regulations of the Land Development Code would deprive the applicant of reasonable use of the land or premises and the Variance granted by the City is the minimum Variance that will permit the reasonable use of the land or premises.

The no-build setbacks restrict the use of a significant portion of the project site. The one-story building is proposed to provide necessary additional floor area for the child day care facility that cannot be accommodated in the main building because building code restrictions do not allow building area for toddlers to be above grade level. This building assists the

project in meeting streetwall development standards along the length of the project site where possible. The Variance relating to streetwall height is the minimum required to allow use of this portion of the development site.

3. The granting of the Variance will be in harmony with the general purpose and intent of the regulations and will not be detrimental to the public health, safety or welfare.

PDO development regulations are intended to shape the form and pattern of redevelopment to create a physical environment that is attractive, functional and conducive to living and working downtown. The intent of streetwall development standards is to enhance the pedestrian realm by providing a consistent, activated and attractive streetwall in all new development. The project strives to meet the intent of these standards by providing an attractive landscaped fence along the perimeter adjacent to the no-build zones and enclosed building area, where possible. Given the significant reduction in developable area, the project incorporates an attractive design for the one-story building to achieve the intent of the streetwall development standards to create a project that is compatible with the redeveloping context of the neighborhood. Aside from the requested Variance, which only results in an aesthetic impact, the project will not be detrimental to the public health, safety or welfare.

4. The granting of the Variance will not adversely affect the applicable land use plan.

The project site is within the Mixed Commercial Land Use District which accommodates a wide variety of uses, including residential, commercial and service, transportation, retail, and the separately regulated uses proposed in the project. Under this land use classification, a CUP is required for either Homeless Facilities (including emergency (overnight) and day centers) or Transitional Housing facilities. Residential, child care facilities, and accessory uses are allowed by right. The granting of the Variance would only provide relief from strict application of the minimum streetwall height standard in order to allow additional building area within a constrained development site, which would not negatively affect the applicable land use plan.

Streetscape Design - The project will be required to install CCDC standard paving and CCDC standard street lights on Commercial, 15<sup>th</sup>, and 16<sup>th</sup> streets. Chinese Evergreen Elm trees will be planted on Commercial, 15<sup>th</sup>, and 16<sup>th</sup> streets. The wall across 15<sup>th</sup> Street will be required to be designed to be consistent with the perimeter wall around the playground, consisting of exposed aggregate concrete masonry units, alternating with planted green screen fencing.

Consistency with Plans - The Downtown Community Plan and East Village Focus Plan encourage a diversity of commercial opportunities, housing types and uses. The project provides a new mixed-use building to house the 150 beds of transitional housing currently located on-site, relocate and expand the child day care center that is currently located at the JKC, and add 64 new income-restricted residential units, which will serve needy members of the community, including the homeless, those at-risk of becoming homeless, and their families.

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Environmental Impact – Under the 2006 Final Environment Impact Report (FEIR), an Environmental Secondary Study is prepared for all developments in the Centre City area in order to evaluate the project's compliance with the Downtown Community Plan and Planned District Ordinance and, therefore, the findings and conclusions of the FEIR. Since the project has been found to be in compliance with these planning documents, no further environmental review is required.

CONCLUSION

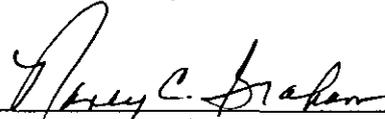
The project will significantly improve the transitional housing and day care facilities located on-site and add much-needed affordable housing in an attractive new building. The project is consistent with the Downtown Community Plan and complies with all requirements of the Centre City PDO and Land Development Code (with the granting of the Variance). Therefore, staff recommends that the City Council approve Centre City Conditional Use Permit/Variance 2007-24 subject to the conditions listed in the draft Permit.

Respectfully submitted,

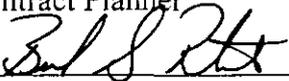
Concurred by:



Suzanne Drolet  
Contract Planner



Nancy C. Graham  
President



Brad Richter  
Current Planning Manager

Attachments: A – SVDP Board of Directors List  
B - Draft Centre City Conditional Use Permit/Variance No. 2007-24  
C - Environmental Secondary Study  
Basic Concept/Schematic Drawings

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ATTACHMENT A

S.V.D.P. Management, Inc.  
(dba Father Joe's Villages)

Board of Directors 2007 Roster (Rev 04-17-07)

**Bob Adelizzi** – VC Strategic  
Planning (2004-2007)  
Temple Inland, Inc. (ret)

**Mukesh Assomull** (2006-2009)  
Arlen Capital, Inc.

**Charles Black** (2006-2009)  
Irvine Company

**Steve Boudreau** – Secretary (1996-  
2007)  
Boudreau, Albert & Wohlfell

**Henry Burdick** - MV&K Board Chair  
(2001-2007)  
Martha's Village & Kitchen

**Steve Conway** – VC Retail/Auto  
Committee (1993-2007)  
Xitron Technologies

**Bob Fischer** – Treasurer (1996-2007)  
Ernst & Young (ret.)

**Steve Francis** – Board  
Chairman (1996-2007)  
AMN Healthcare, Inc.

**Vince Kasperick** SVDPV Board Chair,  
(2005-2007)  
AimLoan.com

**Jackie Jennings** (1996-2007)  
Johnson & Jennings Contracting

**David Malcolm** (1996-2007)  
Political/Fundraising Counsel

**James Mulvaney, Sr.** (2001-2007)  
Mulvaney, Kahan & Barry

**Richard Norling** (2003-2007)  
Premier, Inc.

**Joe Panetta** (2006-2009)  
BIOCOM

**Charles Parisi** - TYV Board Chair  
(2003-2007)  
Retirement Strategies Group

**Thomas W. Sudberry, Jr.** (2007-2009)  
Sudberry Properties, Inc.

**Bill VanDeWeghe** (2007-2009)  
The Christianson Group (ret.)

**Linc Ward** (1996-2007)  
The Christianson Group (ret.)

**Ed Witt** (2002-2006)  
Witt Lincoln-Mercury

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**S.V.D.P. Management, Inc.**  
**(dba Father Joe's Villages)**  
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VanDeWeghe, Bill

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Witt, Ed

Witt Lincoln-Mercury  
San Diego Auto Collection  
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Home: (858) 456-0676  
E-mail: [edwi@aol.com](mailto:edwi@aol.com)

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EXHIBIT B

**RECORDING REQUESTED BY:**

Centre City Development Corporation  
Architecture and Planning Division  
225 Broadway, #1100  
San Diego, CA 92101

**AND WHEN RECORDED MAIL TO:**

Centre City Development Corporation  
Architecture and Planning Division  
225 Broadway, #1100  
San Diego, CA 92101

**THIS SPACE FOR RECORDER'S USE ONLY**

**NOTE: COUNTY RECORDER, PLEASE RECORD AS  
RESTRICTION ON USE OR DEVELOPMENT  
OF REAL PROPERTY AFFECTING THE  
TITLE TO OR POSSESSION THEREOF**

**CENTRE CITY CONDITIONAL USE PERMIT/VARIANCE NO. 2007-24**

**(Supersedes CUP No. 88-1224)**

**15<sup>th</sup> & COMMERCIAL**

**1501 Imperial Avenue**

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**CENTRE CITY CONDITIONAL USE PERMIT NO. 2007-24  
(Amendment to CUP No. 88-1224)**

**15<sup>TH</sup> & COMMERCIAL**

This Conditional Use Permit is granted by the City of San Diego City Council to SVDP Management, Inc., Owner/Permittee, pursuant to San Diego Municipal Code Chapter 12, Article 6, Division 3. The site is located at 1501 Imperial Avenue in the East Village District of the Downtown Community Planning Area. The project site further described as Lots 1 through 12 of Block 56 of Sherman's Addition, Map Nos. 278 and 856 in the City of San Diego, County of San Diego, State of California, according to the map thereof on file in the Office of the County Recorder of San Diego County, is located in the Mixed Commercial District of the Downtown Community Plan Area; and,

Subject to the terms and conditions set forth in this Permit, permission is granted to the Permittee to construct and operate buildings and uses as described and identified by size, dimension, quantity, type and location as follows and on the approved exhibits on file in the offices of Centre City Development Corporation (CCDC):

1. Permitted Uses

This Permit amends and supersedes Conditional Use Permit 88-1224. Permitted uses for the site shall consist of Transitional Housing, Homeless Facilities, Child Day Care, 64 low-income rental Living Units and one manager's unit (for the Living Units) taking place within the following two buildings:

**Joan Kroc Center:** Existing three-story building (45 feet) with 73,950 square feet of development occupying 40,207 square feet of the project site, as illustrated on the approved drawings on file in CCDC offices.

**Bishop Maher Center:** Twelve-story building (142 feet) and one-story building (18 feet) with 103,347 square feet of development occupying 20,122 square feet of the project site, as illustrated on the approved Basic Concept/Schematic Drawings.

The total floor area ratio of the development for all uses above ground shall not exceed 2.93. Building heights shall be measured to the top of the parapet of the uppermost floor, with roof equipment enclosures, elevator penthouses, mechanical screening and architectural elements above this height permitted per the Centre City Planned District Ordinance (PDO).

Permitted uses shall be subject to the conditions listed below.

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2. Transitional Housing

The Transitional Housing facility shall be operated out of the Bishop Maher Center and Joan Kroc Center offering both short-term and long-term stays for families and single adults. Core services shall be limited to the residents and may include case management, food service, laundry, mail, phone, and safe storage for personal possessions. No services shall be provided to non-residents of the facility. The facility shall provide 24-hour onsite management and security staff.

The facilities shall include the following:

Bishop Maher Center – Occurring on floors 4 through 7, this facility shall include up to 75 dormitory rooms containing 150 beds for long-term stays not to exceed two-years for single men.

Joan Kroc Center – This facility may provide up to 37 units for short-term stays not to exceed 120 days for families; up to 29 units for long-term stays not to exceed two-years for families; and up to 19 units for long-term stay not to exceed two-years for single women.

3. Homeless Facilities (Joan Kroc Center)

- a) The Permittee shall operate a Homeless Facility, including a Day Center and Emergency Shelter, with counseling offices, skill workshops, bathrooms and shower facilities, kitchen and dining facilities, classrooms, chapel and offices.
- b) The facility shall not operate as a Congregate Meal Facility offering meals to the general public.
- c) The facility may be open 24-hours a day, seven days of the week.
- d) All activities associated with the facilities, including the serving of food and beverages shall occur within the confines of the building.
- e) Patrons of the facilities shall not loiter on the sidewalks directly in front of the facility. A designated waiting area shall be established within the enclosed entry area for participants and employees.
- f) Patrons of the facilities shall be advised by facility staff of all rules of the facility and be discouraged from loitering in the area before, during, and after the hours of operation.
- g) The Permittee shall maintain the premises and adjacent public sidewalks free of litter.

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- . h) If at any time the City or CCDC receive complaints that are validated as violations of the terms of the Permit or the activities permitted under the Permit constitute a “public nuisance” as defined by the City of San Diego Municipal Code, then a public hearing shall be scheduled before the City Council to review the Permit. If after holding a duly noticed public hearing, it is determined that violations of the Permit exist or that any or all aspects of the activities permitted by this Permit constitute a public nuisance, then the conditions of the Permit may be modified or extended, or the Permit revoked.

8. Living Units (Bishop Maher Center)

Occupying floors 8 through 11, the project shall provide 64 Living Units and one manager’s unit. Living units shall be restricted to those persons with household income at or below 40 percent of area median income as most published by the California Department of Housing and Community Development for San Diego County, as adjusted for a one-person household. The project owner shall enter into an agreement with the City of San Diego Housing Commission for the review and enforcement of such restrictions. Permittee shall comply with all of the conditions as listed in Section 156.0315(1-12) of the Centre City Planned District Ordinance with the following exception to condition number 11 which is hereby revised as stated above.

9. Child Care (Bishop Maher Center)

Occupying floors 1 through 3 of the tower, the entire single-story building, and the at-grade outdoor playground, the child care facility shall only serve the child care needs of the residents of the Joan Kroc Center and/or Bishop Maher Center. The child care center shall be physically separate from the other uses taking place onsite. All outdoor play and activity areas shall be separated from vehicular circulation, parking areas, equipment enclosures, storage areas, and refuse and recycling storage areas.

10. Parking

The project shall include 141 parking spaces for use by employees, residents and visitors of the facility. All spaces shall be designed to City Standards. In addition, a minimum of two (2) motorcycle spaces shall be provided along with storage area for a minimum of 28 bicycles. Any subterranean parking facilities encroaching into the public right-of-way shall be located a minimum of six feet back from the face of curb to a depth of eight feet below sidewalk grade, measured to the outside of any shoring. An Encroachment Removal and Maintenance Agreement shall be obtained from the City to allow any encroachment of the garage into the public right-of-way.

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11. Conditions on Project Construction

The following conditions shall apply to the new construction of the Bishop Maher Center:

12. Variance

The City Council has granted a Variance to allow the project to reduce the minimum streetwall height for the single story building from 45 feet to 18 feet, as shown in the Basic Concept/Schematic Drawings.

13. Development Impact Fees

The project will be subject to Centre City Development Impact Fees. For projects containing commercial space(s), the Permittee shall provide to the City's Facilities Financing Department the following information at the time of application for building permit plan check: 1) total square footage for commercial lease spaces and all areas within the building dedicated to support those commercial spaces including, but not limited to: loading areas, service areas and corridors, utility rooms, and commercial parking areas; and 2) applicable floor-plans showing those areas outlined for verification. In addition, it shall be responsibility of the Permittee to provide all necessary documentation for receiving any "credit" for existing buildings to be removed.

14. Urban Design Standards

The proposed development, including its architectural design concepts and off-site improvements, shall be consistent with the Centre City PDO and Centre City Streetscape Manual. These standards, together with the following specific conditions, will be used as a basis for evaluating the development through all stages of the design review process.

- a) Architectural Standards - The architecture of the development shall establish a high quality of design and complement the design and character of the East Village District and the site's location on 15<sup>th</sup>, Commercial, and 16<sup>th</sup> streets as shown in the approved Basic Concept/Schematic Drawings on file with CCDC. The project shall utilize a coordinated color scheme consistent with the approved Basic Concept/Schematic Drawings.
- b) Form and Scale - The project shall consist of a 12-story tower with a maximum building height of 142 feet and a one-story building with a maximum building height of 18 feet, measured to the parapet of the uppermost habitable floor of each building, and with roof equipment enclosures, elevator penthouses, and mechanical screening above this height permitted per the Centre City Planned District Ordinance. All building elements shall be complementary in form, scale and architectural style.

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- c) Fencing - Where no-build zones occur at the south and east property lines, the project shall incorporate permanent fencing as illustrated on the Basic Concept/Schematic Drawings. The project shall also include upgrades to the existing fencing across 15<sup>th</sup> Street to coordinate with the perimeter fencing described above.
- d) Tower Blank Walls - The approved project design includes patterns of stained concrete to articulate the large solid wall surfaces on the north elevations of the tower. The applicant may, upon CCDC review and approval, provide an art feature (possibly mural) of for these areas as an alternative to the approved design of stained concrete patterning. The artwork is to be designed by the applicant. Drawings and specifications for the art feature shall be submitted with 50% Construction Drawings.
- e) Building Materials - All building materials shall be of a high quality as shown in the Basic Concept/Schematic Drawings and approved materials board. All materials and installation shall exhibit high-quality design, detailing, and construction execution to create a durable and high quality finish. The base of the buildings shall be clad in upgraded materials and carry down to within 1 (one) inch of finish sidewalk grade, as illustrated in the approved Basic Concept/Schematic Drawings. Upgraded street façade materials shall wrap to the interior property line elevations to the nearest architectural definition line or a minimum of ten feet, as appropriate. Any surface materials shall employ larger modules and full-corner profiles to create a substantial and non-veneer appearance. All downspouts, exhaust caps, and other additive elements shall be superior grade for urban locations, carefully composed to reinforce the architectural design. All roof drains shall be incorporated into the building walls. Reflectivity of the glass shall be the minimum reflectivity required by Title 24.
- All construction details shall be highest standard and executed to minimize weathering, eliminate staining, and not cause deterioration of materials on adjacent properties or the public right of way. No substitutions of materials or colors shall be permitted without the prior written consent of CCDC. A final materials board which illustrates the location, color, quality and texture of proposed exterior materials shall be submitted with 100% Construction Drawings and shall be consistent with the materials board approved with the Basic Concept/ Schematic Drawings.
- f) Street Level Design - Street level storefront windows shall be clear glass and may be lightly tinted. Opaque glass may be used on the ground floor street frontages where child care uses occur inside the building but may not obscure more than 30% of each storefront. Architectural features such as awnings and other design features which add human scale to the streetscape are encouraged where they are consistent with the design theme of the structure. Exit corridors shall provide a finished appearance to the street with street level exterior finishes wrapping into the openings a minimum of ten feet.

All exhaust caps, lighting, sprinkler heads and other elements on the undersides of all balconies and projection surfaces shall be logically composed and placed to minimize their visibility, while meeting code requirements. All soffit materials shall be high quality and consistent with adjacent elevation materials (no stucco or other inconsistent material), and incorporate drip edges and other details to minimize staining and ensure long-term durability.

Mechanical intake and exhaust louvers must be designed to integrate within the overall architectural composition, and painted and textured to match the adjacent surface.

- g) Utilitarian areas - Areas housing trash, storage, or other utility services shall be located in the garage or otherwise completely concealed from view of the public right-of-way and adjoining developments, except for utilities required to be exposed by the City or utility company. The project shall provide trash and recyclable material storage areas per Municipal Code Sections 142.0810 and 142.0820. Such areas shall be provided within an enclosed building/garage area and shall be kept clean and orderly at all times. The project shall implement a recycling program to provide for the separation of recyclable materials from the non-recyclable trash materials.

The Developer shall prepare a plan which identifies the location of curbside parking control zones, parking meters, fire hydrants, trees, and street lights. Such plan shall be submitted in conjunction with 100% Construction Drawings.

- h) Mail/Delivery Locations - It is the developer's responsibility to coordinate mail service and mailbox locations with the United States Postal Service and to minimize curb spaces devoted to postal/loading use. The developer shall locate all mailboxes and parcel lockers outside of the public right-of-way, either within the building or recessed into a building wall.

- i) Access/Loading Bay - Vehicular access serving the site shall be limited to 16<sup>th</sup> Street, utilizing the existing curb cut.

- j) Circulation and Parking - Subterranean parking shall meet the requirements of the Building Inspection Department, Fire Department, and City Engineer. All parking shall be mechanically ventilated. The exhaust system for mechanically ventilated structures shall be located to mitigate noise and exhaust impacts on the residential units, adjoining properties, and public right-of-way.

The Developer shall prepare a plan which identifies the location of curbside parking control zones, parking meters, fire hydrants, trees, and street lights. Such plan shall be submitted in conjunction with 100% Construction Drawings.

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- k) Open Space/Project Amenities - A landscape plan that illustrates the relationship of the proposed on- and off-site improvements and the location of seating, water and electrical hookups shall be submitted with 100% Construction Drawings.
- l) Roof Tops - A rooftop equipment and appurtenance location and screening plan shall be prepared and submitted with 100% Construction Drawings. Any roof-top mechanical equipment must be grouped, enclosed and screened from uphill and surrounding views. All window washing davits must be designed to be stored in a reclined position, out of sight from off-site views.
- m) Signing - All signs shall comply with the City of San Diego Sign Regulations and the Centre City PDO.
- n) Lighting - A lighting plan which highlights the architectural qualities of the proposed project and also enhances the lighting of the public right-of-way shall be submitted with 100% Construction Drawings. All lighting shall be designed to avoid illumination of adjoining properties.
- o) Noise Control - All mechanical equipment, including but not limited to, air conditioning, heating and exhaust systems, shall comply with the City of San Diego Noise Ordinance and California Noise Insulation Standards as set forth in Title 24 of the California Code of Regulations. All mechanical equipment shall be located to mitigate noise and exhaust impacts on adjoining development, particularly residential. Developer shall provide evidence of compliance at 100% Construction Drawings.
- p) Energy Considerations - The design of the improvements shall include, where feasible, energy conservation construction techniques and design, including cogeneration facilities, and active and passive solar energy design. The Developer shall demonstrate consideration of such energy features during the review of the 100% Construction Drawings.
- q) Street Address - Building address numbers shall be provided that are visible and legible from the public right-of-way.

15. On-Site Improvements

All off-site and on-site improvements shall be designed as part of an integral site development. An on-site improvement plan shall be submitted with the 100% Construction Drawings. The on-site landscaping shall establish a high quality of design and be sensitive to landscape materials and design planned for the adjoining public rights-of-way.

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16. Off-Site Improvements

The following public improvements shall be installed in accordance with the Centre City Streetscape Manual. The Manual is currently being updated and the developer shall install the appropriate improvements according to the latest requirements at the time of Building Permit issuance:

	<b>Commercial Street</b>	<b>15<sup>th</sup> Street</b>	<b>16<sup>th</sup> Street</b>	<b>Imperial Avenue</b>
Paving	CCDC Standard	CCDC Standard	CCDC Standard	Ballpark Paving
Street Trees	Chinese Evergreen Elm	Chinese Evergreen Elm	Mexican Fan Palm	Palo Alto Sweet Gum
Street Lights	CCDC Standard	CCDC Standard	CCDC Standard	Gateway

All trees shall be planted at a minimum 36-inch box size with tree grates provided as specified in the CCDC Streetscape Manual, and shall meet the requirements of Title 24. Tree spacing shall be accommodated after street lights have been sited, and generally spaced 20 to 25 feet on center. All landscaping shall be irrigated with private water service from the subject property.

The developer will be responsible for evaluating, with consultation with CCDC, whether any existing trees within the right-of-way shall be maintained and preserved. No trees shall be removed prior to obtaining a Tree Removal Permit from the City Streets Division per City Council Policy 200-05.

- a. Street Lights - All existing lights shall be evaluated to determine if they meet current CCDC and City requirements, and shall be modified or replaced if necessary.
- b. Sidewalk Paving - Any specialized paving materials shall be approved through the execution of an Encroachment Removal and Maintenance Agreement with the City.
- c. On-Street Parking - The developer shall maximize the on-street parking wherever feasible.
- d. Litter Containers - Six CCDC Standard public trash receptacles shall be provided (one at each corner and one mid-block on 15<sup>th</sup> and 16<sup>th</sup> streets).
- e. Public Utilities (sewer, water and storm drain) - The Developer shall be responsible for the connection of on-site sewer, water and storm drain systems from the development to the City Utilities located in the public right-of-way. Sewer, water, and roof drain laterals shall be connected to the appropriate utility mains within the street and beneath the

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sidewalk. The Developer may use existing laterals if acceptable to the City, and if not, Developer shall cut and plug existing laterals at such places and in the manner required by the City, and install new laterals. Private sewer laterals require an Encroachment Maintenance and Removal Agreement.

Public sewer facilities are located in 15<sup>th</sup> Street adjacent to the project site. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the Building Permit plan check. The developer shall provide evidence satisfactory to the Metropolitan Wastewater Department Director that the existing 10-inch public sewer main will have adequate capacity and proper velocity as a result of the increase of flow from the project.

Prior to the submittal of any public improvement drawings, the developer shall provide evidence satisfactory to the Metropolitan Wastewater Department Director that each condominium will have its own sewer lateral or provide CC&Rs for the operation and maintenance of on-site private sewer facilities that serve more than one ownership.

Public water facilities are located within the 15<sup>th</sup> and 16<sup>th</sup> streets' rights-of-way adjacent to the project site. The developer will be required to 'kill' all unused water services adjacent to the project site and install new services where appropriate. Service kills require an engineering permit and must be shown on a public improvement plan. If and when the developer submits for a tentative map or tentative map waiver, the Water Department will require CC&Rs to address the operation and maintenance of the private on-site water system serving the project. No structures or landscaping of any kind shall be installed within 10 feet of water facilities.

All roof drainage and sump drainage, if any, shall be connected to the storm drain system in the public street, or if no system exists, to the street gutters through sidewalk underdrains. Such underdrains shall be approved through an Encroachment Removal Agreement with the City. The project shall comply with the City of San Diego Storm Water Management and Discharge Control Ordinance and the storm water pollution prevention requirements of Chapter 14, Article 2, Division 1 and Chapter 14, Article 2, Division 2 of the Land Development Code.

- f. Franchise Public Utilities - The Developer shall be responsible for the installation or relocation of franchise utility connections including, but not limited to, gas, electric, telephone and cable, to the project and all extensions of those utilities in public streets. Existing franchised utilities located above grade serving the property and in the sidewalk right-of-way shall be removed and incorporated into the adjoining development where feasible.
- g. Fire Hydrants - If required, the Permittee shall install fire hydrants at locations satisfactory to the Fire Department and Development Services Department.

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Backflow Preventers - The developer shall locate all water meters and backflow preventers in locations satisfactory to the Water Utilities Department and CCDC. Backflow preventers shall be located outside of the public right-of-way adjacent to the project's water meters, either within the building, a recessed alcove area, or within a plaza or landscaping area. The devices shall be screened from view from the public right-of-way. All items of improvement shall be performed in accordance with the technical specifications, standards, and practices of the City of San Diego's Engineering and Building Inspection Departments and shall be subject to their review and approval. Improvements shall meet the requirements of Title 24 of the State Building Code.

17. Removal and/or Remedy of Soil and/or Water Contamination

The Developer shall (at its own cost and expense) remove and/or otherwise remedy as provided by law and implementing rules and regulations, and as required by appropriate governmental authorities, any contaminated or hazardous soil and/or water conditions on the Site. Such work may include without limitation the following:

- a. Remove (and dispose of) and/or treat any contaminated soil and/or water on the Site (and encountered during installation of improvements in the adjacent public rights-of-way which the Developer is to install) as necessary to comply with applicable governmental standards and requirements.
- b. Design and construct all improvements on the Site in a manner which will assure protection of occupants and all improvements from any contamination, whether in vapor or other form, and/or from the direct and indirect effects thereof.
- c. Prepare a site safety plan and submit it to the appropriate governmental, CCDC, and other authorities for approval in connection with obtaining a Building Permit for the construction of improvements on the Site. Such site safety plan shall assure workers and other visitors to the Site of protection from any health and safety hazards during development and construction of the improvements. Such site safety plan shall include monitoring and appropriate protective action against vapors and/or the effect thereof.
- d. Obtain from the County of San Diego and/or California Regional Water Quality Control Board and/or any other authorities required by law any permits or other approvals required in connection with the removal and/or remedy of soil and/or water contamination, in connection with the development and construction on the site.
- e. If required due to the presence of contamination, an impermeable membrane or other acceptable construction alternative shall be installed beneath the foundation of the building. Drawings and specifications for such vapor barrier system shall be submitted for review and approval by the appropriate governmental authorities.

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18. Environmental Impact Mitigation and Archaeological/Paleontological Protection

Qualified archaeological and paleontological monitors shall be retained to carefully monitor the excavation and grading activities while the project is underway, and to implement mitigation measures and/or mitigation monitoring requirements as identified in the Secondary Environmental Study. Prior to issuance of any excavation or Grading Permit, the Developer shall submit a Letter of Qualifications for each monitoring agent to CCDC. The Letter of Qualifications shall include the name of the firm and names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG); qualifications to perform the requisite monitoring and implementation measures; and, Monitoring Reports based on the results of a site specific record search (1/4 mile radius) on the subject property and the requirements of mitigation measures in the Secondary Environmental Study.

19. Model

Prior to obtaining a Building Permit, the Permittee shall provide a one-inch (1") to fifty-foot (50') scale block building model which illustrates the true scale of the buildings on the site based on the building facade and the floor plate of the structure from the ground floor to and including the rooftop. No base is required. Landscaping at the ground level shall also be shown. Architectural detail such as windows, door, and balconies shall not be shown. Other building elements and articulation less than three feet in scaled dimension need not be shown.

The model shall be made of solid acrylic plastic (e.g., Lucite, Plexiglas), be colored solid white and be compatible with the scale and contours of the model of downtown on display at the Centre City Development Corporation's Downtown Information Center. Upon acceptance by CCDC, the model shall be installed by the developer or his designated representative on the model of downtown and the model shall become the property of the Centre City Development Corporation for its use.

20. Construction Fence

Developer shall install a construction fence pursuant to specifications of, and a permit from, the City Engineer. The fence shall be solid plywood with wood framing, painted a consistent color with the project's design, and shall contain a pedestrian passageway, signs, and lighting as required by the City Engineer. The fencing shall be maintained in good condition and free of graffiti at all times.

21. Development Identification Signs

Prior to commencement of construction on the Site, the Developer shall prepare and install, at its cost and expense, two signs on the barricades around the Site which



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The undersigned Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Permittee hereunder.

By \_\_\_\_\_  
Father Joseph Carroll  
SDVP Management, Inc. Owner/ Permittee

\*\*\*\*\*

State of California

County of San Diego

On \_\_\_\_\_ before me, \_\_\_\_\_,  
Date Name, Title of Officer

Personally appeared \_\_\_\_\_,  
Name(s) of Signer(s)

\_\_\_\_ Personally known to me - OR -

\_\_\_\_ Proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she they executed the same in his/her/their authorized capacity (ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

\_\_\_\_\_  
Signature of Notary

000841

ATTACHMENT C

**FINAL**

**ENVIRONMENTAL SECONDARY STUDY**

**FOR THE PROPOSED**

**15<sup>TH</sup> AND COMMERCIAL PROJECT**

**SEPTEMBER 2007**

**Prepared for:** *The Redevelopment Agency of  
The City of San Diego  
600 B St., Suite 400  
San Diego, CA 92101*

**Preparation Administered by:** *Centre City Development Corporation  
225 Broadway, Suite 1100  
San Diego, CA 92101*

**Prepared by:** *EDAW, Inc.  
1420 Kettner Boulevard, Suite 500  
San Diego, CA 92101*

**1. PROJECT TITLE:** 15th & Commercial.

**2. APPLICANT:** S.V.D.P. Management Inc.

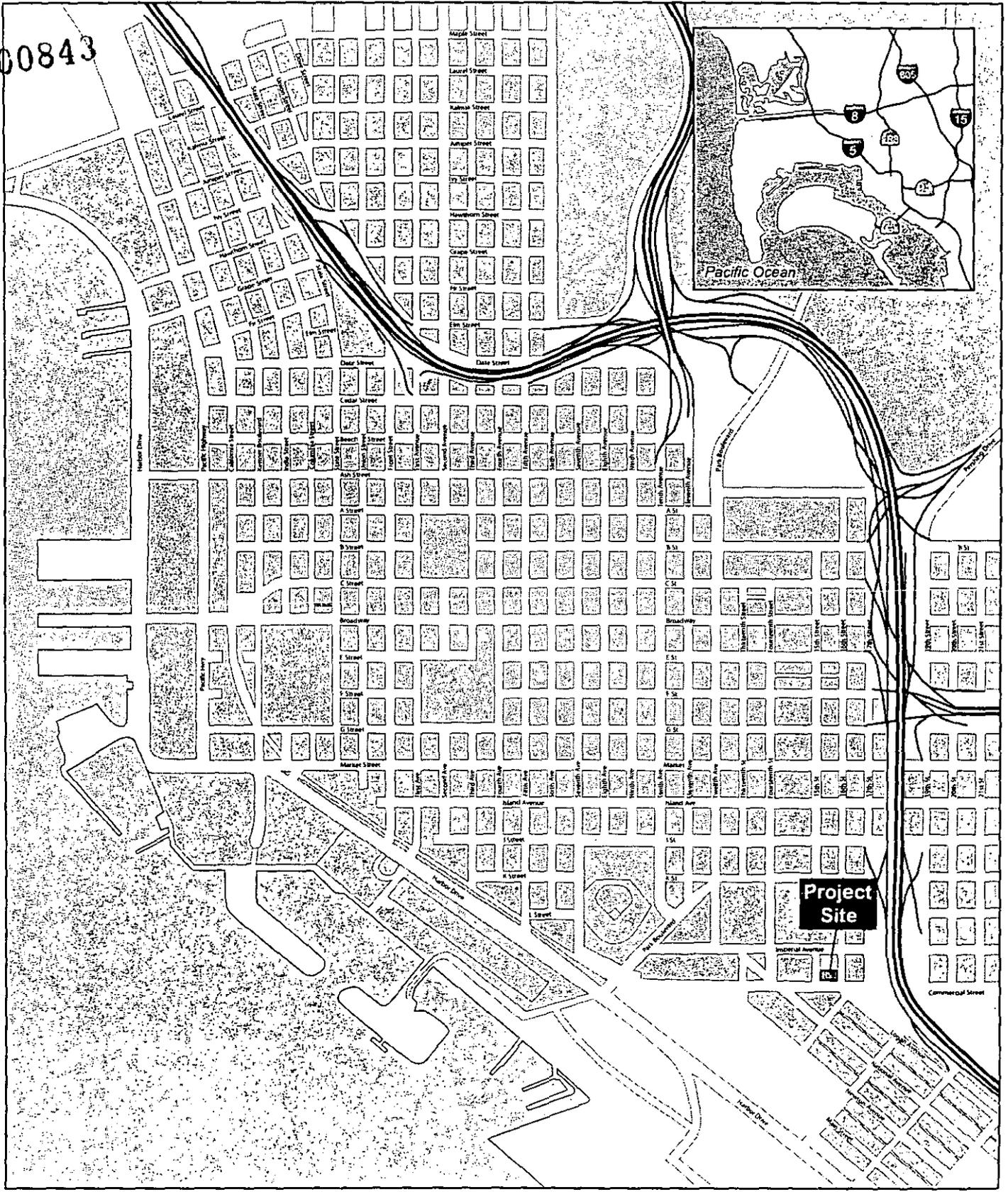
**3. PROJECT LOCATION:** An approximately 20,000 square foot site located on the north side of Commercial Street between 15<sup>th</sup> Street and 16<sup>th</sup> Street in the East Village Redevelopment District within the Expansion Sub Area of the Centre City Redevelopment Project in downtown San Diego (**Figure 1**). Centre City includes approximately 1,500 acres of the metropolitan core of San Diego, bounded by Interstate 5 on the north and east and San Diego Bay on the south and southwest. Centre City is located 15 miles north of the United States International Border with Mexico.

**4. PROJECT SETTING:** The Final Environmental Impact Report (FEIR) for the San Diego Downtown Community Plan, Centre City Planned District Ordinance, and Redevelopment Plan for the Centre City Project Area describes the existing setting of Centre City including the East Village Redevelopment District. This description is hereby incorporated by reference. Located in the highly urbanized Centre City environment, the project site is currently occupied by the two-story Bishop Maher Center building that currently provides 150 beds of transitional housing. As depicted in **Figure 2**, the approximately 20,000 square foot project site is located on the southern one-third of the block bounded by Imperial Avenue to the north, 15<sup>th</sup> Street to the west, Commercial Street to the south, and 16<sup>th</sup> Street to the east. To the west of the site is the three-story Paul Mirabile Center. To the east are three one-and two-story residential units and the six-story Villa Harvey Mandel residential building. Located immediately adjacent to the site is the trolley line with a two-story warehouse building located just south of the trolley line. To the north are one-and two-story commercial uses and the Metropolitan Transit System (MTS) maintenance and storage yard.

Applicable plans and policies governing the site include the Centre City Redevelopment Plan and the 10<sup>th</sup> amendment thereof, the San Diego Downtown Community Plan and Centre City Planned District Ordinance and the 2007 amendments thereof, as well as the San Diego Municipal Code, and the East Village Focus Plan.

**5. PROJECT DESCRIPTION:** The proposed 15<sup>th</sup> and Commercial project is a 12-story (142 feet) mixed-use building to house 150 beds of transitional housing, relocate and expand the child day care center currently located at the adjacent Joan Kroc Center (JKC), and add new income-restricted residential uses. The project is characterized by three floors of child day care uses (approximately 19,400 square feet), four floors of transitional housing that would be comprised of 75 dorms (150 beds) and approximately 32,106 square feet, and four floors of permanent residential space consisting of 65 units (approximately 29,000 square feet). The 12<sup>th</sup> floor would be comprised of mostly green roof and would include three guest rooms for visiting staff, a community room for building residents and an outdoor terrace. Located immediately east of the main structure is a one-story building that would include child day care uses with an outdoor play facility (approximately 4,500 square feet). The project includes approximately 55,214 square feet of offices and supporting space for the child day care uses as well as 3,248 square feet of common area and 1,722 square feet of outdoor area for residents. Parking for the project is provided in one below-grade level and would consist of 16 spaces. The project site plan is illustrated in **Figure 3**. The floor plans for levels 1 through 11 and the roof are shown in **Figures 4** through **12**. Off-street parking proposed by the project includes 16 spaces as shown in **Figure 13**. Access to parking would be provided through the existing JKC driveway located on 16<sup>th</sup> Street and would connect to the existing JKC below-grade parking level.

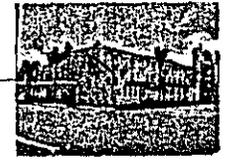
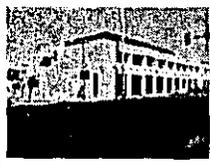
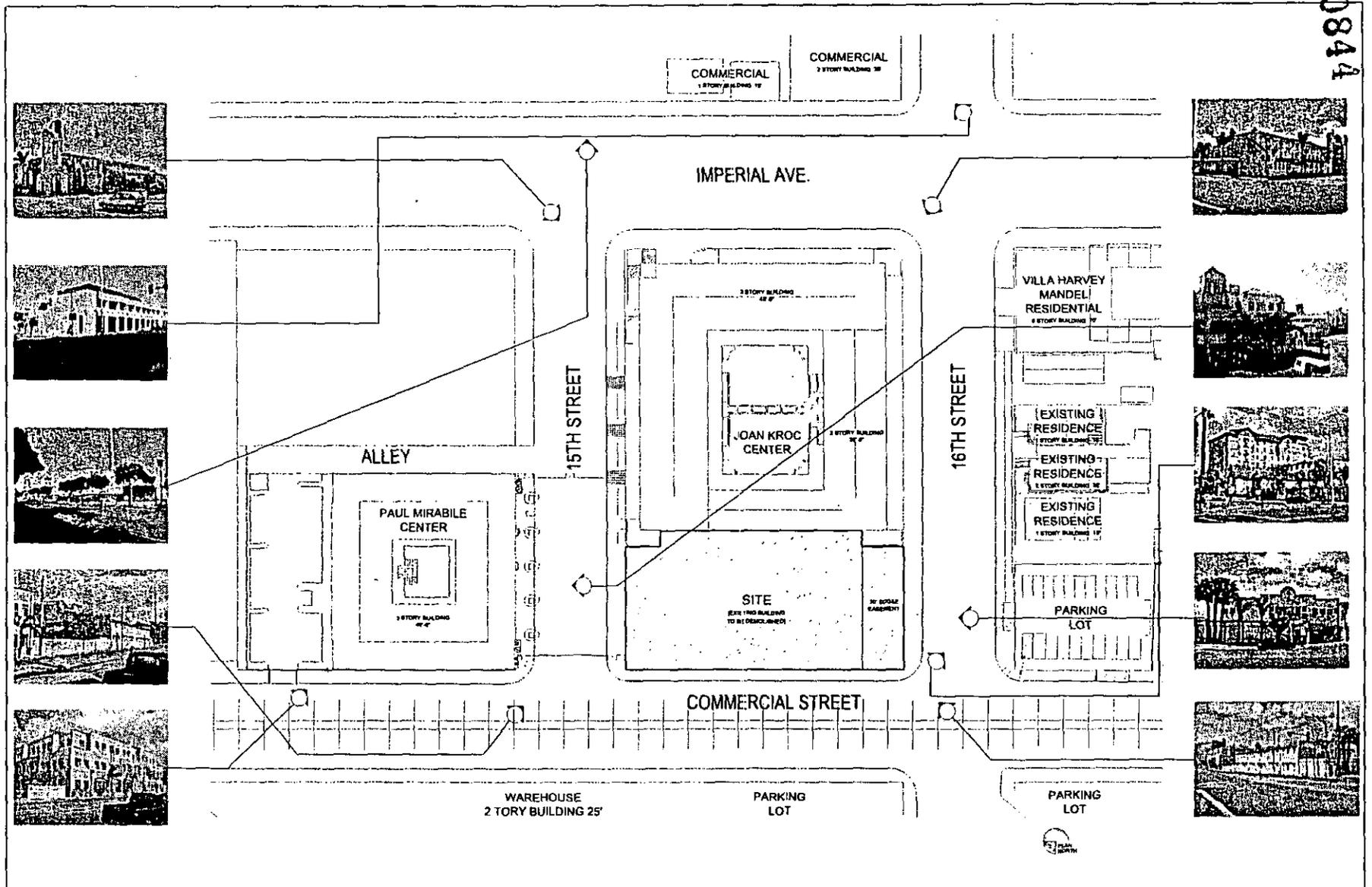
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N  
  
 No Scale

Figure 1  
 Regional Location and Vicinity

000844



SOURCE: Austin Veum Robbins Partners 2007

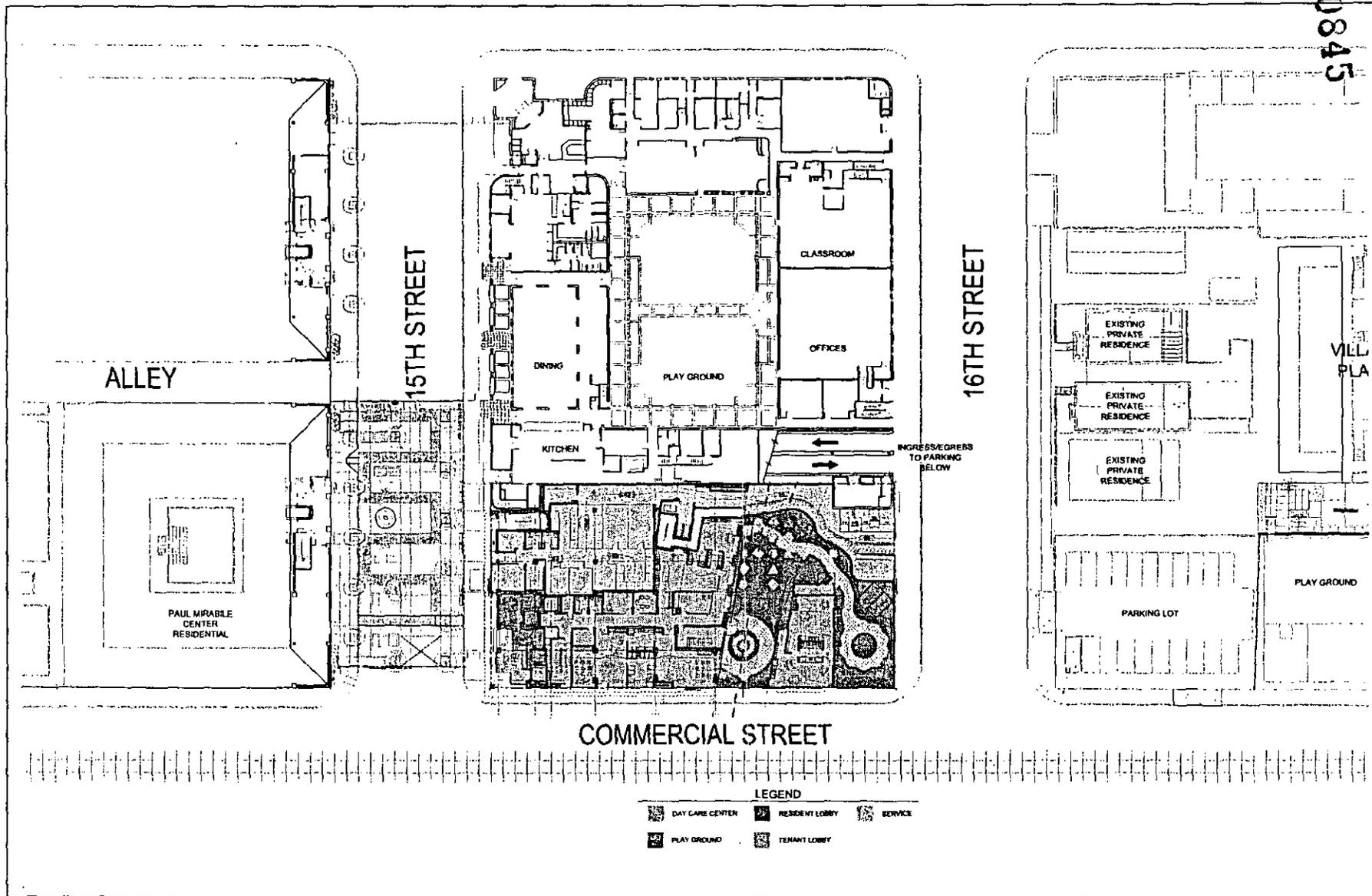
⊕ Not to Scale

15th and Commercial  
CCDC Secondary Study

Figure 2  
Existing Surrounding Land Uses

September 2007

000845



SOURCE: Austin Veum Robbins Partners 2007

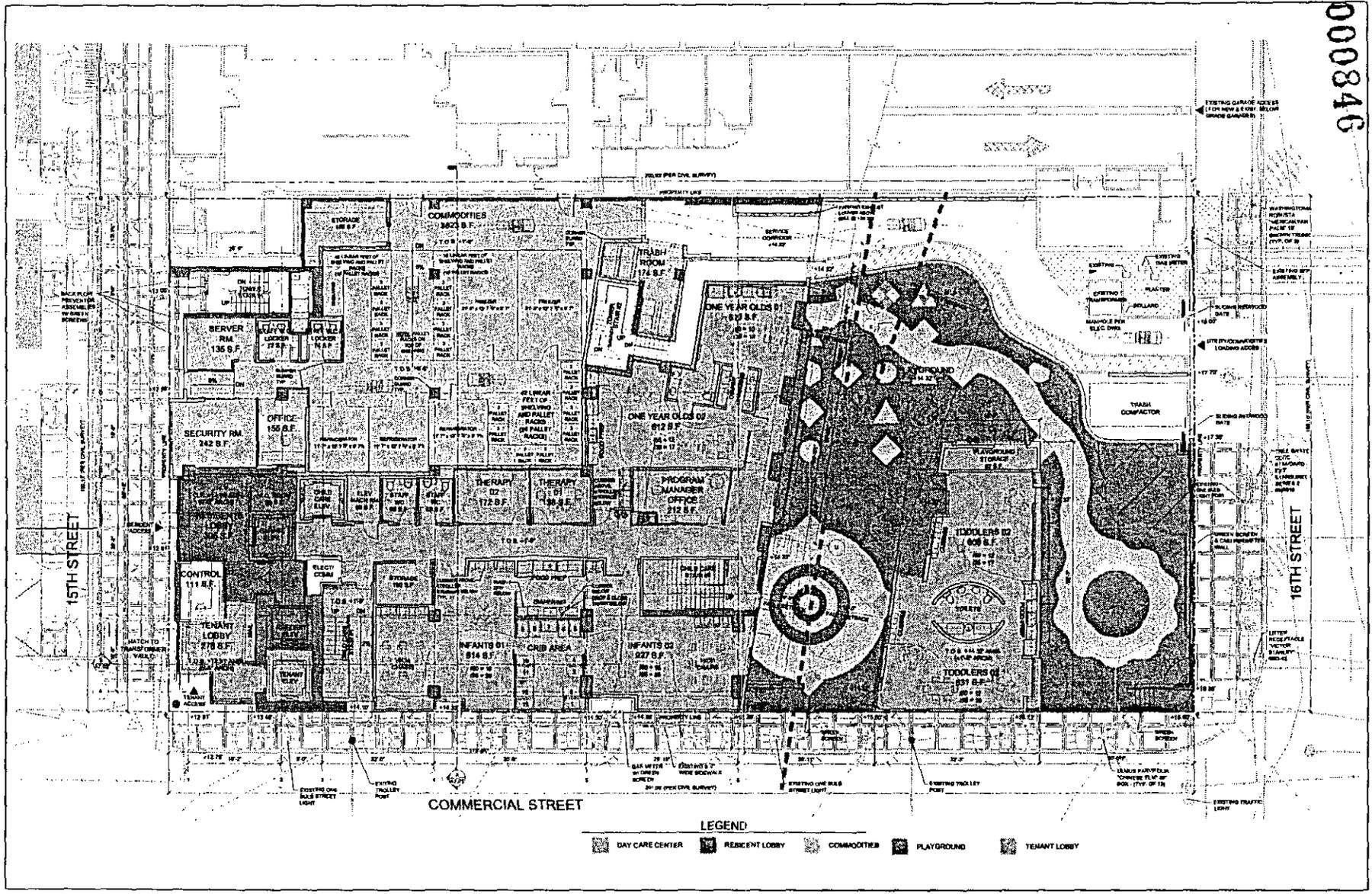
Figure 3  
Site Plan

⊕ Not to Scale

15th and Commercial  
CCDC Secondary Study

September 2007

000846

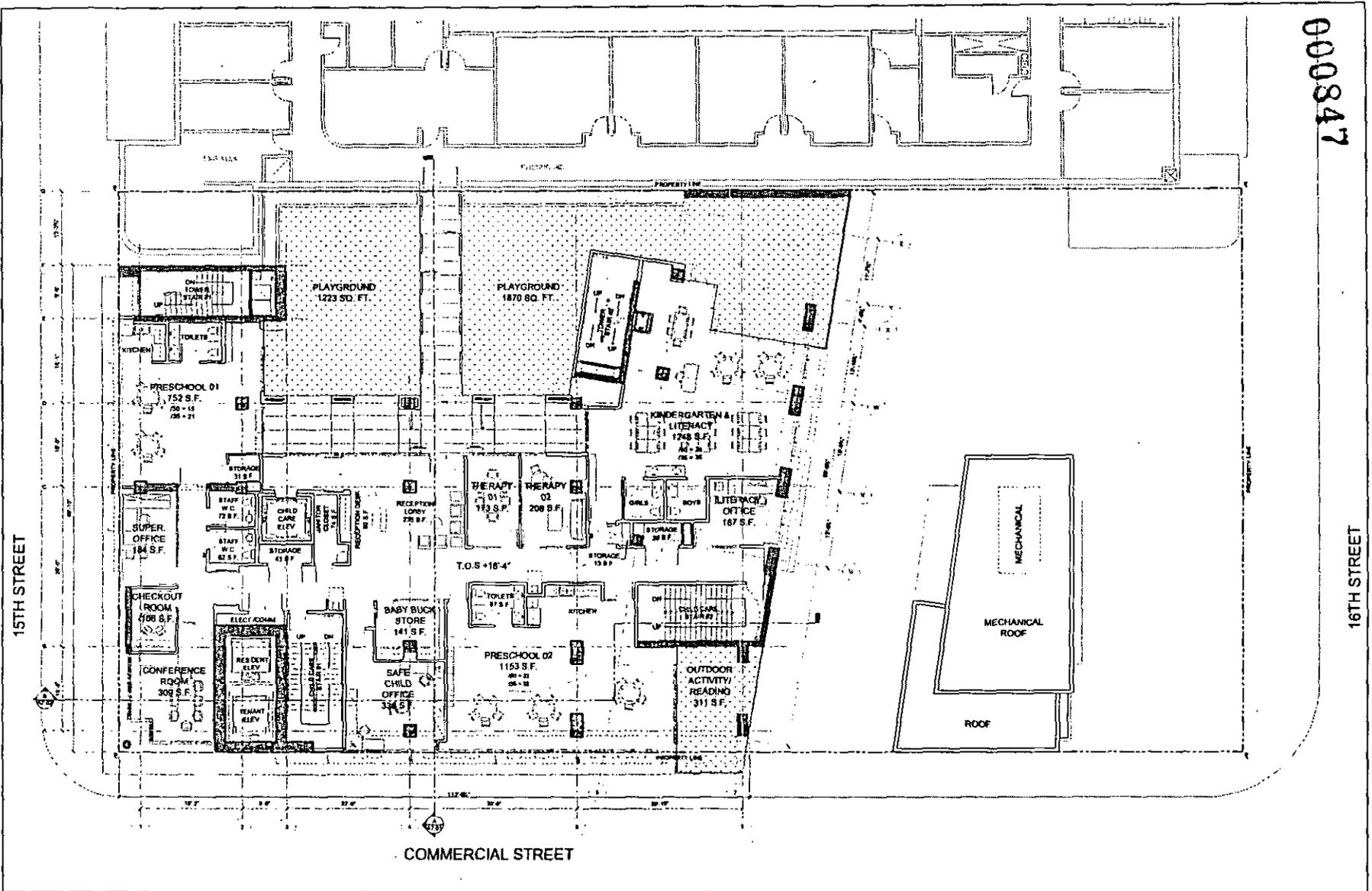


SOURCE: Austin Veum Robbins Partners 2007

⊕ Not to Scale  
 15th and Commercial  
 CCDC Secondary Study

Figure 4  
Ground Level Floor Plan

September 2007



SOURCE: Austin Veum Robbins Partners 2007

Figure 5

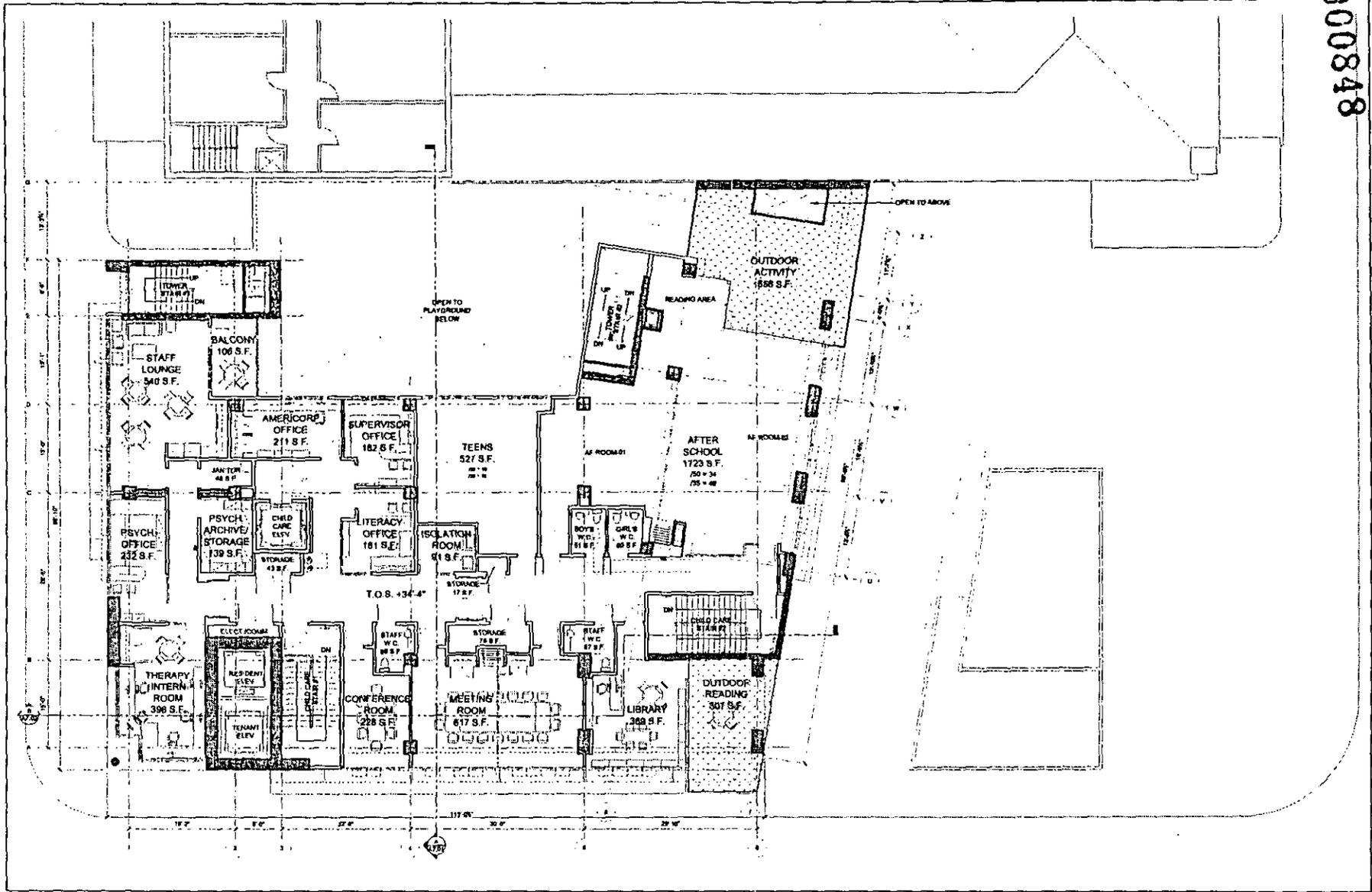
Floor Plan Level 2- Day Care

⊕ Not to Scale

15th and Commercial  
CCDC Secondary Study

September 2007

000848



SOURCE: Austin Neum Robbins Partners 2007

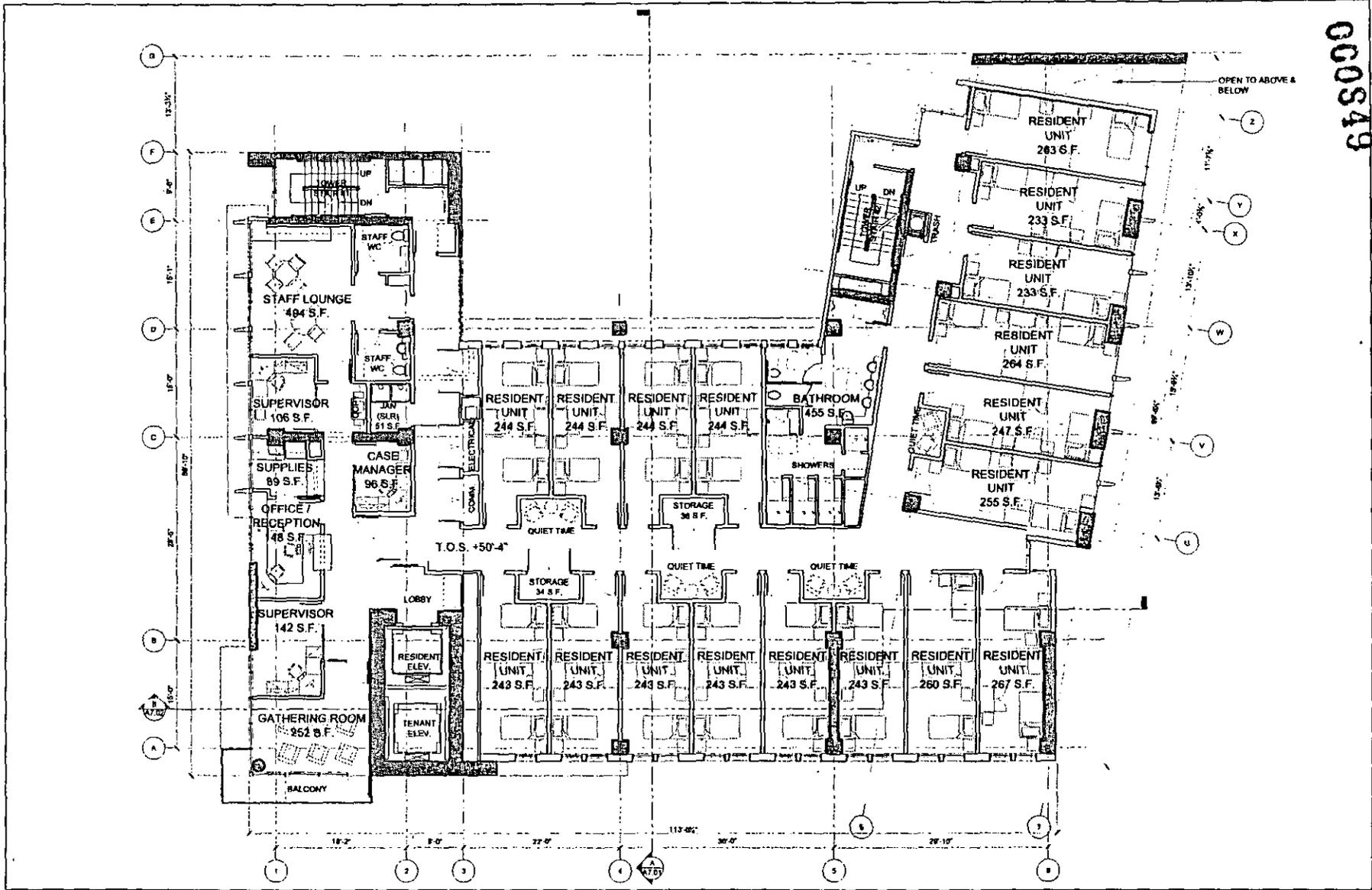
⊕ Not to Scale

15th and Commercial  
CCDC Secondary Study

Figure 6  
Floor Plan Level 3- Day Care

September 2007

000S49



SOURCE: Austin Veum Robbins Partners 2007

Figure 7

Floor Plan Level 4- Fresh Start Program

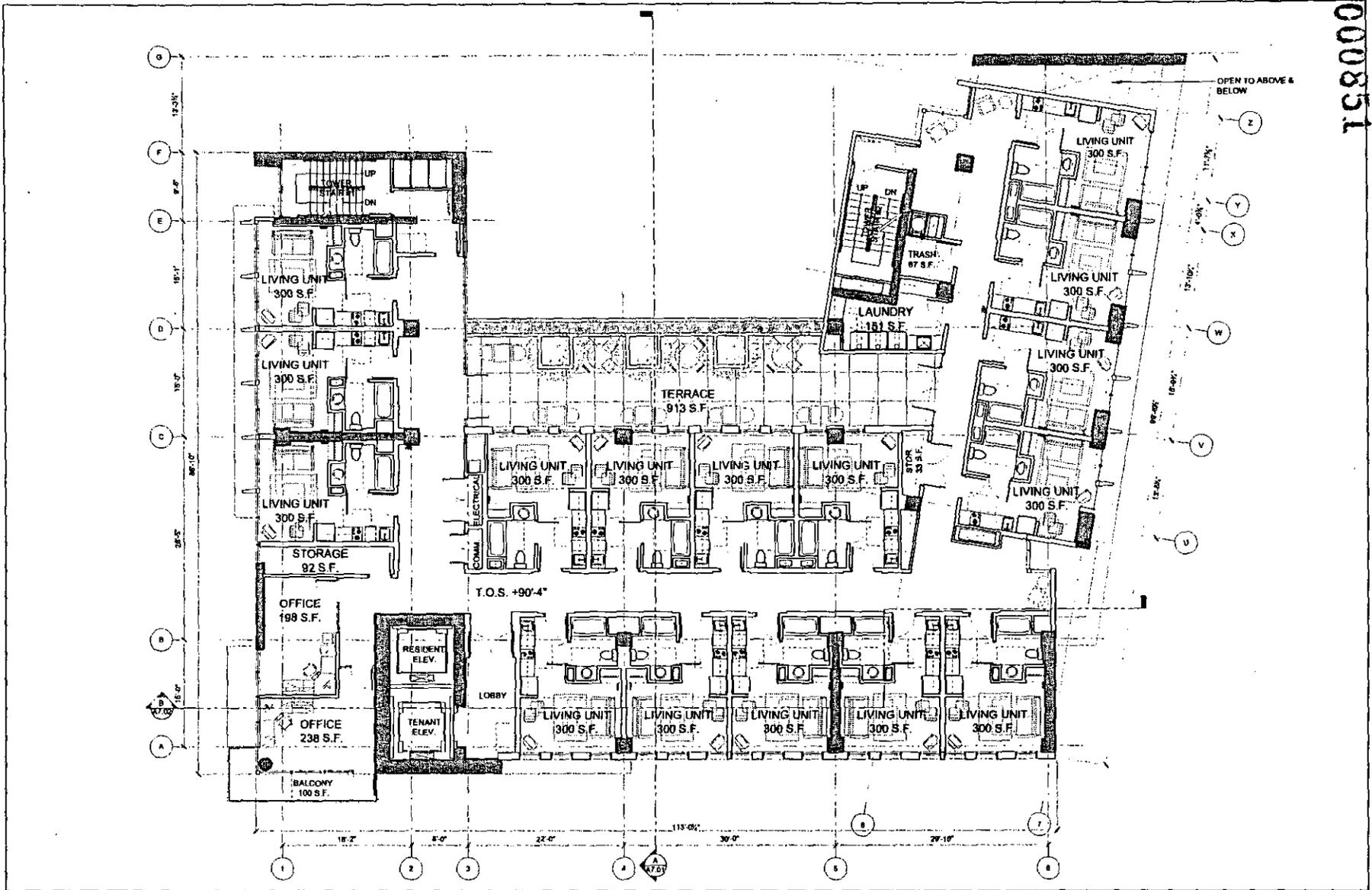
Not to Scale

15th and Commercial  
CCDC Secondary Study

September 2007



000851



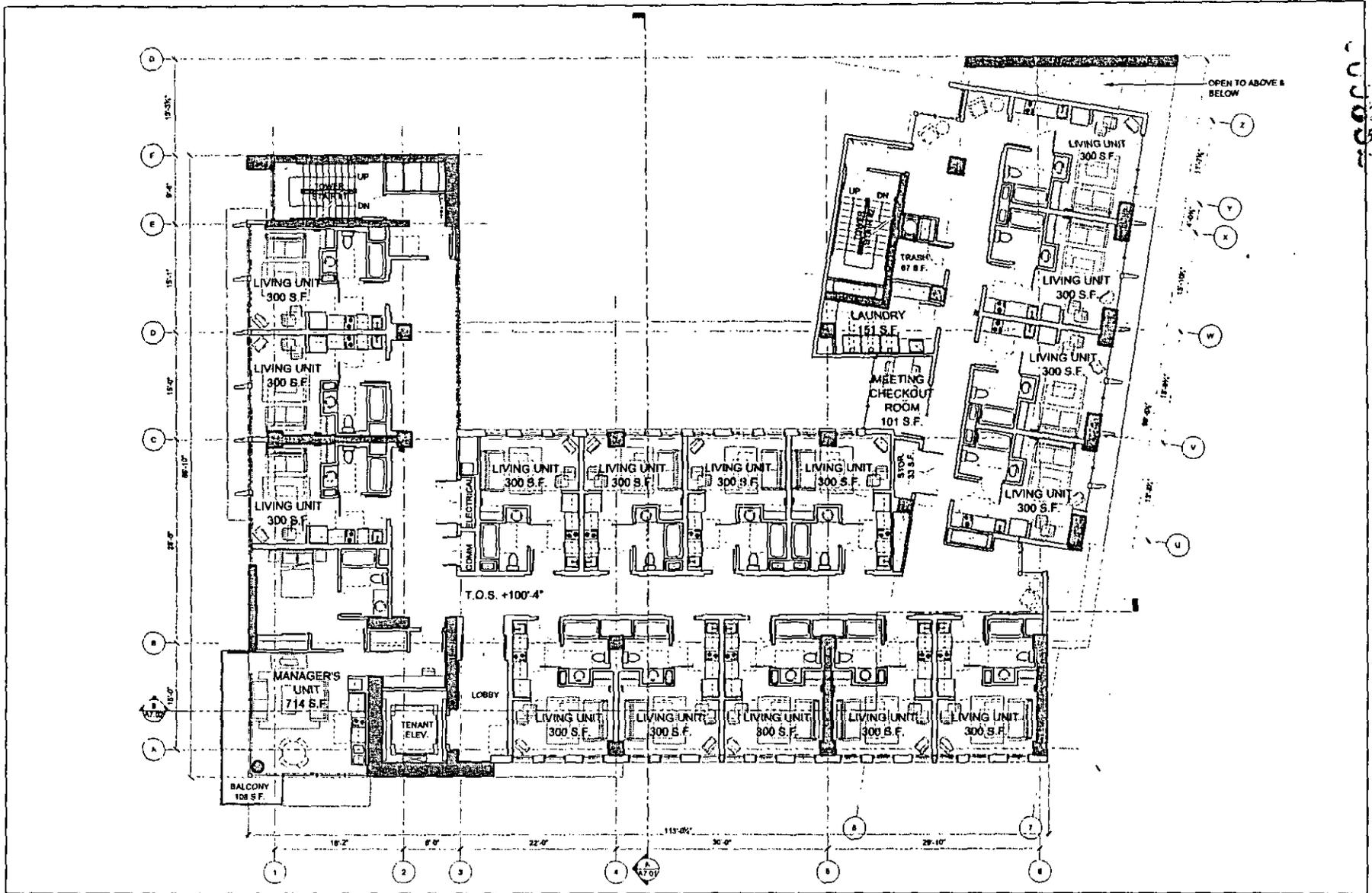
SOURCE: Austin Veum Robbins Partners 2007

Figure 9  
Floor Plan Level 8

⊕ Not to Scale

15th and Commercial  
CCDC Secondary Study

September 2007



SOURCE: Austin Veum Robbins Partners 2007

Figure 10  
Floor Plan Level 9

⊕ Not to Scale

15th and Commercial  
CCDC Secondary Study

September 2007

000853



SOURCE: Austin Veum Robbins Partners 2007

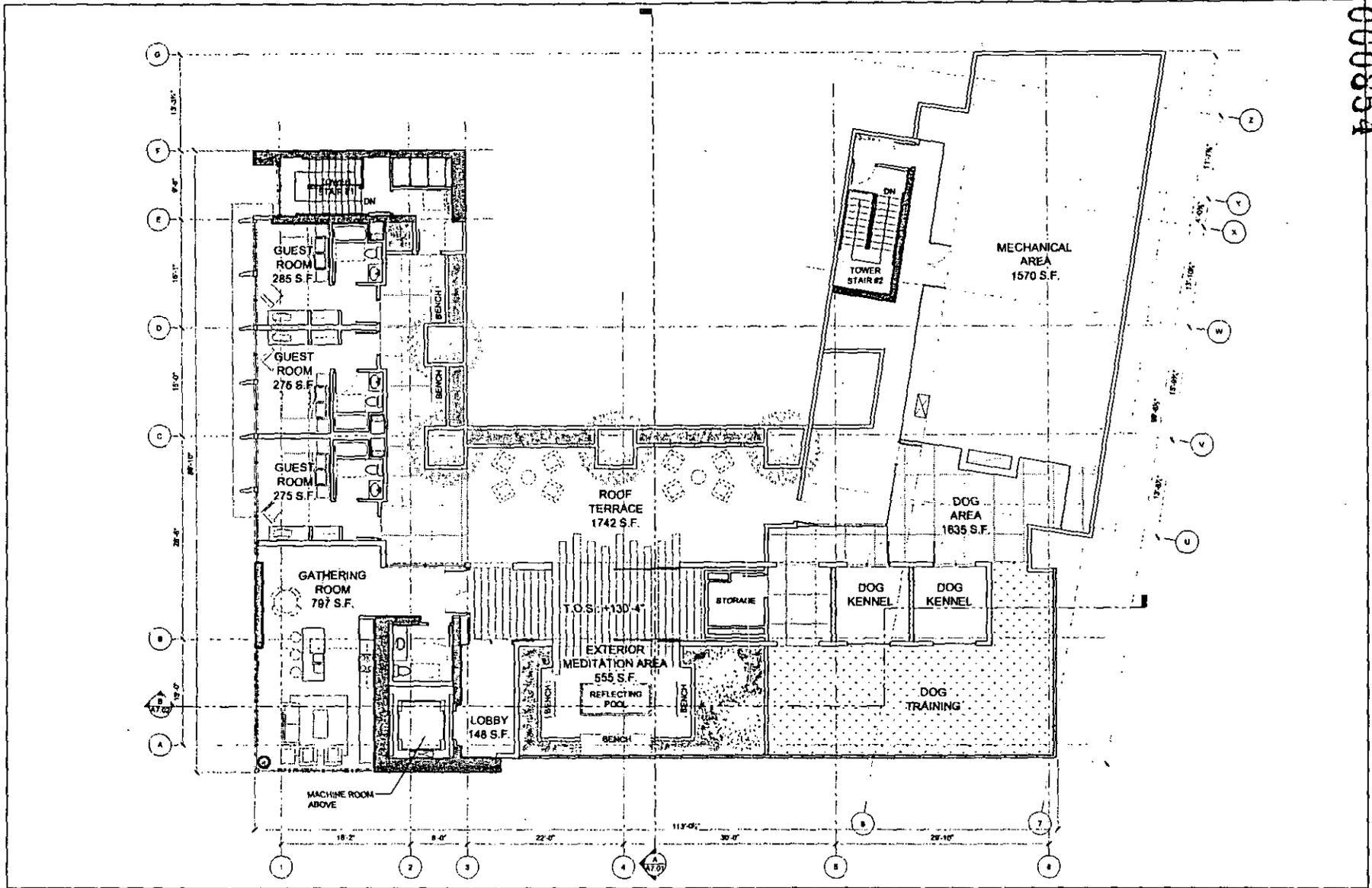
Figure 11

Typical Floor Plan Levels 10 and 11

Not to Scale

15th and Commercial  
CCDC Secondary Study

September 2007



SOURCE: Austin Veum Robbins Partners 2007

Figure 12  
Roof Plan

⊕ Not to Scale

15th and Commercial  
CCDC Secondary Study

September 2007



000856

The proposed project would require the demolition of the existing two-story Bishop Maher Center (BMC) located on the southerly portion of the block. In addition, the proposed project would require an amendment to an existing Conditional Use Permit (CUP) that covers the full block bounded by 15<sup>th</sup>, 16<sup>th</sup>, and Commercial Streets and Imperial Avenue. The CUP allows for an emergency shelter in the two buildings located on the block to provide transitional housing, dining, and shower facilities, counseling, skill workshops, child day care, and other related programs. No expansion of CUP uses or changes in existing operations are proposed with the project or to the existing JKC facility.

The proposed project design includes a mix of colors, materials, and wall surfaces. The tower portion of the project includes both horizontal and vertical elements such as concrete fins, terraces, and balconies that would be painted, exposed, and stained. The Commercial Street frontage would include a three-story transparent base with a multi-colored upper façade. The 15<sup>th</sup> Street frontage is characterized by finishes of concrete, redwood, and aluminum. The single-story structure (approximately 18 feet in height) includes raised parapets for mechanical screening. The perimeter wall of the playground area would consist of alternating panels of honed exposed aggregate block wall and 'green screens' (planters with growing vines that attach to open metal frame, designed to support such growth). **Figure 14** depicts the north and south elevations of the project while **Figure 15** depicts the east and west elevations of the project.

**6. CEQA COMPLIANCE:** The Centre City Redevelopment Project and related activities have been addressed by the following environmental documents, which were prepared prior to this Secondary Study and are hereby incorporated by reference:

Final Environmental Impact Report (FEIR) for the San Diego Downtown Community Plan, Centre City Planned District Ordinance, and Redevelopment Plan for the Centre City Project Area (State Clearinghouse Number 2003041001, certified February 28, 2006). Certified by the Redevelopment Agency (Resolution No. R-04001) and the City Council (Resolution No. R-301265) on March 14, 2006.

Fault Hazard and Preliminary Geotechnical Investigation Proposed 1501 Commercial Street Development 1501 Commercial Street San Diego, CA. URS Corporation, March 19, 2007.

Phase I Environmental Site Assessment Bishop Maher Center 1501 Imperial Avenue San Diego, CA. URS Corporation, January 2, 2007.

The aforementioned environmental documents are the most recent and comprehensive environmental documents pertaining to the proposed project. These environmental documents are available for review at the office of the Centre City Development Corporation, 225 Broadway, Suite 1100, San Diego, CA 92101.

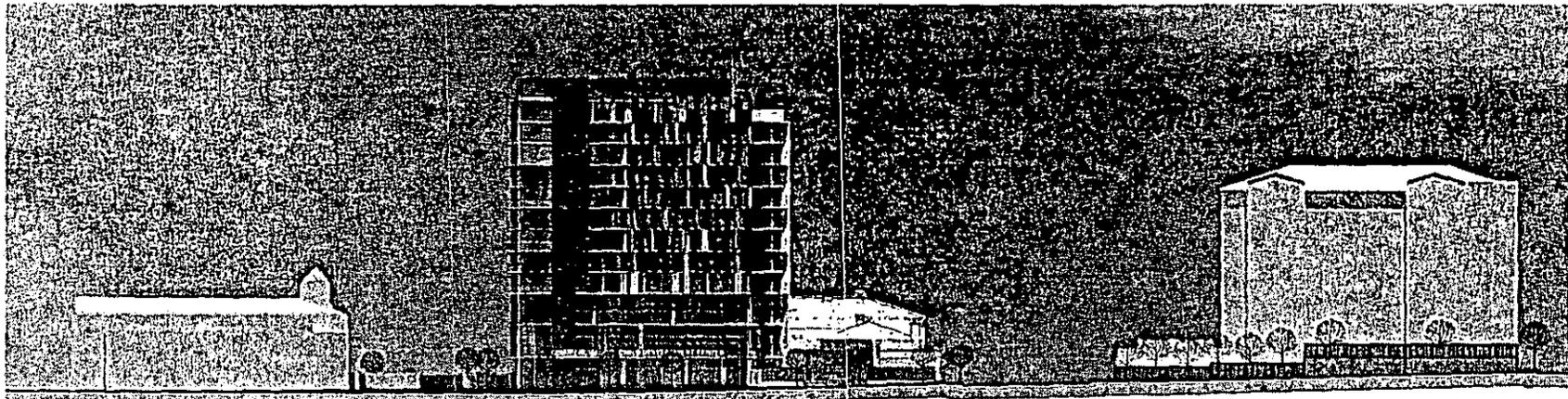
This Secondary Study has been prepared in compliance with the San Diego Redevelopment Agency's amended "Procedures for Implementation of CEQA and the State CEQA Guidelines" (adopted July 17, 1990).

**7. PROJECT-SPECIFIC ENVIRONMENTAL ANALYSIS:** See attached Environmental Checklist and *Section 10 Evaluation of Environmental Impacts*.

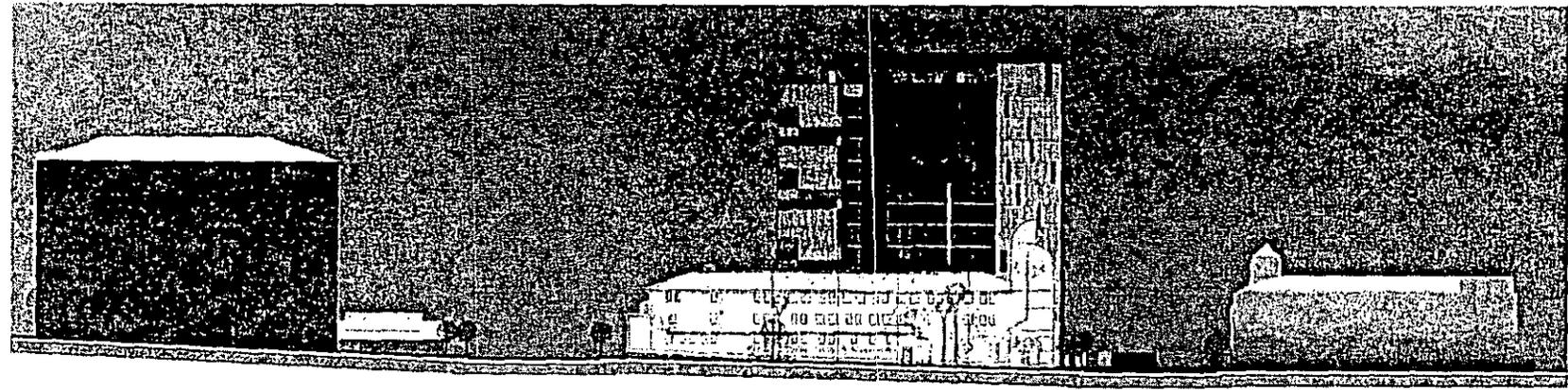
**8. MITIGATION, MONITORING AND REPORTING PROGRAM:** As described in the Environmental Checklist and summarized in **Attachment A**, the following mitigation measures included in the Mitigation Monitoring and Reporting Program (MMRP) found in Volume 1B of the FEIR will be implemented by the proposed project:

**AQ-B.1-1; HIST-B.1-1; NOI-B.1-1; NOI-C.1-1 and PAL-A.1-1**

000857



SOUTH ELEVATION



NORTH ELEVATION

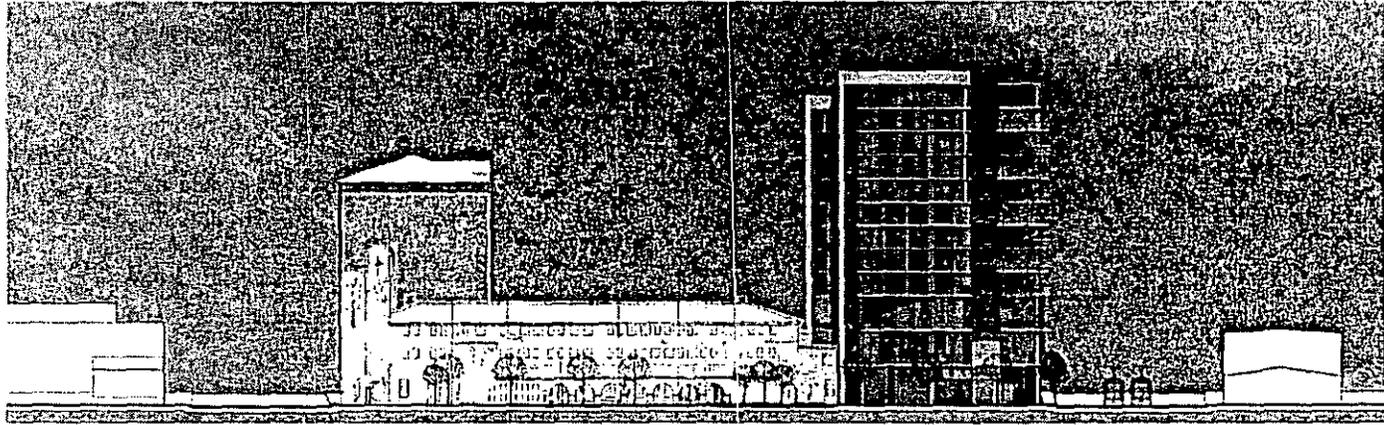
SOURCE: Austin Veum Robbins Partners 2007

⊕ Not to Scale

15th and Commercial  
CCDC Secondary Study

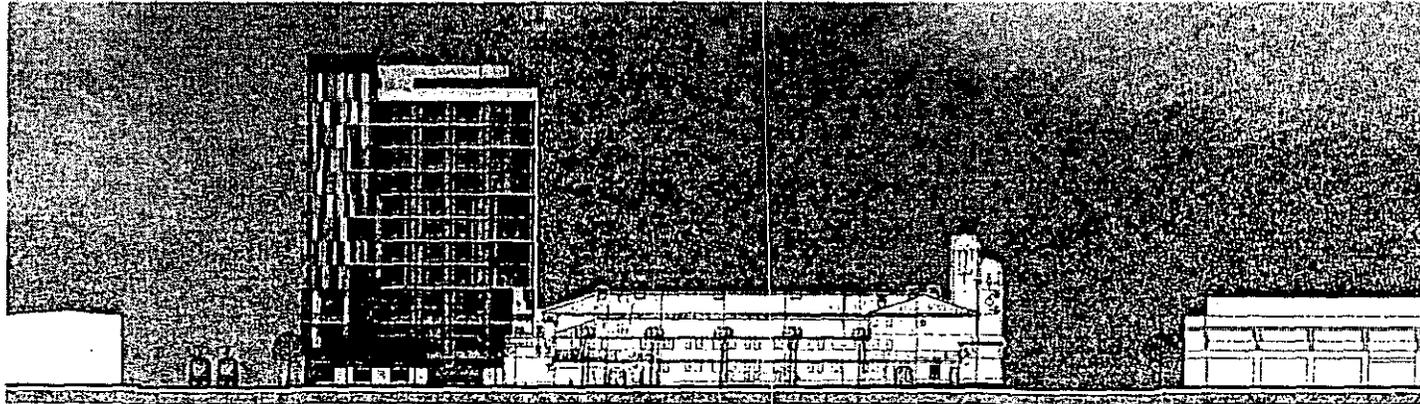
Figure 14  
North and South Elevations

September 2007



WEST ELEVATION

1.30



EAST ELEVATION

1.30

SOURCE: Austin Veum Robbins Partners 2007

⊕ Not to Scale

15th and Commercial  
CCDC Secondary Study

Figure 15  
East and West Elevations

September 2007

## 9. DETERMINATION:

In accordance with Sections 15168 and 15180 of the CEQA Guidelines, the potential impacts associated with future development within the Centre City Redevelopment Project are addressed in the Final Environmental Impact Report (FEIR) prepared for the San Diego Downtown Community Plan, Centre City Planned District Ordinance and 10<sup>th</sup> Amendment to the Redevelopment Plan for the Centre City Redevelopment Project, which was certified on February 28, 2006.

The FEIR addresses the potential effects of future development within the Centre City Redevelopment Project based on buildout forecasts projected from the land use designations, density bonus, and other policies and regulations governing development intensity and density. Based on this analysis, the FEIR concluded that development would result in significant impacts related to the following issues (mitigation and type of impact shown in parentheses):

### Significant but Mitigated Impacts

- Air Quality: Construction Emissions (AQ-B.1) (Direct (D))
- Land Use: Ballpark Noise (LU-B.1) (D)
- Land Use: Ballpark Lighting (LU-B.5) (D)
- Noise: Interior From Traffic Noise (NOI-B.1) (D)
- Noise: Interior From Ballpark Noise (NOI-B.2) (D)
- Paleontology: Impacts to Significant Paleontological Resources (PAL-A.1) (D)

### Significant and Not Mitigated Impacts

- Aesthetics/Visual Quality: Views Of Bay And Bay Bridge (VIS-B.1) (D)
- Air Quality: Construction Emissions (AQ-B.1) (Cumulative (C))
- Air Quality: Mobile-source Emissions (C)
- Historical Resources: Historical (D/C)
- Historical Resources: Archaeological (D/C)
- Land Use: Traffic Noise (LU-B.2) (D)
- Land Use: Aircraft Noise (LU-B.3) (D)
- Land Use: Railroad Noise (LU-B.4) (D)
- Land Use: Physical Changes Related to Transient Activity (LU-B.6) (D/C)
- Noise: Traffic Noise Level Increase on Grid Streets (NOI-A.1) (D/C)
- Noise: Exterior Traffic Noise in Residential Development (NOI-C.1) (D)
- Noise: Exterior Aircraft Noise in Residential Development (NOI-C.2) (D)
- Noise: Exterior Traffic Noise in Public Parks and Plazas (NOI-D.1) (D)
- Noise: Exterior Aircraft Noise in Public Parks and Plazas (NOI-D.2) (D)
- Parking: Excessive Parking Demand (TRF-D.1) (D/C)
- Traffic: Impact on Grid Streets (TRF-A.1.1) (D)
- Traffic: Impact on Surrounding Streets (TRF-A.1.2) (D/C)
- Traffic: Impact on Freeway Ramps and Segments (TRF-A.2.1) (D/C)
- Traffic: Impact from Removal of Cedar Street Ramp (TRF-A.2.2) (D)
- Water Quality: Urban Runoff (WQ-A.1) (C)

In certifying the FEIR and approving the Downtown Community Plan, Planned District Ordinance and 10<sup>th</sup> Amendment to the Redevelopment Plan, the San Diego City Council and Redevelopment Agency adopted a Statement of Overriding Considerations which determined that the unmitigated impacts were acceptable in light of economic, legal, social, technological or other factors including the following.

Overriding Considerations

- Implement Downtown's Role As Primary Urban Center
- Relieve Growth Pressure On Outlying Communities
- Organize Balanced Mix Of Uses Around Neighborhood Centers
- Maximize Employment
- Capitalize On Transit Opportunities

Based on the environmental analysis contained in this Secondary Study, it is concluded that the proposed activity is adequately addressed in the FEIR and that applicable mitigation measures contained in the FEIR have been incorporated into the design and/or will be required as conditions of approvals needed to implement the activity.

SUMMARY OF FINDINGS: In accordance with CEQA Guidelines Section 21166, the following findings are derived from the environmental review documented by this Secondary Study and the 2006 FEIR:

1. No substantial changes are proposed in the Centre City Redevelopment Project (Project), or with respect to the circumstances under which the Project is to be undertaken as a result of the development of the proposed project, which will require important or major revisions in the 2006 FEIR for the Project;
2. No new information of substantial importance to the Centre City Redevelopment Project has become available which was not known or could not have been known at the time the 2006 FEIR for the Project was certified as complete, and which shows that the Project will have any significant effects not discussed previously in the 2006 FEIR, or that any significant effects previously examined will be substantially more severe than shown in the 2006 FEIR, or that any mitigation measures or alternatives previously found not to be feasible or not previously considered would substantially reduce or lessen any significant effects of the project on the environment;
3. No Negative Declaration, Subsequent EIR, or Supplement or Addendum to the 2006 FEIR is necessary or required; and
4. The development of the site will have no significant effect on the environment, except as identified and considered in the 2006 FEIR for the Centre City Redevelopment Project. No new or additional project-specific mitigation measures are required for this project.

The Centre City Development Corporation (CCDC), the implementing body for the Redevelopment Agency of the City of San Diego, administered the preparation of this Secondary Study.

*Stypanne Drollet*  
 Signature of Lead Agency Representative

9/14/07  
 Date

*Andrew Martin*  
 Signature of Preparer

09/13/07  
 Date

## ENVIRONMENTAL CHECKLIST

### 10. EVALUATION OF ENVIRONMENTAL IMPACTS

This environmental checklist evaluates the potential environmental effects of the proposed project consistent with the significance thresholds and analysis methods contained in the Final EIR (FEIR) for the San Diego Downtown Community Plan, Centre City Planned District Ordinance (PDO), and Redevelopment Plan for the Centre City Project Area. Based on the assumption that the proposed activity is adequately addressed in the FEIR and the Addendum to the FEIR, the following table indicates how the impacts of the proposed activity relate to the conclusions of the FEIR and the Addendum to the FEIR. As a result, the impacts are classified into one of the following categories:

- Significant and Not Mitigated (SNM)
- Significant but Mitigated (SM)
- Not Significant (Not Significant)

The checklist identifies each potential environmental effect and provides information supporting the conclusion drawn as to the degree of impact associated with the proposed project. As applicable, mitigation measures from the FEIR are identified and are summarized in Table A to this Secondary Study. Some of the mitigation measures are plan-wide and not within the control of the proposed project. Other measures, however, are to be specifically implemented by the proposed project. Consistent with the FEIR analysis, the following issue areas have been identified as Significant and Not Mitigated even with inclusion of the proposed mitigation measures:

- Air Quality: Mobile-source Emissions (Cumulative (C))
- Historical Resources: Archaeological (D/C)
- Noise: Traffic Noise Level Increase on Grid Streets (NOI-A.1) (C)
- Parking: Excessive Parking Demand (TRF-D.1) (C)
- Traffic: Impact on Surrounding Streets (TRF-A.1.2) (C)
- Traffic: Impact on Freeway Ramps and Segments (TRF-A.2.1) (C)
- Water Quality: Urban Runoff (WQ-A.1) (C)

The following Overriding Considerations apply directly to the proposed project:

- Implement Downtown's Role As Primary Urban Center
- Organize Balanced Mix Of Uses Around Neighborhood Centers
- Capitalize On Transit Opportunities

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<b>1. AESTHETICS/VISUAL QUALITY:</b>						
<p>(a) Substantially disturb a scenic resource, vista or view from a public viewing area, including a State scenic highway or view corridor designated by the Community Plan? <i>Views of scenic resources such as San Diego Bay, San Diego-Coronado Bay Bridge, Point Loma, Coronado and the downtown skyline are afforded by public viewing areas within and around the downtown and along view corridor streets within the planning area; although, no designated scenic resources actually exist within the downtown planning area except for a small portion of State Designated Scenic Highway 163, as it enters the Downtown Planning area. Further, the Downtown Community Plan identifies several view corridor streets, including: Broadway from Park Boulevard west to the Bay, Park Boulevard from K Street to the Bay, as well as portions of the majority of the east - west streets from Kettner Street west. However, Cedar Street begins as a view corridor street from 1<sup>st</sup> Avenue while Beech and Ash Streets begin as view corridor streets from 6<sup>th</sup> Avenue.</i></p> <p><i>The project proposes a 12-story (142 feet) building in the East Village District. The project's location, height, and site orientation would not directly disturb a scenic resource, vista or view from a public viewing area. However, because of the project's proposed height and bulk characteristics, it could contribute to the substantial blockage of views of San Diego Bay and the San Diego-Coronado Bay Bridge, as other high-rise projects in the East Village District may. As discussed in the 2006 FEIR, build-out of the East Village sub-districts in accordance with the Downtown Community Plan would result in taller buildings, which would substantially block views of the San Diego Bay and the San Diego-Coronado Bay Bridge. Therefore, the project would incrementally contribute to impacts on existing views of scenic resources, when viewed in connection with other development in the East Village District.</i></p> <p><i>Because the project site does not possess any significant scenic resources that could be impacted by</i></p>	X	X				

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<i>the proposed project, impacts to on-site scenic resources are not significant. Lastly, the small portion of the State Designated Scenic Highway 163 would not be affected by the proposed project and the project would not be located on a street designated as a view corridor by the Centre City Community Plan. Therefore, significant impacts related to these issues could not occur.</i>						
(b) <i>Substantially incompatible with the bulk, scale, color and/or design of surrounding development? The proposed project is consistent with the policies of the Centre City Community Plan and PDO regarding building bulk, scale, and design. The project site is currently surrounded by a mix of commercial, residential and warehouse buildings ranging in height from one to six stories. Therefore, the bulk, scale, and design of the proposed project would be compatible with the existing and planned development of the surrounding area (the East Village District). The direct and cumulative visual impacts of the proposed project on surrounding development would not be significant.</i>					X	X
(c) <i>Substantially affect daytime or nighttime views in the area due to lighting? The proposed project would not involve a substantial amount of exterior lighting or include materials that would generate substantial glare. In addition, the City's Light Pollution Law (Municipal Code Section 101.1300 et seq.) protects nighttime views (e.g., astronomical activities) and light-sensitive land uses from excessive light generated by the mixed-use residential development. Therefore, the proposed project's conformance with these requirements would ensure that direct and cumulative impacts associated with this issue are not significant.</i>					X	X
<b>2. AGRICULTURAL RESOURCES</b>						
(a) <i>Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) to non-agricultural use? Centre City is an urban downtown environment that does not contain land designated as prime agricultural soils by the Soils Conservation Service, nor does it contain prime farmlands designated by the California Department of Conservation.</i>					X	X

000864

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<i>Therefore, no impact to agricultural resources would occur.</i>						
(b) Conflict with existing zoning for agricultural use, or a Williamson Act contract? <i>The area does not contain, nor is it near, land zoned for agricultural use or land subject to a Williamson Act Contract pursuant to Section 51201 of the California Government Code. Therefore, impacts resulting from conflicts with existing zoning for agricultural use or a Williamson Act contract would not occur.</i>					X	X
<b>3. AIR QUALITY</b>						
(a) Conflict with or obstruct implementation of an applicable air quality plan, including the County's Regional Air Quality Strategies or the State Implementation Plan? <i>The proposed mixed-use residential development is consistent in land use with the Centre City Community Plan and Centre City PDO, the mixed land use and transit-supportive policies and regulations of which, according to the FEIR, are in accordance with those of the Regional Air Quality Strategy (RAQS). Thus, the proposed project would not conflict with, but would help implement, the RAQS through its mixed-use, pedestrian-oriented and transit-supportive design. No impact to the applicable air quality plan would occur.</i>					X	X
(b) Expose sensitive receptors to substantial air contaminants including, but not limited to, criteria pollutants, smoke, soot, grime, toxic fumes and substances, particulate matter, or any other emissions that may endanger human health? <i>The proposed project could involve the exposure of sensitive receptors to substantial air contaminants during short-term construction activities and over the long-term operation of the project. Demolition of the existing structure could involve the exposure of the construction crew and persons in the vicinity to hazardous materials that have been used in construction such as asbestos containing materials (ACMs) and lead based paint (LBP). Implementation of the required pre-construction hazards assessment and remediation procedures if ACMs or LBP are found would ensure that these potential impacts are less than significant.</i>			X			X

000865

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>Construction activities associated with the project could result in potentially significant impacts related to the exposure of sensitive receptors to substantial emissions of particulate matter. The potential for impacts to sensitive receptors during construction activities would be mitigated to below a level of significance through compliance with the City's mandatory standard dust control measures and the dust control and construction equipment emission reduction measures required by FEIR Mitigation Measure AQ-B.1-1 (See Attachment A). Furthermore, the long-term operation of the proposed project could involve the exposure of sensitive receptors to air contaminants including reactive organic gases (ROG) from the residential land uses, toxic air contaminants (TACs) from the commercial land uses which would be from the daycare uses, and substantial concentrations of carbon monoxide (commonly referred to as CO "hot spots") due to traffic congestion near the project site. However, the FEIR concludes that development within the downtown would not expose sensitive receptors to significant levels of any of the air contaminants discussed above. Since the land use designation of the proposed development is consistent with the Centre City Community Plan land use designation for the site, with the existing Conditional Use Permit (CUP), the project would not expose sensitive receptors to substantial air contaminants beyond the level assumed by the FEIR. Additionally, the proposed project is not located close enough to any industrial activities to be impacted by emissions associated with such activities. Lastly, as previously discussed, the proposed project is located immediately adjacent to an existing trolley line. According to the 2006 FEIR, emissions from sources such as the trolley could result in significant air quality impacts. However, as discussed in the 2006 FEIR, potential impacts resulting from emissions such as those from the trolley line would not result in significant impacts. This is largely due to the fact that no new major sources of emissions would occur as a result of the build-out of the community plan. Therefore, impacts associated with this issue would not be significant. Project impacts associated with the generation of substantial air contaminants are discussed below in 3.c.</p>						

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>(c) Generate substantial air contaminants including, but not limited to, criteria pollutants, smoke, soot, grime, toxic fumes and substances, particulate matter, or any other emissions that may endanger human health? <i>Implementation of the proposed project could result in potentially adverse air quality impacts related to the following air emission generators: construction activities, mobile- and stationary-sources.</i></p> <p><i>Site preparation activities, demolition, and construction of the proposed project would involve potentially adverse impacts associated with hazardous building materials, the creation of dust, and the generation of construction equipment emissions. Compliance with the City's existing regulations requiring a pre-construction hazards assessment and strict remediation measures if materials are present would ensure that air quality impacts associated with hazardous building materials are not significant.</i></p> <p><i>However, the clearing, grading, excavation and construction activities associated with the proposed project would result in dust and equipment emissions that, when considered together, could endanger human health. Implementation of FEIR Mitigation Measure AQ-B.1-1 (see Attachment A) would reduce dust and construction equipment emissions generated during construction of the proposed project to below a level of significance.</i></p> <p><i>The air emissions generated by automobile trips associated with the proposed project would not exceed significance standards established by the FEIR. However, the project's mobile source emissions, in combination with dust generated during construction of the project, would contribute to the significant and unmitigated cumulative impact to air quality identified in the FEIR.</i></p> <p><i>The proposed mixed-use residential project does not propose any uses that would significantly increase stationary-source emissions in the downtown planning area; therefore, impacts from stationary sources would not be significant.</i></p>		X	X			

000867

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<b>4. BIOLOGICAL RESOURCES</b>						
(a) Substantially effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by local, state or federal agencies? <i>Due to the highly urbanized nature of the downtown area, there are no sensitive plant or animal species, habitats, or wildlife migration corridors within the area. In addition, the ornamental trees and landscaping included in the proposed project are considered of insignificant value to native wildlife in their proposed location. Therefore, no impact associated with this issue is anticipated to occur.</i>					X	X
(b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations by local, state or federal agencies? <i>As identified in the FEIR, the Plan area is not within a subregion of the San Diego County Multiple Species Conservation Program (MSCP). The proposed project will comply with any applicable local, regional, state, and federal plans, policies and regulations protecting riparian habitat or other sensitive natural communities and species. Therefore, impacts associated with substantial adverse effects on riparian habitat or other sensitive natural communities identified in local or regional plans, policies, and regulations by local, state or federal agencies would not occur.</i>					X	X
<b>5. HISTORICAL RESOURCES</b>						
(a) Substantially impact a significant historical resource, as defined in § 15064.5? <i>According to the FEIR, the proposed project site does not contain any historic or architectural resources. The existing on-site structure is a pre-fabricated building that was completed in 1977 with subsequent remodeling in 1989. Given that the age of the structure is less than 45 years old and the lack of architectural merit as well as the lack of the structure's identification on any survey of historical resources including the Warehouse Thematic Historic District survey, demolition of this structure would not result in</i>					X	X

000868

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<i>an impact to a historical resource. Therefore, no direct or cumulative impact associated with this issue would occur.</i>						
(b) Substantially impact a significant archaeological resource pursuant to § 15064.5, including the disturbance of human remains interred outside of formal cemeteries? <i>The likelihood of encountering archaeological resources is greatest for projects that include grading and/or excavation of areas on which past grading and/or excavation activities have been minimal (e.g., surface parking lots). Since archaeological resources have been found within inches of the ground surface in the downtown planning area, even minimal grading activities can impact these resources. In addition, the likelihood of encountering subsurface human remains during construction and excavation activities, although considered low, is possible. Thus, the excavation, demolition, and surface clearance activities associated with development of the proposed project and the subterranean parking level could have potentially adverse impacts to archaeological resources, including buried human remains. Implementation of FEIR Mitigation Measure HIST-B.1-1 (see Attachment A) would minimize, but not fully mitigate, these impacts. Since the potential for archaeological resources and human remains on the proposed project site cannot be confirmed until grading is conducted, the exact nature and extent of impacts associated with the proposed project cannot be predicted. Consequently, the required mitigation may or may not be sufficient to reduce these direct project-level impacts to below a level of significance. Therefore, impacts associated with this issue remain potentially significant and not fully mitigated, and consistent with the analysis of the FEIR. Furthermore, project-level significant impacts to important archaeological resources would contribute to the potentially significant and unmitigated cumulative impacts identified in the FEIR.</i>	X	X				
(c) Substantially impact a unique paleontological resource or site or unique geologic feature? <i>The proposed project site is underlain by the Bay Point Formation,</i>			X			X

000869

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>which has high paleontological resource potential. The FEIR concludes that development would have potentially adverse impacts to paleontological resources if grading and/or excavation activities are conducted beyond a depth of 1-3 ft. The project's proposal for one level of subterranean parking would involve excavation beyond the FEIR standard, resulting in potentially significant impacts to paleontological resources. However, implementation of FEIR Mitigation Measure PAL-A.1-1 (see Attachment A) would ensure that the proposed project's potentially direct and cumulative impacts to paleontological resources are not significant.</p>						
<b>6. GEOLOGY AND SOILS</b>						
<p>(a) Substantial health and safety risk associated with seismic or geologic hazards? The proposed project site is located within a seismically-active region. Based on the Fault Hazards and Preliminary Geotechnical Investigation prepared by URS, Corporation (March 19, 2007), the proposed project site is underlain by a potentially active fault with no identified active faults on the site. The fault is located within the area identified by the 2006 FEIR as the Downtown Graben and is believed to be a secondary fault to the 16<sup>th</sup> Street fault. The Geotechnical evaluation concluded that the fault is not a primary or active strand of the 16<sup>th</sup> Street Fault. However, since fault rupture or co-seismic surface deformation cannot be precluded, a minimum setback of 10 feet on the west and 15 feet on the east side of the fault would allow for avoidance of any surface rupture hazards or associated ground deformation occurring on this minor geologic structure based on deformations noted in the fault trenches. In addition, as previously discussed, the site is located within the Rose Canyon fault zone (RCFZ). The RCFZ is zoned as an Alquist-Priolo zone by the California Department of Mines and Geology. The Alquist-Priolo Act regulates development near active faults to protect people and property. A seismic event in the Downtown Graben fault, the Rose Canyon fault, or a fault elsewhere in the region could cause significant seismic groundshaking on the proposed project site. Although</p>					X	X

000870

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><i>the potential for geologic hazards (i.e., landslides, liquefaction, slope failure, and seismically-induced settlement) is considered low due to the site's moderate to non-expansive geologic structure, such hazards could nevertheless occur. Conformance with, and implementation of, all seismic-safety development requirements, including the Alquist-Priolo Zone Act, the seismic design requirements of the Uniform Building Code (UBC), the City of San Diego Notification of Geologic Hazard procedures, and all other applicable requirements would ensure that the potential impacts associated with seismic and geologic hazards are not significant.</i></p>						
<b>7. HAZARDS AND HAZARDOUS MATERIALS</b>						
<p>(a) Substantial health and safety risk related to onsite hazardous materials? <i>The uses of the proposed mixed-use project are not anticipated to involve the use or storage of materials which may be considered hazardous to the public. The demolition and excavation activities associated with the project could result in the exposure of construction workers to hazardous or potentially hazardous materials. However, the project's adherence to existing mandatory federal, state and local regulations controlling hazardous materials during construction and operation would ensure that impacts associated with this issue are not significant. In addition, the use of herbicides and fertilizers often associated with the maintenance of landscaping would not be used by the proposed project since synthetic turf is proposed for the playground area.</i></p>					X	X
<p>(b) Be located on or within 2,000 feet of a site that is included on a list of hazardous materials sites compiled pursuant to Government Code §65962.5 and, as a result, would it create a significant hazard to the public or the environment? <i>According to the Phase I Environmental Site Assessment prepared for the project site, past uses of the site include the storage (and possible manufacturing) of concrete blocks, vehicle storage, parking, auto painting, and warehouse uses. The Phase I identified the proposed site as being listed on several hazardous materials databases including:</i></p>					X	X

000871

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><i>the County of San Diego Department of Environmental Health (DEH), Hazardous Materials Management Division (HMMD); the California Environmental Protection Agency Hazardous Waste Information System, and SWEEPS UST. Additionally, an adjacent parcel located at 16 15<sup>th</sup> Street is included in the County of San Diego DEH HMMD database, the leaking underground storage tank (LUST) list, the Cortese list, and the SWEEPS Underground Storage Tank (UST) database. One of the listings for the BMC site involved impacted soil at the far west side of the proposed project site. Soil sampling at this site was conducted and a letter from the Regional Water Quality Control Board (Feb. 9, 1999) stated that no further action was required for the soil at the site. The report concludes that the other cases for which the project site and the 16 15<sup>th</sup> Street site were opened have been closed and no further action is required. As such, no significant hazard to the public or the environment would result from development of the proposed project.</i></p> <p><i>The report further identifies sites located within the vicinity of the proposed project that are included within the Environmental Data Resources Inc. (EDR) database. Included are two primary sites located adjacent to the proposed project site - California Linen, located to the northeast of the proposed project site and San Diego Transit located north of the proposed project site. These two sites have significant histories of documented unauthorized releases from USTs. However, the Phase I reports that groundwater monitoring and remedial activities continue at both of these sites. Continued adherence to existing mandatory federal, state and local regulations at these sites will avoid significant impacts to human health and the environment.</i></p>						
<p>(c) Substantial safety risk to operations at San Diego International Airport? <i>The proposed project is not within the boundaries of the Airport Influence Area of the Airport Land Use Compatibility Plan for San Diego International Airport. Therefore, impacts associated with this issue are not anticipated to occur.</i></p>					X	X

000872

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
(d) Substantially impair implementation of an adopted emergency response plan or emergency evacuation plan? <i>The project does not propose any features that would affect an emergency response or evacuation plan. Therefore, no impact associated with this issue is anticipated.</i>					X	X
<b>8. HYDROLOGY AND WATER QUALITY</b>						
(a) Substantially degrade groundwater or surface water quality? <i>Urban runoff generated within the Centre City Community Plan area is collected by storm drains that eventually discharge into San Diego Bay. San Diego Bay is currently experiencing water quality problems caused by urban development within its watershed. However, the proposed project site is currently developed with impervious surfaces and, as a result, contributes urban runoff to surface water runoff in the downtown planning area. Development of the site as proposed would result in impervious surfaces similar to those that currently exist on site, and not increase the site's contribution. In fact, implementation of Best Management Practices required by the City's Standard Urban Storm Water Mitigation Program (SUSMP) would likely reduce the project's urban runoff contribution below the present level. Additionally, according to the Geotechnical Investigation prepared for the site, there is the potential for the project to require dewatering during construction. Dewatering during construction would not result in significant impacts as the proposed project would be required to adhere to either a NPDES permit to divert groundwater to a storm drain or a permit from the Metropolitan Wastewater Department to divert groundwater to the sewer system. Adherence to the requirements of either permit would ensure that no impacts to this issue area would occur. Therefore, direct impacts to the surface water quality of San Diego Bay would not be significant. However, since the water quality of San Diego Bay is already impacted, the addition of any pollutants in urban runoff discharged to the Bay would result in a cumulatively significant impact. Thus, the project's incremental contribution to the discharge of</i>		X			X	

000873

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<i>polluted urban runoff into San Diego Bay, when viewed in connection with polluted runoff discharged into San Diego Bay by past, existing, and reasonably foreseeable future projects, is considered a significant cumulative impact. No mitigation other than adhering to existing regulations has been identified to feasibly reduce this impact to below a level of significance. Consistent with the FEIR, the cumulative water quality impact will remain significant and not mitigated.</i>						
(b) Substantially increase impervious surfaces and associated runoff flow rates or volumes? <i>The project site is currently developed and covered with impervious surfaces. Implementation of the proposed project would result in impervious surfaces similar to those that exist on site. Therefore, the proposed project would not substantially increase the runoff volume or pollutant concentration entering the storm drain system since the amount of impervious surfaces on-site would not change substantially. Therefore, impacts associated with this issue are not significant.</i>					X	X
(c) Substantially impede or redirect flows within a 100-year flood hazard area? <i>The project site is not located within a 100-year floodplain. Similarly, the proposed project would not affect offsite flood hazard areas, as no 100-year floodplains are located downstream. Therefore, impacts associated with these issues are not significant.</i>					X	X
(d) Substantially increase erosion and sedimentation? <i>The project site is currently developed with impervious surfaces. The hydrology of the proposed site would not be substantially altered by implementation of the proposed project as the site will maintain a similar quantity of impervious surfaces and, therefore, the proposed project would not substantially increase the long-term potential for erosion and sedimentation. However, the potential for erosion and sedimentation could increase during the short-term during site preparation, excavation and other construction activities. The proposed project's compliance with regulations mandating the preparation and implementation of a Storm Water Pollution Prevention Plan (SWPPP) would ensure that impacts associated with erosion and sedimentation are not significant.</i>					X	X

000874

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<b>9. LAND USE AND PLANNING</b>						
(a) Physically divide an established community? <i>The proposed project does not propose any features or structures that would physically divide an established community. In fact, the proposed project would complement the surrounding 2- to 6-story buildings located on the blocks surrounding the site, and will add to the growing East Village community. Impacts associated with this issue would not occur.</i>					X	X
(b) Substantially conflict with the City's General Plan and Progress Guide, Centre City Community Plan, Centre City PDO or other applicable land use plan, policy, or regulation? <i>The proposed project is located within the Mixed Commercial land use district of the Centre City Community Plan, which is intended to accommodate a diverse array of uses including residential, artists' studios and live-work spaces, hotels, offices, research and development, and retail. This district also emphasizes the continuing operation of existing services and industrial uses. Under the Mixed Commercial land use classification, a homeless facility (including emergency (overnight) and day centers) is permitted with the approval of a CUP; residential uses child care facilities, and accessory uses are allowed by right. An existing CUP covers the full block bounded by 15<sup>th</sup>, 16<sup>th</sup>, and Commercial Streets and Imperial Avenue. The proposed project requests an amendment to the existing CUP to replace the existing BMC building, the relocation of child day care facilities from the JKC to the proposed new building, and the addition of permanent affordable rental units. The existing CUP allows for an emergency shelter in the two buildings located on the block. The shelter provides transitional housing, dining and shower facilities, counseling, skill workshops, child day care, and other related programs. The new amended CUP would supersede the existing CUP. No expansion of CUP uses (number of beds/dorms or allowed use) or change in existing operations is proposed for either the new building and facility or the facility at the JKC next door. Under Section 126.0305 of the San Diego Municipal Code, four findings must be made to approve a CUP. Essentially, the proposed project must not adversely effect the applicable land use plan, not be detrimental</i>					X	X

000875

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><i>to public health, safety, and welfare, comply with, to the maximum extent feasible, the regulations of the Land Development Code, and be an appropriate use at the proposed location. The proposed project replaces the existing aging structure on the project site. The facility has been operating downtown for 30 years and currently operates in conjunction with the programs and facilities of the adjacent JKC. The review and approval of the CUP ensures that the proposed project would not adversely affect the applicable land use plan. The conditions specified in the CUP ensure that that proposed project will not be a detriment to public health, safety, and welfare. The proposed project has been designed and will continue to operate in conformance with not only the City's Land Development Code, but the Downtown Community Plan and the Centre City Planned District Ordinance. Lastly, as mentioned above, the structure to be replaced on the proposed project site currently operates with these uses and the proposed project would provide for a new facility to continue the existing services.</i></p> <p><i>The Base Minimum Floor Area Ratio (FAR) allowed on the proposed project site is 2.0 and the Base Maximum FAR allowed on the proposed project site is 3.0 under the 2006 Centre City PDO with the ability to earn additional FAR to a maximum of 6.0. The proposed project includes 103,347 square feet of GFA. When combined with the square footage of the existing JKC (73,950 square feet), the 60,000 square foot block would include a total of 177,297 square feet of GFA. This equates to a FAR of 2.95. With 89,211 square feet of GFA on a 20,000 square foot project site, the proposed project achieves a FAR of 4.46 which is above the minimum FAR of the 2006 PDO and well within the maximum allowable FAR of 6.0. In addition, the PDO allows projects with no-build zones to be exempt from required streetwall standards. The developable portion of the project site is limited by the presence of such no-build zones: seismic faults just east of mid-block on Commercial Street and an existing San Diego Gas &amp; Electric (SDG&amp;E) easement at the southeast corner. However, this exemption is conditioned on a minimum 45-foot streetwall height. Since the proposed one-story building would achieve a</i></p>						

000876

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p>height of 18-feet, approval of a Variance is required for exemption from the PDO streetwall standards.</p> <p>The PDO identifies parking requirements for development projects. The proposed project falls into the "Living Units" category of the PDO which requires a range of required parking spaces based on the projects average median income (AMI). Market rate units have the highest parking rate while projects at or below 40 percent AMI are not required to include parking. The proposed project falls into this latter category and is therefore not required to include parking. However, as shown in Figure 13, the proposed project includes 16 parking spaces.</p> <p>As discussed in 7.c, the proposed project is not within the jurisdiction of the Airport Land Use Compatibility Plan (ALUCP) for San Diego International Airport (SDIA). In addition, the proposed project complies with the goals and requirements of the Centre City Community Plan and the East Village Focus Plan, and meets all applicable standards of the PDO. Therefore, no significant direct or cumulative impact associated with an adopted land use plan would occur.</p>						
<p>(c) Substantial incompatibility with surrounding land uses? Sources of land use incompatibility include lighting, shading, industrial activities, and noise. The proposed mixed-use residential would not result in, or be subject to, other adverse impacts due to substantially incompatible land uses, with the exception of noise generated by vehicular traffic. Compliance with the City's Light Pollution Ordinance would ensure that land use incompatibility impacts related to the proposed project's emitting of, and exposure to, lighting are not significant. In addition, the proposed project is not adjacent to any industrial activities that would subject the residents to potential land use incompatibilities. Similarly, the project site is not directly adjacent to any major planned neighborhood parks that could be significantly impacted by shading from the project. Potentially significant impacts associated with the project's incompatibility with traffic noise on adjacent grid streets are not significant as discussed in Sections 11.b and 11.c. As discussed in the</p>					X	X

000877

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
2006 FEIR, noise levels from trolley operations do not exceed the exterior noise standard of 65 dB(A) CNEL and would therefore, not result in significant impacts. Operational activities of the daycare uses will be properly addressed by the conditions placed on the project. These conditions will minimize potential incompatibilities associated with noise, lighting, parking, and security. No impact associated with this issue will occur.						
(d) Substantially impact surrounding communities due to sanitation and litter problems generated by transients displaced by downtown development? <i>The project is not expected to cause a substantial direct impact associated with this issue because substantial numbers of transients are not known to congregate on-site. Although the FEIR discusses a cumulative impact on surrounding communities resulting from sanitation problems and litter generated by transients who are displaced from downtown into surrounding canyons and vacant land, the proposed Project could not incrementally contribute to the impacts identified in the FEIR. Therefore, the proposed project would not result in significant impacts to surrounding communities because of displaced transients.</i>					X	X
<b>10. MINERAL RESOURCES</b>						
(a) Substantially reduce the availability of important mineral resources? <i>The FEIR concludes that the viable extraction of mineral resources is limited in Centre City due to its urbanized nature and the fact that the area is not designated as having high mineral resource potential. Therefore, no impact associated with this issue would occur.</i>					X	X
<b>11. NOISE</b>						
(a) Substantial noise generation? <i>The proposed project would not result in substantial noise generation from any stationary sources over the long-term. Short-term construction noise impacts would be avoided by adherence to construction noise limitations imposed by the City's Noise Abatement and Control Ordinance. In addition, automobile trips generated by the proposed</i>		X			X	

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><i>project would not result in substantial noise increase. Thus, no significant direct noise impact related to noise generation would be associated with the proposed project. However, the automobile trips generated by the project would, in combination with other development in Centre City, significantly increase noise on several street segments resulting in a cumulatively significant noise impact. This impact is consistent with the analysis of the FEIR and considered cumulatively significant and not mitigated.</i></p>						
<p>(b) Substantial exposure of required outdoor residential open spaces or public parks and plazas to noise levels (e.g. exposure to levels exceeding 65 dB (A) CNEL)? The proposed outdoor rooftop terrace is the only outdoor open space in the project that is required by the PDO (Section 156.0310(g)(1)(C)). According to the FEIR, the proposed project is not close enough to San Diego International Airport or industrial activities to be significantly impacted by noise generated from these sources. However, the FEIR indicates that traffic noise levels on the 16<sup>th</sup> Street segment bordering the project site would exceed the exterior noise level standard of 65 dB (A) CNEL for required outdoor residential open spaces. As a result, the proposed outdoor rooftop terrace would potentially be exposed to unacceptable noise levels. The FEIR requires implementation of Mitigation Measure NOI-C.1-1 (see Table A), the completion of an acoustical analysis prior to approval of a Development Permit, to analyze noise levels in required outdoor open spaces and avoid or reduce noise unacceptable noise levels to the extent feasible. The acoustical analysis prepared for the project entitled Exterior Noise Analysis for 15<sup>th</sup> and Commercial Street (Kimley-Horn and Associates, September 2007) indicated that noise levels at the edge of the outdoor rooftop terrace equal 64 dB(A), which is below the 65 dB(A) standard. Therefore, substantial exposure of this required residential outdoor open spaces to noise levels exceeding the 65 dB (A) standard would not occur and noise mitigation measures are not required. Project-level and cumulative impacts associated with this issue are not significant.</p>					X	X

000879

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
(c) Substantial interior noise within habitable rooms (e.g. levels in excess of 45 dB (A) CNEL)? <i>As traffic noise levels would exceed 65 dB (A) CNEL, interior noise levels within habitable rooms facing 16<sup>th</sup> Street could experience interior noise levels in excess of 45 dB (A) CNEL (the FEIR standard). Implementation of Mitigation Measure NOI-B.1-1 (see Table A) would reduce interior noise levels to below 45 dB (A). Therefore, project-level impacts associated with this issue would be mitigated to a level less than significant. Cumulative impacts associated with this issue would not occur.</i>			X			X
<b>12. POPULATION AND HOUSING</b>						
(a) Substantially induce population growth in an area? <i>Under the existing CUP, the proposed project is consistent in land use with the Centre City Community Plan and East Village Focus Plan, and would provide temporary and permanent housing for planned population growth with the downtown planning area. Adverse physical changes associated with the population growth generated by the proposed project would not exceed those analyzed throughout the FEIR and this Secondary Study. Therefore, additional impacts associated with this issue would not occur.</i>					X	X
(b) Substantial displacement of existing housing units or people? <i>The proposed project would provide transitional and permanent residential units and child day care uses in place of an existing two-story facility currently being used for the same purposes. If the project is approved and constructed, uses within the existing structure would be moved to the new facility and no permanent displacement of housing or people would occur. On a short-term basis during demolition and construction, the current residents would be displaced. Overall, permanent long-term displacement of existing housing units and/or persons would not occur since the existing residents would be housed in the proposed project. Therefore, the construction of replacement housing would not be required and impacts associated with this issue would not occur.</i>					X	X

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<b>13. PUBLIC SERVICES AND UTILITIES:</b>						
(a) Substantial adverse physical impacts associated with the provision of new schools? <i>The FEIR concludes that the additional student population anticipated at buildout of the downtown would require the construction of at least one additional school. In and of itself, the proposed project would not generate a sufficient number of students to warrant construction of a new school facility. However, the project would contribute, in combination with other development in the downtown, to the need for at least one additional school in the downtown, consistent with the analysis of the FEIR. Nevertheless, as indicated in the FEIR, the specific future location of a new school is unknown at present time. Pursuant to Section 15145 of the California Environmental Quality Act (CEQA), analysis of the physical changes in the downtown planning area which may occur from future construction of schools would be speculative and no further analysis of their impacts is required. However, construction of new schools would be subject to CEQA. Environmental documentation prepared by the appropriate lead agency pursuant to CEQA would identify potentially significant impacts and appropriate mitigation measures.</i>					X	X
(b) Substantial adverse physical impacts associated with the provision of new libraries? <i>The FEIR concludes that, cumulatively, development in the downtown would generate the need for a new Main Library and possibly several smaller libraries within the downtown. In and of itself, the proposed project would not generate additional demand necessitating the construction of new library facilities. However, the proposed project would contribute to the cumulative need for new library facilities in the downtown identified in the FEIR. Nevertheless, the specific future location of these facilities (except the Main Library) is unknown at present time. Pursuant to Section 15145 of the California Environmental Quality Act (CEQA), analysis of the physical changes in the downtown planning area which may occur from future construction of these public facilities would be speculative and no further analysis of their impacts is required (The environmental impacts of</i>					X	X

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Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<i>the Main Library were analyzed in a Secondary Study prepared by CCDC in 2001). Construction of any additional library facilities would be subject to CEQA. Environmental documentation prepared pursuant to CEQA would identify potentially significant impacts and appropriate mitigation measures.</i>						
(c) Substantial adverse physical impacts associated with the provision of new fire protection/emergency facilities? <i>The FEIR does not conclude that the cumulative development of the downtown would generate additional demand necessitating the construction of new fire protection/emergency facilities. Since the land use designation of the proposed development is consistent with the Centre City Community Plan land use designation for the site, with the existing and proposed amendment to the CUP, the project would not generate a level of demand for fire protection/emergency facilities beyond the level assumed by the FEIR. However, the FEIR reports that the San Diego Fire Department is in the process of securing sites for two new fire stations in the downtown area. However, the specific location of the second fire station is not known. Pursuant to Section 15145 of the California Environmental Quality Act (CEQA), analysis of the physical changes in the downtown planning area which may occur from future construction of this fire station facility would be speculative and no further analysis of the impact is required. However, construction of the second new fire protection facility would be subject to CEQA. Environmental documentation prepared pursuant to CEQA would identify potentially significant impacts and appropriate mitigation measures.</i>					X	X
(d) Substantial adverse physical impacts associated with the provision of new law enforcement facilities? <i>The FEIR analyzes impacts to law enforcement service resulting from the cumulative development of the downtown and concludes that the construction of new law enforcement facilities would not be required. Since the land use designation of the proposed development is consistent with the Centre City Community Plan land use designation for the site, with the existing and proposed amendment to the CUP, the project would not generate a</i>					X	X

000882

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<i>level of demand for law enforcement facilities beyond the level assumed by the FEIR. However, the need for a new facility could be identified in the future. Pursuant to Section 15145 of the California Environmental Quality Act (CEQA), analysis of the physical changes in the downtown planning area which may occur from future construction of law enforcement facilities would be speculative and no further analysis of their impacts is required. However, construction of new law enforcement facilities would be subject to CEQA. Environmental documentation prepared pursuant to CEQA would identify potentially significant impacts and appropriate mitigation measures.</i>						
(e) Substantial adverse physical impacts associated with the provision of new water transmission or treatment facilities? <i>The FEIR concludes that new water treatment facilities would not be required to address the cumulative development of the downtown. In addition, water pipe improvements that may be needed to serve the proposed project are categorically exempt from environmental review under CEQA as stated in the FEIR. Therefore, impacts associated with this issue would not be significant.</i>					X	X
(f) Substantial adverse physical impacts associated with the provision of new storm water facilities? <i>The FEIR concludes that the cumulative development of the downtown would not impact the existing downtown storm drain system. Since implementation of the proposed project would result in an amount of impervious surfaces similar to the existing use of the site the amount of runoff volume entering the storm drain system would not increase. Therefore, the proposed project would not create demand for new storm water facilities. Direct and cumulative impacts associated with this issue are considered not significant.</i>					X	X
(g) Substantial adverse physical impacts associated with the provision of new wastewater transmission or treatment facilities? <i>The FEIR concludes that new wastewater treatment facilities would not be required to address the cumulative development of the downtown. In addition, sewer improvements that may</i>					X	X

000883

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<i>be needed to serve the proposed project are categorically exempt from environmental review under CEQA as stated in the FEIR. Therefore, impacts associated with this issue would not be significant.</i>						
(h) Substantial adverse physical impacts associated with the provision of new landfill facilities? <i>The FEIR concludes that cumulative development within the downtown would increase the amount of solid waste sent to the Miramar Landfill and contribute to the eventual need for an alternative landfill. Although the proposed project would generate a higher level of solid waste than the existing use of the site, implementation of a mandatory Waste Management Plan and compliance with the applicable provisions of the San Diego Municipal Code would ensure that both short- and long-term project-level impacts are not significant. However, the project would contribute, in combination with other development activities in the downtown, to the cumulative increase in the generation of solid waste sent to the Miramar Landfill and the eventual need for a new landfill as identified in the FEIR.</i> <i>The location and size of a new landfill is unknown at this time. Pursuant to Section 15145 of the California Environmental Quality Act (CEQA), analysis of the physical changes that may occur from future construction of landfills would be speculative and no further analysis of their impacts is required. However, construction or expansion of a landfill would be subject to CEQA. Environmental documentation prepared pursuant to CEQA would identify potentially significant impacts and appropriate mitigation measures. Therefore, cumulative impacts of the proposed project are also considered not significant.</i>					X	X
<b>14. PARKS AND RECREATIONAL FACILITIES:</b>						
(a) Substantial increase in the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? <i>The FEIR discusses impacts to park and recreational facilities and the maintenance thereof and concludes that buildout of the Centre City would not result in significant impacts</i>					X	X

000884

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><i>associated with this issue. Since the proposed project is consistent in land use with the Centre City Community Plan, the level of demand for parks and recreational facilities generated by the project would not exceed demand assumed in the FEIR. Therefore, substantial deterioration of existing neighborhood or regional parks would not occur or be substantially accelerated as a result of the proposed project. No significant impacts associated with this issue would occur.</i></p>						
<b>15. TRANSPORTATION/TRAFFIC</b>						
<p>(a) Cause the LOS on a roadway segment or intersection to drop below LOS E? <i>Based on standard traffic generation rates contained in the May 2003 San Diego Municipal Code Trip Generation Manual, the worst-case scenario for automobile trips generated by the project is 700 (140 units x 5 trips/unit) Average Daily Trips (ADT). Since this does not exceed the 2,400 ADT threshold established in the FEIR, the proposed project's direct impacts on roadway segments or intersections downtown would not be significant. However, the traffic generated by the proposed project would, in combination with the traffic generated by other downtown development, contribute to the significant cumulative traffic impacts projected in the FEIR to occur on a number of downtown roadway segments and intersections, and streets within neighborhoods surrounding the Plan area at buildout of the Community Plan. The FEIR includes mitigation measures to address these impacts, but they may or may not be able to fully mitigate these cumulative impacts (these mitigation measures are not the responsibility of the proposed project and are therefore not included in Attachment A). Therefore, consistent with the analysis of the FEIR, the proposed project would contribute to significant cumulative impacts associated with this issue.</i></p>		X			X	
<p>(b) Cause the LOS on a freeway segment to drop below LOS E or cause a ramp delay in excess of 15 minutes? <i>Based on standard traffic generation rates contained in the May 2003 San Diego Municipal Code Trip Generation Manual, the worst-case scenario for automobile trips generated by the project is 700 ADT. Since this does not exceed the 2,400 ADT threshold</i></p>		X			X	

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Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<p><i>established in the FEIR, the proposed project's direct impacts on freeway segments would not be significant. However, the FEIR concludes that development within the downtown will result in significant cumulative impacts to freeway segments and ramps serving the downtown planning area. Since the land use designation of the project is not substantially different from the land use designation assumed in the FEIR analysis, the proposed development would contribute on a cumulative-level to the substandard LOS F identified in the FEIR on all freeway segments in the downtown area and on several ramps serving the downtown. TRF-A.2.1-1 would reduce these impacts to the extent feasible, but not below a level of significance (this mitigation measure is not the responsibility of the proposed project and therefore is not included in Attachment A). The FEIR concludes that the uncertainty associated with implementing freeway improvements and limitations in increasing ramp capacity limits the feasibility of fully mitigating impacts to these facilities. Thus, the proposed project's cumulative-level impacts to freeways would remain significant and unavoidable, consistent with the analysis of the FEIR.</i></p>						
<p><i>(c) Create an average demand for parking that would exceed the average available supply? The proposed project would provide a total of 16 off-street parking spaces. Since this exceeds the parking requirement of the Centre City PDO, the project would not have a significant direct impact on downtown parking. Although the project would provide more than the required amount of parking, the FEIR concludes that the total parking demand generated by downtown development would exceed the amount of parking provided by such development in accordance with the PDO. Implementation of FEIR Mitigation Measure TRF-D.1-1 would reduce, but not fully mitigate, the significant cumulative impact of excessive parking demand (this mitigation measure is not the responsibility of the proposed project, and therefore, is not included in Attachment A). Furthermore, no feasible mitigation has been identified which could be</i></p>		X			X	

Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
<i>implemented by the project to mitigate this impact. Therefore, the proposed project would contribute to the cumulatively significant and not mitigated shortfall in parking supply anticipated to occur throughout the downtown by the FEIR.</i>						
(d) Substantially discourage the use of alternative modes of transportation or cause transit service capacity to be exceeded? <i>The proposed project does not include any features that would discourage the use of alternative modes of transportation. The project's proximity to several other community serving uses, including nearby shopping and recreational activities also encourage walking. Additionally, the residents or users of the proposed project would be encouraged to use alternative transportation means through an adjacent trolley line as well as several bus lines located within a five-minute walk. According to the FEIR, SANDAG has indicated that transit facilities should be sufficient to serve the downtown population without exceeding capacity. Therefore, no impact will occur associated with transit or alternative modes of transportation.</i>					X	X
<b>16. MANDATORY FINDINGS OF SIGNIFICANCE</b>						
(a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory? <i>As indicated in the FEIR, due to the highly urbanized nature of the downtown area, no sensitive plant or animal species, habitats, or wildlife migration corridors are located in the Centre City area. However, the project does have the potential to eliminate important examples of major periods of California history or prehistory at the project level. No other aspects of the project would substantially degrade the environment. Cumulative impacts are described in subsection 16.b below.</i>	X	X				

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Issues and Supporting Information	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
(b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)? <i>As acknowledged in the FEIR, implementation of the Centre City Community Plan, PDO, and Redevelopment Plan will result in cumulative impacts associated with: air quality, historical and archaeological resources, noise, traffic, and water quality. This project will contribute to those impacts. Implementation of the mitigation measures identified in the FEIR would reduce some significant cumulative impacts; however, the impacts would remain significant and immitigable. Cumulative impacts would not be greater than those identified in the FEIR.</i>		X				
(c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly? <i>As described elsewhere in this study, the proposed project would result in significant and unmitigated impacts. Those impacts associated with air and noise could have substantial adverse effects on human beings. However, these impacts would be no greater than those assumed in the FEIR. Implementation of the mitigation measures identified in the FEIR would mitigate many, but not all, of the significant impacts.</i>	X	X				

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SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
<b>AIR QUALITY (AQ)</b>				
<p><b>Impact AQ-B.1:</b>  <b>Dust and construction equipment engine emissions generated during grading and demolition would impact local and regional air quality. (Direct and Cumulative)</b></p>	<p><i>Mitigation Measure AQ-B.1-1:</i> Prior to approval of a Grading or Demolition Permit, the City shall confirm that the following conditions have been applied, as appropriate:</p> <ol style="list-style-type: none"> <li>1. Exposed soil areas shall be watered twice per day. On windy days or when fugitive dust can be observed leaving the development site, additional applications of water shall be applied as necessary to prevent visible dust plumes from leaving the development site. When wind velocities are forecast to exceed 25 miles per hour, all ground disturbing activities shall be halted until winds that are forecast to abate below this threshold.</li> <li>2. Dust suppression techniques shall be implemented including, but not limited to, the following:               <ol style="list-style-type: none"> <li>a. Portions of the construction site to remain inactive longer than a period of three months shall be seeded and watered until grass cover is grown or otherwise stabilized in a manner acceptable to the CCDC.</li> <li>b. On-site access points shall be paved as soon as feasible or watered periodically or otherwise stabilized.</li> <li>c. Material transported offsite shall be either sufficiently watered or securely covered to prevent excessive amounts of dust.</li> <li>d. The area disturbed by clearing, grading, earthmoving, or excavation operations shall be minimized at all times.</li> </ol> </li> <li>3. Vehicles on the construction site shall travel at speeds less than 15 miles per hour.</li> <li>4. Material stockpiles subject to wind erosion during construction activities, which will not be utilized within three days, shall be covered with plastic, an alternative cover deemed equivalent to plastic, or sprayed with a nontoxic chemical stabilizer.</li> <li>5. Where vehicles leave the construction site and enter adjacent public streets, the streets shall be swept daily or washed down at the end of the work day to remove soil tracked onto the paved surface. Any visible track-out extending for more than fifty (50) feet from the access point shall be swept or washed within thirty (30) minutes of deposition.</li> <li>6. All diesel-powered vehicles and equipment shall be properly operated and maintained.</li> <li>7. All diesel-powered vehicles and gasoline-powered equipment shall be turned off when not in use for more than five minutes, as required by state law.</li> <li>8. The construction contractor shall utilize electric or natural gas-powered equipment in lieu of gasoline or diesel-powered engines, where feasible.</li> <li>9. As much as possible, the construction contractor shall time the construction activities so as not to interfere with peak hour traffic. In order to minimize obstruction of through traffic lanes adjacent to the site, a flag-person shall be retained to maintain safety adjacent to existing roadways, if necessary.</li> </ol>	<p>Prior to Demolition or Grading Permit (Design)</p>	<p>Developer</p>	<p>City</p>

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p>10. The construction contractor shall support and encourage ridesharing and transit incentives for the construction crew.</p> <p>11. Low VOC coatings shall be used as required by SDAPCD Rule 67. Spray equipment with high transfer efficiency, such as the high volume-low pressure (HPLV) spray method, or manual coatings application such as paint brush hand roller, trowel, spatula, dauber, rag, or sponge, shall be used to reduce VOC emissions, where feasible.</p> <p>12. If construction equipment powered by alternative fuel sources (LPG/CNG) is available at comparable cost, the developer shall specify that such equipment be used during all construction activities on the development site.</p> <p>13. The developer shall require the use of particulate filters on diesel construction equipment if use of such filters is demonstrated to be cost-competitive for use on this development.</p> <p>14. During demolition activities, safety measures as required by City/County/State for removal of toxic or hazardous materials shall be utilized.</p> <p>15. Rubble piles shall be maintained in a damp state to minimize dust generation.</p> <p>16. During finish work, low-VOC paints and efficient transfer systems shall be utilized, to the extent possible.</p> <p>17. If alternative-fueled and/or particulate filter-equipped construction equipment is not feasible, construction equipment shall use the newest, least-polluting equipment, whenever possible.</p>			68800
<b>HISTORICAL RESOURCES</b>				
<p><b>Impact HIST-B.1:</b> Development in downtown could impact significant buried archaeological resources. (Direct and Cumulative)</p>	<p><i>Mitigation Measure HIST-B.1-1:</i> If the potential exists for archaeological resources, the following measures shall be implemented.</p> <p><b>1. Prior to Permit Issuance</b></p> <p>A. Construction Plan Check</p> <p>1. Prior to Notice to Proceed (NTP) for any construction permits, including but not limited to, the first Grading Permit, Demolition Permits and Building Permits, but prior to the first preconstruction meeting, whichever is applicable, the Centre City Development Corporation (CCDC) shall verify that the requirements for Archaeological Monitoring and Native American monitoring, if applicable, have been noted on the appropriate construction documents.</p> <p>B. Letters of Qualification have been submitted to CCDC</p> <p>1. The applicant shall submit a letter of verification to CCDC identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.</p>	<p>Prior to Demolition or Grading Permit (Design)</p> <p>Prior to Certificate of Occupancy (Implementation)</p>	Developer	CCDC

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p>2. CCDC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project.</p> <p>3. Prior to the start of work, the applicant must obtain approval from CCDC for any personnel changes associated with the monitoring program.</p> <p><b>II. Prior to Start of Construction</b></p> <p><b>A. Verification of Records Search</b></p> <p>1. The PI shall provide verification to CCDC that a site-specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coast Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.</p> <p>2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.</p> <p>3. The PI may submit a detailed letter to CCDC requesting a reduction to the 1/4 mile radius.</p> <p><b>B. PI Shall Attend Precon Meetings</b></p> <p>1. Prior to beginning any work that requires monitoring, the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and CCDC. The qualified Archaeologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.</p> <p>a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with CCDC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.</p> <p>2. Identify Areas to be Monitored</p> <p>a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) based on the appropriate construction documents (reduced to 11x17) to CCDC identifying the areas to be monitored including the delineation of grading/excavation limits.</p> <p>b. The AME shall be based on the results of a site-specific records search as well as information regarding existing known soil conditions (native or formation).</p> <p>3. When Monitoring Will Occur</p> <p>a. Prior to the start of any work, the PI shall also submit a construction schedule to CCDC through the RE indicating when and where monitoring will occur.</p> <p>b. The PI may submit a detailed letter to CCDC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction</p>			

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SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p>documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.</p> <p><b>III. During Construction</b></p> <p><b>A. Monitor Shall be Present During Grading/Excavation/ Trenching</b></p> <ol style="list-style-type: none"> <li>1. The monitor shall be present full-time during soil remediation and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. The Construction Manager is responsible for notifying the RE, PI, and CCDC of changes to any construction activities.</li> <li>2. The monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY discoveries. The RE shall forward copies to CCDC.</li> <li>3. The PI may submit a detailed letter to CCDC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered may reduce or increase the potential for resources to be present.</li> </ol> <p><b>B. Discovery Notification Process</b></p> <ol style="list-style-type: none"> <li>1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.</li> <li>2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.</li> <li>3. The PI shall immediately notify CCDC by phone of the discovery, and shall also submit written documentation to CCDC within 24 hours by fax or email with photos of the resource in context, if possible.</li> </ol> <p><b>C. Determination of Significance</b></p> <ol style="list-style-type: none"> <li>1. The PI and Native American representative, if applicable, shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below. <ol style="list-style-type: none"> <li>a. The PI shall immediately notify CCDC by phone to discuss significance determination and shall also submit a letter to CCDC indicating whether additional mitigation is required.</li> <li>b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) and obtain written approval from CCDC. Impacts</li> </ol> </li> </ol>			<p style="text-align: right;">TCB000</p>

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p>to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.</p> <p>c. If resource is not significant, the PI shall submit a letter to CCDC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.</p> <p><b>IV. Discovery of Human Remains</b></p> <p>If human remains are discovered, work shall halt in that area and the following procedures set forth in the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:</p> <p><b>A. Notification</b></p> <ol style="list-style-type: none"> <li>1. Archaeological Monitor shall notify the RE or BI as appropriate, CCDC, and the PI, if the Monitor is not qualified as a PI.</li> <li>2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.</li> </ol> <p><b>B. Isolate discovery site</b></p> <ol style="list-style-type: none"> <li>1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenience of the remains.</li> <li>2. The Medical Examiner, in consultation with the PI, shall determine the need for a field examination to determine the provenience.</li> <li>3. If a field examination is not warranted, the Medical Examiner shall determine with input from the PI, if the remains are or are most likely to be of Native American origin.</li> </ol> <p><b>C. If Human Remains are determined to be Native American</b></p> <ol style="list-style-type: none"> <li>1. The Medical Examiner shall notify the Native American Heritage Commission (NAHC). By law, only the Medical Examiner can make this call.</li> <li>2. The NAHC shall contact the PI within 24 hours or sooner, after Medical Examiner has completed coordination.</li> <li>3. NAHC shall identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.</li> <li>4. The PI shall coordinate with the MLD for additional consultation.</li> <li>5. Disposition of Native American Human Remains shall be determined between the MLD and the PI, if: <ol style="list-style-type: none"> <li>a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 24 hours after being notified by the Commission; OR;</li> <li>b. The landowner or authorized representative rejects the recommendation of the</li> </ol> </li> </ol>			

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SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p>MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner.</p> <p>D. If Human Remains are not Native American</p> <ol style="list-style-type: none"> <li>1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.</li> <li>2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).</li> <li>3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the Museum of Man for analysis. The decision for interment of the human remains shall be made in consultation with CCDC, the applicant/landowner and the Museum of Man.</li> </ol> <p>V. <b>Night Work</b></p> <p>A. If night work is included in the contract</p> <ol style="list-style-type: none"> <li>1. When night work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.</li> <li>2. The following procedures shall be followed.               <ol style="list-style-type: none"> <li>a. No Discoveries In the event that no discoveries were encountered during night work, the PI shall record the information on the CSVR and submit to CCDC via fax by 9am the following morning, if possible.</li> <li>b. Discoveries All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV - Discovery of Human Remains.</li> <li>c. Potentially Significant Discoveries If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed. The PI shall immediately contact CCDC, or by 8AM the following morning to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.</li> </ol> </li> </ol> <p>B. If night work becomes necessary during the course of construction</p> <ol style="list-style-type: none"> <li>1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.</li> <li>2. The RE, or BI, as appropriate, shall notify CCDC immediately.</li> </ol> <p>C. All other procedures described above shall apply, as appropriate.</p> <p>VI. <b>Post Construction</b></p> <p>A. Submittal of Draft Monitoring Report</p>			

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SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<ol style="list-style-type: none"> <li>1. The PI shall submit two copies of the Draft Monitoring Report (even if negative) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to CCDC for review and approval within 90 days following the completion of monitoring,               <ol style="list-style-type: none"> <li>a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.</li> <li>b. Recording sites with State of California Department of Parks and Recreation The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.</li> </ol> </li> <li>2. CCDC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.</li> <li>3. The PI shall submit revised Draft Monitoring Report to CCDC for approval.</li> <li>4. CCDC shall provide written verification to the PI of the approved report.</li> <li>5. CCDC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.</li> </ol> <p>B. Handling of Artifacts and Submittal of Collections Management Plan, if applicable</p> <ol style="list-style-type: none"> <li>1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued.</li> <li>2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.</li> <li>3. The PI shall submit a Collections Management Plan to CCDC for review and approval for any project which results in a substantial collection of historical artifacts.</li> </ol> <p>C. Curation of artifacts: Accession Agreement and Acceptance Verification</p> <ol style="list-style-type: none"> <li>1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with CCDC and the Native American representative, as applicable.</li> <li>2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and CCDC.</li> </ol> <p>D. Final Monitoring Report(s)</p>			

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SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<ol style="list-style-type: none"> <li>1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to CCDC (even if negative), within 90 days after notification from CCDC that the draft report has been approved.</li> <li>2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from CCDC which includes the Acceptance Verification from the curation institution.</li> </ol> <p>Note: The original text for Mitigation Measure HIST-B.1-1 that was included in the DEIR has been replaced by the above text. The original deleted language appears in Section 5.3.4 of this FEIR.</p>			
<b>NOISE (NOI)</b>				
<b>Impact NOI-B.1:</b> Noise generated by I-5 and highly traveled grid streets could cause interior noise levels in noise-sensitive uses (exclusive of residential and hotel uses) to exceed 45 dB(A). (Direct)	<i>Mitigation Measure NOI-B.1-1:</i> Prior to approval of a Building Permit for any residential, hospital, or hotel within 475 feet of the centerline of Interstate 5 or adjacent to a roadway carrying more than 7,000 ADT, an acoustical analysis shall be performed to confirm that architectural or other design features are included which would assure that noise levels within habitable rooms would not exceed 45 dB(A) CNEL.	Prior to Building Permit (Design)  Prior to Certificate of Occupancy (Implementation)	Developer	CCDC/City
<b>Impact NOI-C.1:</b> Exterior required outdoor open space in residential could experience traffic noise levels in excess 65 dB(A) CNEL. (Direct)	<i>Mitigation Measure NOI-C.1-1:</i> Prior to approval of a Development Permit for any residential development within 475 feet of the centerline of Interstate 5 or adjacent to a roadway carrying more than 7,000 ADT, an acoustical analysis shall be performed to determine if any required outdoor open space areas would be exposed to noise levels in excess of 65 dB(A) CNEL. Provided noise attenuation would not interfere with the primary purpose or design intent of the exterior use, measures shall be included in building plan, to the extent feasible.	Prior to Development Permit (Design)  Prior to Certificate of Occupancy (Implementation)	Developer	City

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SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
<b>PALEONTOLOGICAL RESOURCES (PAL)</b>				
<p><b>Impact PAL-A.1-1:</b> Excavation in geologic formations with a moderate to high potential for paleontological resources could have a significant impact on these resources, if present. (Direct)</p>	<p><i>Mitigation Measure PAL-A.1-1:</i> In the event the Secondary Study indicates the potential for significant paleontological resources, the following measures shall be implemented as determined appropriate by CCDC.</p> <p><b>I. Prior to Permit Issuance</b></p> <p>A. Construction Plan Check</p> <ol style="list-style-type: none"> <li>1. Prior to Notice to Proceed (NTP) for any construction permits, including but not limited to, the first Grading Permit, Demolition Permits and Building Permits, but prior to the first preconstruction meeting, whichever is applicable, Centre City Development Corporation (CCDC) shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.</li> </ol> <p>B. Letters of Qualification have been submitted to CCDC</p> <ol style="list-style-type: none"> <li>1. The applicant shall submit a letter of verification to CCDC identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.</li> <li>2. CCDC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.</li> <li>3. Prior to the start of work, the applicant shall obtain approval from CCDC for any personnel changes associated with the monitoring program.</li> </ol> <p><b>II. Prior to Start of Construction</b></p> <p>A. Verification of Records Search</p> <ol style="list-style-type: none"> <li>1. The PI shall provide verification to CCDC that a site-specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.</li> <li>2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.</li> </ol> <p>B. PI Shall Attend Precon Meetings</p> <ol style="list-style-type: none"> <li>1. Prior to beginning any work that requires monitoring, the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and CCDC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading</li> </ol>	<p>Prior to Demolition, Grading or Building Permit (Design)</p> <p>Prior to Certificate of Occupancy (Implementation)</p>	<p>Developer</p>	<p>CCDC/City</p>

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p>Contractor.</p> <ol style="list-style-type: none"> <li>a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with CCDC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.</li> </ol> <ol style="list-style-type: none"> <li>2. Identify Areas to be Monitored             <ol style="list-style-type: none"> <li>a. Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to CCDC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).</li> </ol> </li> <li>3. When Monitoring Will Occur             <ol style="list-style-type: none"> <li>a. Prior to the start of any work, the PI shall also submit a construction schedule to CCDC through the RE indicating when and where monitoring will occur.</li> <li>b. The PI may submit a detailed letter to CCDC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.</li> </ol> </li> </ol> <p><b>III. During Construction</b></p> <ol style="list-style-type: none"> <li>A. Monitor Shall be Present During Grading/Excavation/Trenching             <ol style="list-style-type: none"> <li>1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. The Construction Manager is responsible for notifying the RE, PI, and CCDC of changes to any construction activities.</li> <li>2. The monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of any discoveries. The RE shall forward copies to CCDC.</li> <li>3. The PI may submit a detailed letter to CCDC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.</li> </ol> </li> <li>B. Discovery Notification Process             <ol style="list-style-type: none"> <li>1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify</li> </ol> </li> </ol>			

060897

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p>the RE or BI, as appropriate.</p> <ol style="list-style-type: none"> <li>2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.</li> <li>3. The PI shall immediately notify CCDC by phone of the discovery, and shall also submit written documentation to CCDC within 24 hours by fax or email with photos of the resource in context, if possible.</li> </ol> <p>C. Determination of Significance</p> <ol style="list-style-type: none"> <li>1. The PI shall evaluate the significance of the resource. <ol style="list-style-type: none"> <li>a. The PI shall immediately notify CCDC by phone to discuss significance determination and shall also submit a letter to CCDC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.</li> <li>b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from CCDC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.</li> <li>c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to CCDC unless a significant resource is encountered.</li> <li>d. The PI shall submit a letter to CCDC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.</li> </ol> </li> </ol> <p>IV. Night Work</p> <ol style="list-style-type: none"> <li>A. If night work is included in the contract <ol style="list-style-type: none"> <li>1. When night work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.</li> <li>2. The following procedures shall be followed. <ol style="list-style-type: none"> <li>a. No Discoveries <ol style="list-style-type: none"> <li>(1) In the event that no discoveries were encountered during night work, The PI shall record the information on the CSVr and submit to CCDC via fax by 9am the following morning, if possible.</li> </ol> </li> <li>b. Discoveries <ol style="list-style-type: none"> <li>(1) All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.</li> </ol> </li> <li>c. Potentially Significant Discoveries</li> </ol> </li> </ol> </li> </ol>			

000898  
86800

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p>(1) If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.</p> <p>d. The PI shall immediately contact CCDC, or by 8AM the following morning to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.</p> <p>B. If night work becomes necessary during the course of construction</p> <ol style="list-style-type: none"> <li>1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.</li> <li>2. The RE, or BI, as appropriate, shall notify CCDC immediately.</li> </ol> <p>C. All other procedures described above shall apply, as appropriate.</p> <p><b>VI. Post Construction</b></p> <p>A. Submittal of Draft Monitoring Report</p> <ol style="list-style-type: none"> <li>1. The PI shall submit two copies of the Draft Monitoring Report (even if negative) which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to CCDC for review and approval within 90 days following the completion of monitoring, <ol style="list-style-type: none"> <li>a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.</li> <li>b. Recording Sites with the San Diego Natural History Museum <ol style="list-style-type: none"> <li>(1) The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.</li> </ol> </li> </ol> </li> <li>2. CCDC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.</li> <li>3. The PI shall submit revised Draft Monitoring Report to CCDC for approval.</li> <li>4. CCDC shall provide written verification to the PI of the approved report.</li> <li>5. CCDC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.</li> </ol> <p>B. Handling of Fossil Remains</p> <ol style="list-style-type: none"> <li>1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.</li> <li>2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal</li> </ol>			

066899

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p>material is identified as to species; and that specialty studies are completed, as appropriate</p> <p>C. Curation of fossil remains: Deed of Gift and Acceptance Verification</p> <ol style="list-style-type: none"> <li>1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.</li> <li>2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and CCDC.</li> </ol> <p>D. Final Monitoring Report(s)</p> <ol style="list-style-type: none"> <li>1. The PI shall submit two copies of the Final Monitoring Report to CCDC (even if negative), within 90 days after notification from CCDC that the draft report has been approved.</li> <li>2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from CCDC, which includes the Acceptance Verification from the curation institution.</li> </ol>			

006000

DATE ISSUED: October 24, 2005

ATTENTION: Council President and City Council  
Docket of October 30, 2007

ORIGINATING DEPT.: Centre City Development Corporation

SUBJECT: 15<sup>th</sup> & Commercial (block bounded by Imperial Avenue and 15<sup>th</sup>,  
16<sup>th</sup> and Commercial Streets) – Centre City Conditional Use  
Permit/Variance No. 2007-24 to Amend and Supersede  
Conditional Use Permit 88-1224 to Reconstruct an Existing  
Transitional Housing Facility and Add Residential and Educational  
Uses – East Village Redevelopment District of the Expansion Sub  
Area of the Centre City Redevelopment Project – *Public Hearing*

COUNCIL DISTRICT: District 2

REFERENCE: None

STAFF CONTACT: Brad Richter, CCDC Current Planning Manager, 619.533.7115

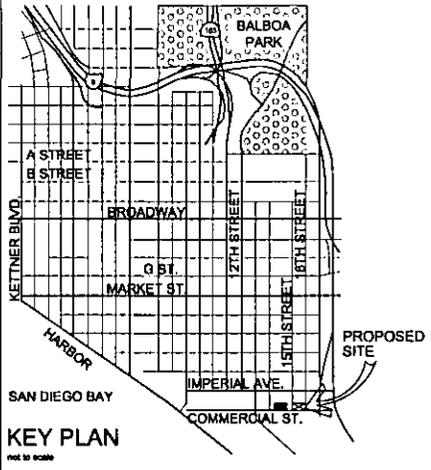
The attached Basic Concept/Schematic Drawings are an attachment to the subject item.

Attachment



000904

PROJECT DATA							DEVELOPMENT SUMMARY			PROJECT SUMMARY			PROJECT SUMMARY CONT.		
FLOOR LEVEL	F.A.R. / G.F.A.	NET AREA	NET AREA	NET AREA	PARKING SPACES	RESIDENTIAL UNITS / TRANSITIONAL P.U.	<b>1. STREET ADDRESS</b> 1501 IMPERIAL AVENUE SAN DIEGO, CA 92101 SITE LOCATED BETWEEN 15TH STREET, 18TH STREET AND COMMERCIAL AVENUE  <b>2. SITE AREA</b> 60,329 SF  <b>3. GROSS FLOOR AREA</b> 103,347 SF  <b>4. PARKING CRITERIA:</b>  <b>RESIDENTIAL USE:</b> 64 LIVING UNITS 1 BED (DWELLING UNIT)  Total Units: 65 Units  1 Space per Dwelling Unit = 1 space Living Units = All or Below 40%AAH = None = 0 spaces  <b>TRANSITIONAL USE:</b> 75 DORMITORIES (150 OCCUPANTS)  <b>OFFICE USE:</b> REQ 1.5 CAR/1000SF (Project is less than 50,000 SF of office space and is exempt) 8,828 SF OFFICE AREA IN NEW BUILDING + 9 CARS PROVIDED 9,386 SF OFFICE AREA IN EXISTING JKC  <b>EXISTING JKC PARKING TO REMAIN: 144 SPACES</b>  <b>NEW PARKING SPACES PROVIDED</b> Single Standard = 7 Spaces Handicap Van = 1 Space Space Tandem Std. = 8 Spaces  Total parking spaces = 144 Spaces  <b>MOTORCYCLE SPACES: (Not Required) 1 Provided</b>  <b>BICYCLE SPACES: (Not Required) 28 Provided</b>			<b>1. PROJECT TEAM</b> <b>ARCHITECTS:</b> Austin Veum Robbins Partners One America Plaza 800 West Broadway, Suite 200 San Diego, CA 92101 Contact: Tom Volkmer (619) 231-1900 Phone  <b>2. LIST OF REQUIRED PERMIT/APPROVALS FOR PROPOSED PROJECT</b> CCDC Development Permit City of San Diego Building Department CUP Amendment  <b>3. LEGAL DESCRIPTION/ASSESSORS PARCEL NUMBER</b> 1501 IMPERIAL AVE. Assessor's Parcel Number: 535-622-08  LOT 8 1 THROUGH 12 INCLUSIVE, IN BLOCK 58 OF SHERMAN'S ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAPS THEREOF NO. 278 AND 456, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 9, 1872 AND FEBRUARY 18, 1880, RESPECTIVELY.  <b>4. OWNER'S NAME AND ADDRESS</b> SUDP Management Inc. 3300 E Street San Diego, CA 92102-3332  <b>5. TYPE OF CONSTRUCTION</b> TYPE I F.R. TYPE V - ONE HOUR (SPRINKLERED)  <b>6. OCCUPANCY</b> Mixed Use: Residential, Commercial, Parking  <b>7. BUILDING CODE YEAR</b> CBC 2007  <b>8. ZONING DESIGNATIONS / ZONING OVERLAY</b> CCPD-D, (MC) MIXED COMMERCIAL (LF) LARGE FLOORPLATE  <b>9. NUMBER OF STORIES</b> 12 above grade plus 1 parking level below grade  <b>10. BUILDING HEIGHT</b> 148'-0" AGL  <b>11. FLOOR AREA AND FAR</b> BASE F.A.R. : 3.0 SITE AREA: 60,329 SF ALLOWABLE BUILDABLE F.A.R. : 180,987 SF  EXISTING F.A.R. TO REMAIN: 73,950 SF PROPOSED AREA TO BE BUILT: 103,347 SF TOTAL AREA: 177,297 SF  <b>12. EXISTING AND PROPOSED USES AND OCCUPANCIES</b> Existing: Emergency Shelter (Transitional) Proposed: Commercial, Transitional, Residential, Parking			<b>13. YEAR OF EXISTING STRUCTURES ON THE LOT (INCLUDE STRUCTURES TO BE DEMOLISHED)</b> BISHOP MAHER CENTER: warehouse 1977 (TO BE DEMOLISHED) JOAN KROCC CENTER: 1983  <b>14. CONDITION OF THE SOIL</b> SEE GEOTECHNICAL & SEISMIC INVESTIGATION BY URS, DATED 03/19/2007  <b>INDEX TO DRAWINGS</b> T 01 TITLE SHEET T 02 PROJECT DATA A1.01 VICINITY MAP A1.02 SITE PLAN A1.03 PARKING SITE PLAN A1.04 SECOND & THIRD LEVEL SITE PLAN B1 - PARKING SHARMENT GROUND LEVEL A2.01 LEVEL 02 FLOOR PLAN A2.02 LEVEL 03 FLOOR PLAN A2.03 LEVEL 04 FLOOR PLAN A2.04 LEVEL 05, 08 & 07 FLOOR PLANS A2.05 LEVEL 06 FLOOR PLAN A2.06 LEVEL 08 FLOOR PLAN A2.07 LEVEL 10 & 11 FLOOR PLANS A2.08 ROOF PLAN A2.09 BUILDING ELEVATION - NORTH A2.10 BUILDING ELEVATION - EAST A2.11 BUILDING ELEVATION - SOUTH A2.12 BUILDING ELEVATION - WEST A6.01 TODDLER BUILDING ELEVATIONS A6.02 STREET ELEVATIONS A6.03 STREET ELEVATIONS A7.01 SECTION A A7.02 SECTION B A8.01 MATERIALS BOARD		
8-1	DAY CARE	TRANSITIONAL	RESIDENTIAL		19										
12-242	5,072														
9-705	3,804														
3	6,990	6,279													
		5,283													
		+6,288													
		+6,288													
		+6,288 = 24,087				75									
8-11	35,949														
				6,579											
				+5,989											
				+5,989											
				+6,963 = 23,305		65									
ROOF	3,087														
TOTAL	103,347	17,138	25,067	23,205	16	1778 P.U.									
COMMON AREA FOR RESIDENTIAL															
1,889															
OUTDOOR AREA FOR RESIDENTIAL															
1,829															
COMMODITIES AREA															
FLOOR LEVEL	GROSS FLOOR AREA	NET AREA													
1	4,148	3,823													
TOTAL	4,148	3,823													
UNIT SUMMARY FOR PROPOSED STRUCTURE															
75 DORMITORIES (150 OCCUPANTS)															
64 LIVING UNITS (128 OCCUPANTS)															
1 ONE BEDROOM DWELLING UNIT															
3 GUEST ROOMS															
OVERALL RESIDENTIAL UNITS															
	EXISTING JKC	UNITS	OCC.		EXISTING JKC	UNITS	OCC.								
	2ND FLOOR	53	187		2ND FLOOR	53	187								
	3RD FLOOR	32	127		3RD FLOOR	32	127								
	SUBTOTAL	85	314		SUBTOTAL	85	314								
	EXISTING BKG TO BE DEMOLISHED				PROPOSED										
	2ND FLOOR	NA	76		4TH FLOOR	16	36								
	3RD FLOOR	NA	76		5TH FLOOR	19	38								
					6TH FLOOR	19	38								
					7TH FLOOR	19	38								
	SUBTOTAL		180		SUBTOTAL	76	180								
	TOTAL	85	494		TOTAL	160	494								



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## 15TH AND COMMERCIAL

SAN DIEGO, CALIFORNIA

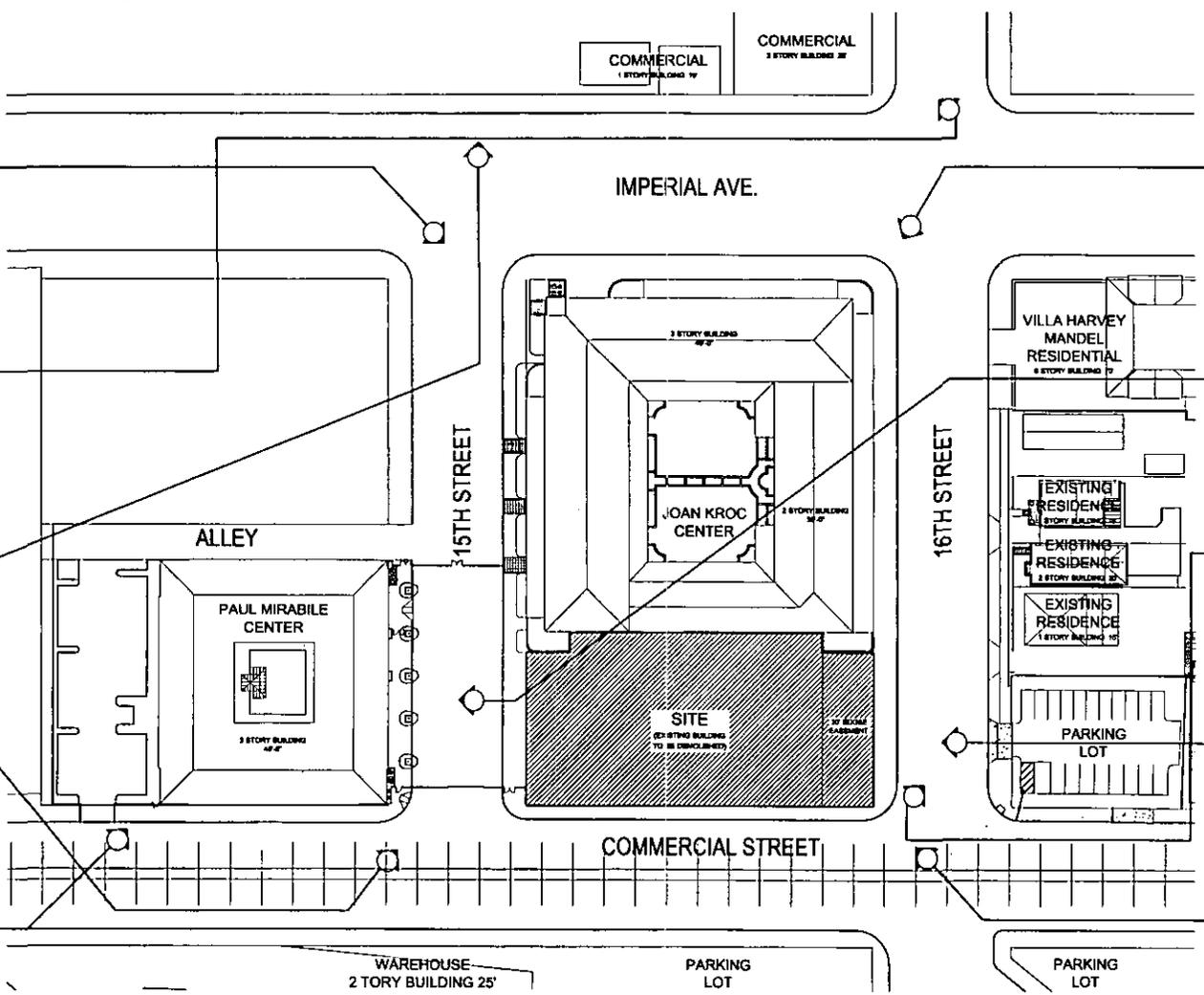
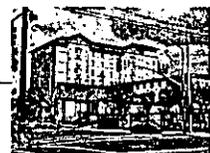
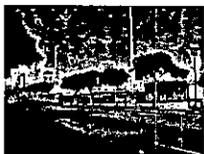
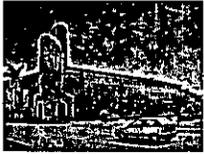
**DATE:** 08.22.2007  
**CCDC SUBMITTAL:** 08.22.2007  
**PRELIMINARY REVIEW:** 08.24.2007  
**CCDC - CUP:**  
**REVISED SUBMITTAL:** 08.23.2007

Architect:  
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**SHEET TITLE:** PROJECT DATA  
**PROJECT NO.:** 000904  
**DATE:**  
**CHECKED:**  
**DESIGNED:**  
**DATE:**

**T.02**

000905



15TH AND COMMERCIAL  
SAN DIEGO, CALIFORNIA

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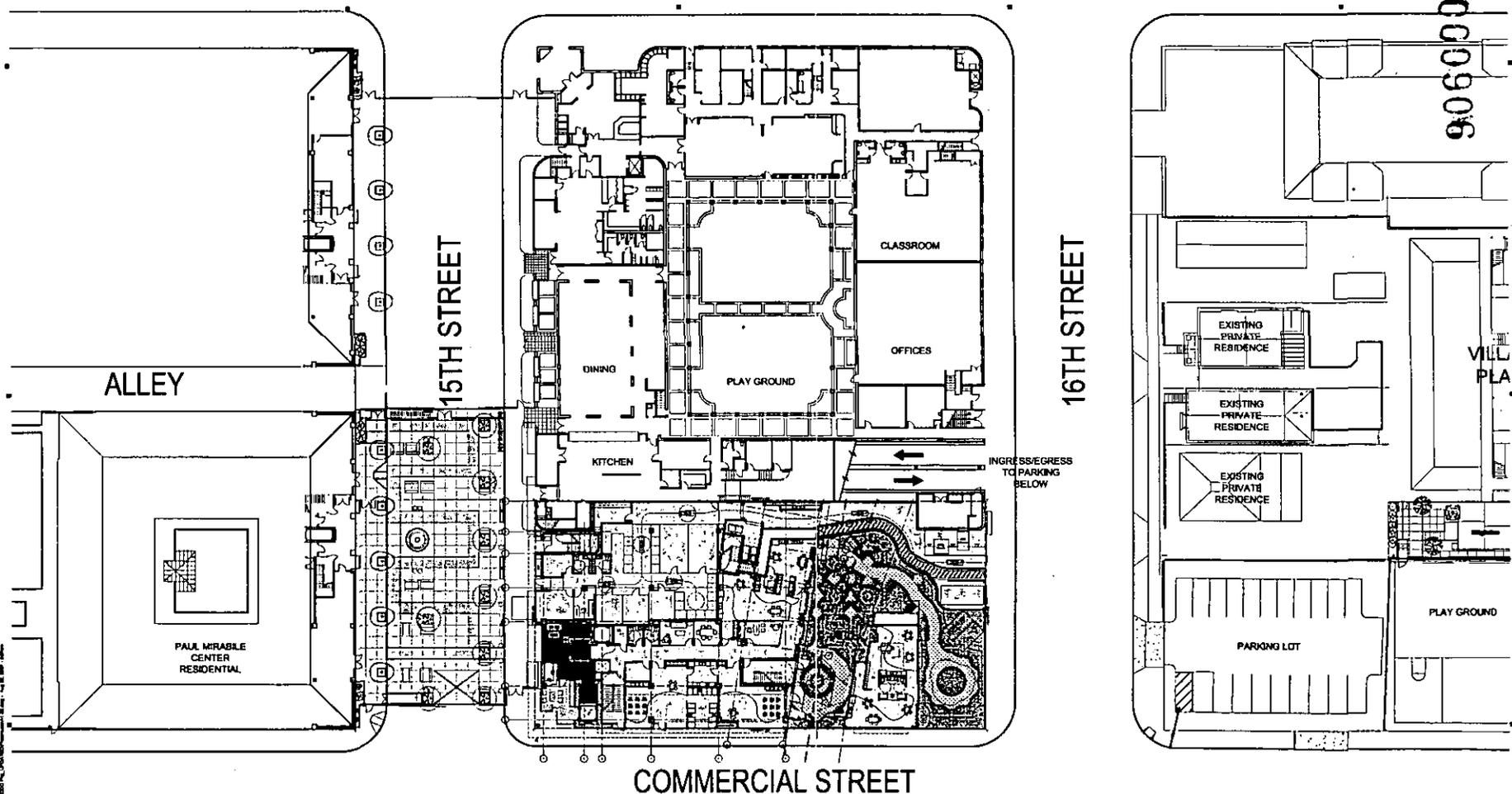
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DATE: 08.23.2007  
CHECK SUBMITTAL: 08.23.2007  
CITY OF SAN DIEGO - PRELIMINARY REVIEW: 08.24.2007  
CDDC - CLIP: 08.23.2007  
REVISED SUBMITTAL: 08.23.2007

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**AUSTIN VEUM ROBBINS PARTNERS**

SHEET TITLE VICINITY MAP  
PROJECT NO. 000905  
SHEET NO. A1.01



SITE PLAN  
1/20



LEGEND

- DAY CARE CENTER
- RESIDENT LOBBY
- SERVICE
- PLAY GROUND
- TENANT LOBBY

15TH AND COMMERCIAL  
SAN DIEGO, CALIFORNIA

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DATE: 08.23.2007  
CITY OF SAN DIEGO: 08.23.2007  
PRELIMINARY REVIEW: 08.23.2007  
CDDC - CUP: 08.23.2007  
REVISED SUBMITTAL: 08.23.2007

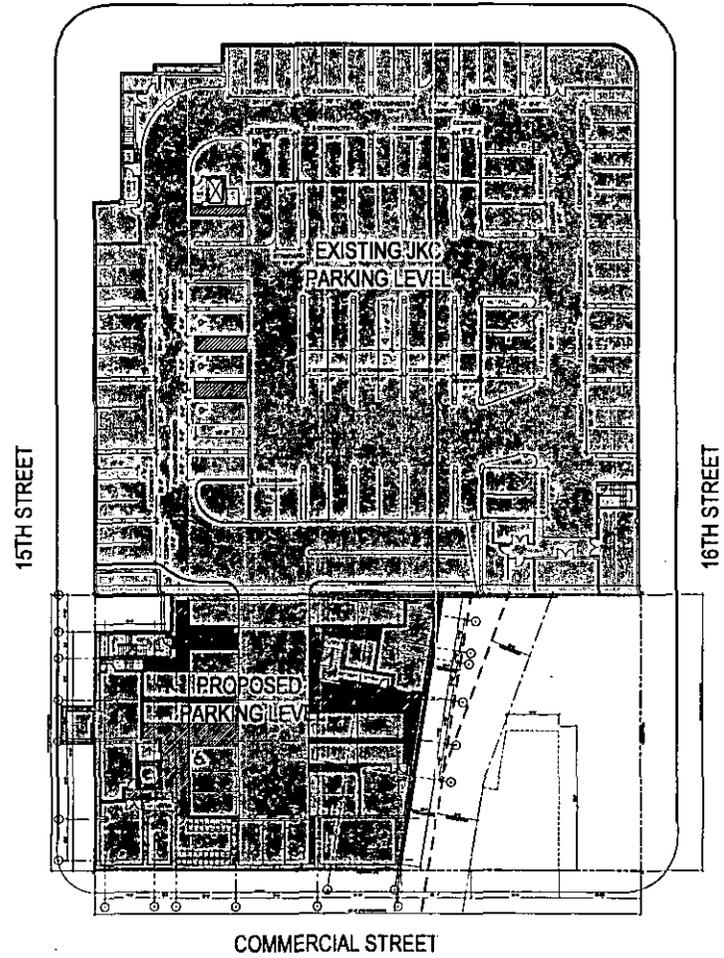
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**AUSTIN  
YEUM  
ROBBINS  
PARTNERS**

SHEET TITLE: 15TH PLAN  
PROJECT NO.: 060601  
DRAWN:  
CHECKED:  
SHEET NO.

A1.02

000907



- LEGEND**
-  EXISTING BELOW GRADE PARKING (144 SPACES)
  -  NEW BELOW GRADE PARKING (16 SPACES)

PARKING SITE PLAN



**15TH AND COMMERCIAL**  
SAN DIEGO, CALIFORNIA

DATE: 08.22.2007  
 CDDC SUBMITTER: 08.22.2007  
 CITY OF SAN DIEGO: 08.24.2007  
 PRELIMINARY REVIEW: 08.24.2007  
 CDDC: 08.22.2007  
 REVIEWER: 08.22.2007

Author: Austin Yeum  
 Interior Design: Austin Yeum  
 Planning: Austin Yeum  
 Engineering: Austin Yeum  
 Date: 08/22/07  
 2007 Street Boundary  
 Date: 08/22/07  
 San Diego  
 California 92101-3302  
 P 619.231.1892  
 F 619.231.1828  
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**AUSTIN YEUM ROBBINS PARTNERS**

SHEET TITLE: PARKING SITE PLAN  
 PROJECT NO.:  
 SHEET NO.:  
 SCALE:

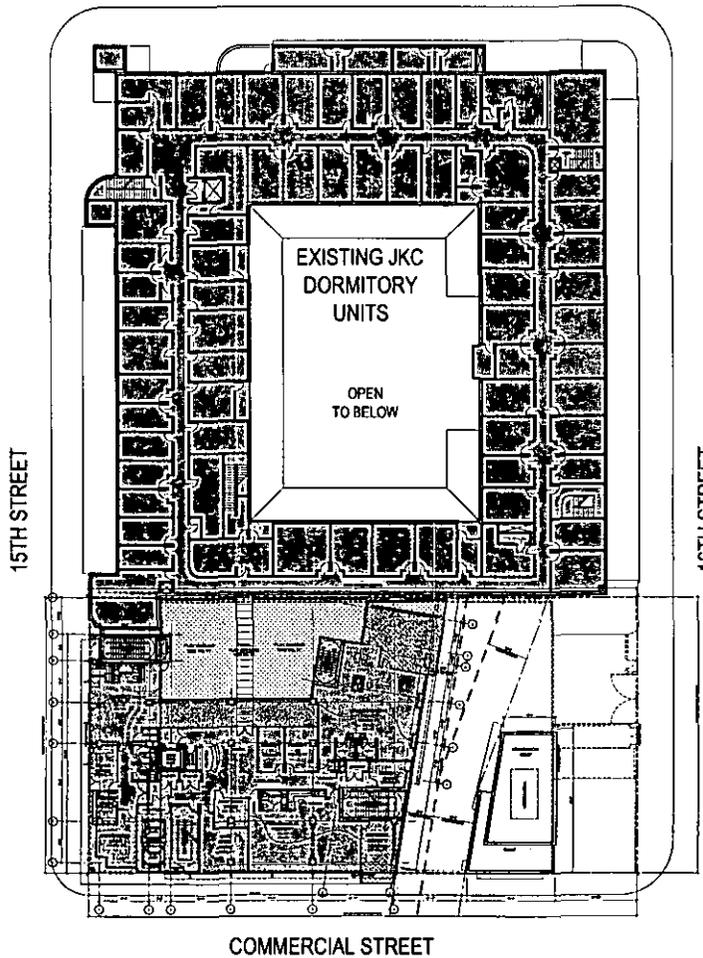
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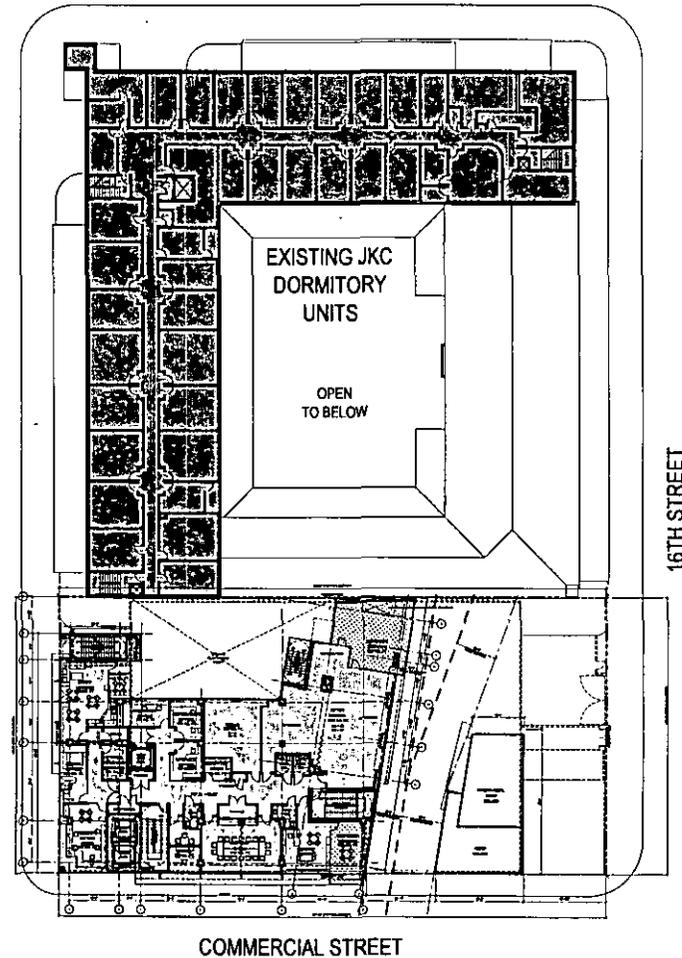


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806000



SECOND FLOOR SITE PLAN



THIRD FLOOR SITE PLAN

LEGEND

- NEW SECOND LEVEL
- EXISTING JKC SECOND LEVEL
- NEW THIRD LEVEL
- EXISTING JKC THIRD LEVEL

15TH AND COMMERCIAL  
SAN DIEGO, CALIFORNIA

DATE: 08/20/09  
CITY OF SAN DIEGO  
PRELIMINARY REVIEW  
REVISION: 08/23/09

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Robbins Partners  
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F 619 231 1828  
www.aey.com

**AUSTIN  
YEUM  
ROBBINS  
PARTNERS**



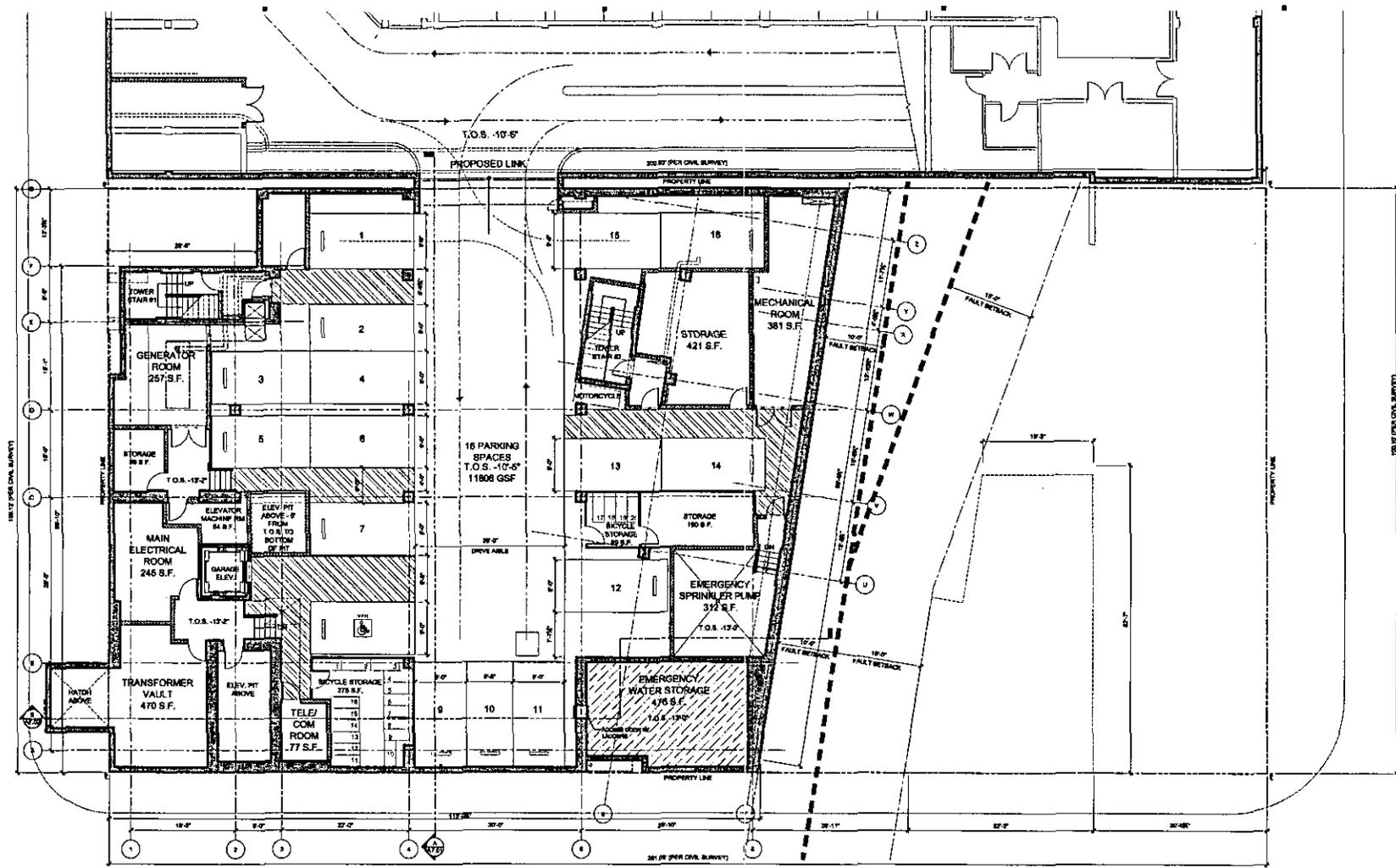
SHEET TITLE: SECOND & THIRD LEVEL SITE PLAN  
PROJECT NO.: 0809-01  
DRAWN BY: JRM  
CHECKED BY: JRM  
SHEET NO.: A1.04

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606009



**BASEMENT B1 - PARKING**  
1/8"=1'-0"

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SAN DIEGO, CALIFORNIA

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CCDC BIDDING: 01.23.2007  
CITY OF SAN DIEGO: 02.24.2007  
PRELIMINARY REVIEW: 02.24.2007  
CCDC - C.U.P.:  
REVISED BIDDING: 03.23.2007

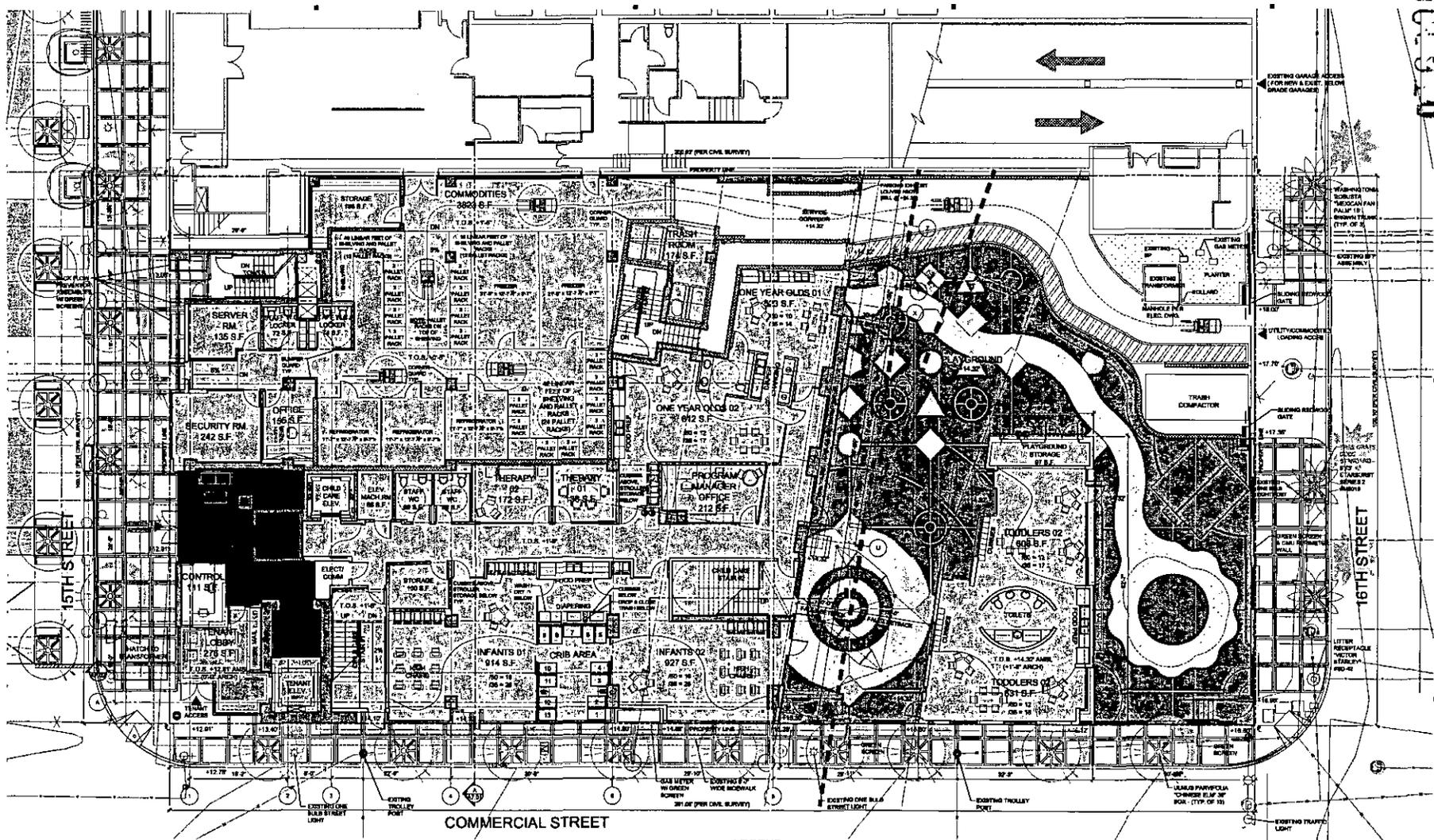
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YEUM  
ROBBINS  
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SHEET TITLE: BASEMENT B1 - PARKING  
PROJECT NO.:  
DRAWN:  
CHECKED:  
DATE: 06/01/07

**A2.00**

06790



GROUND LEVEL  
14'11"



LEGEND

- DAY CARE CENTER
- RESIDENT LOBBY
- COMMODITIES
- PLAYGROUND
- TENANT LOBBY

15TH AND COMMERCIAL  
SAN DIEGO, CALIFORNIA

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ISSUE DATES:  
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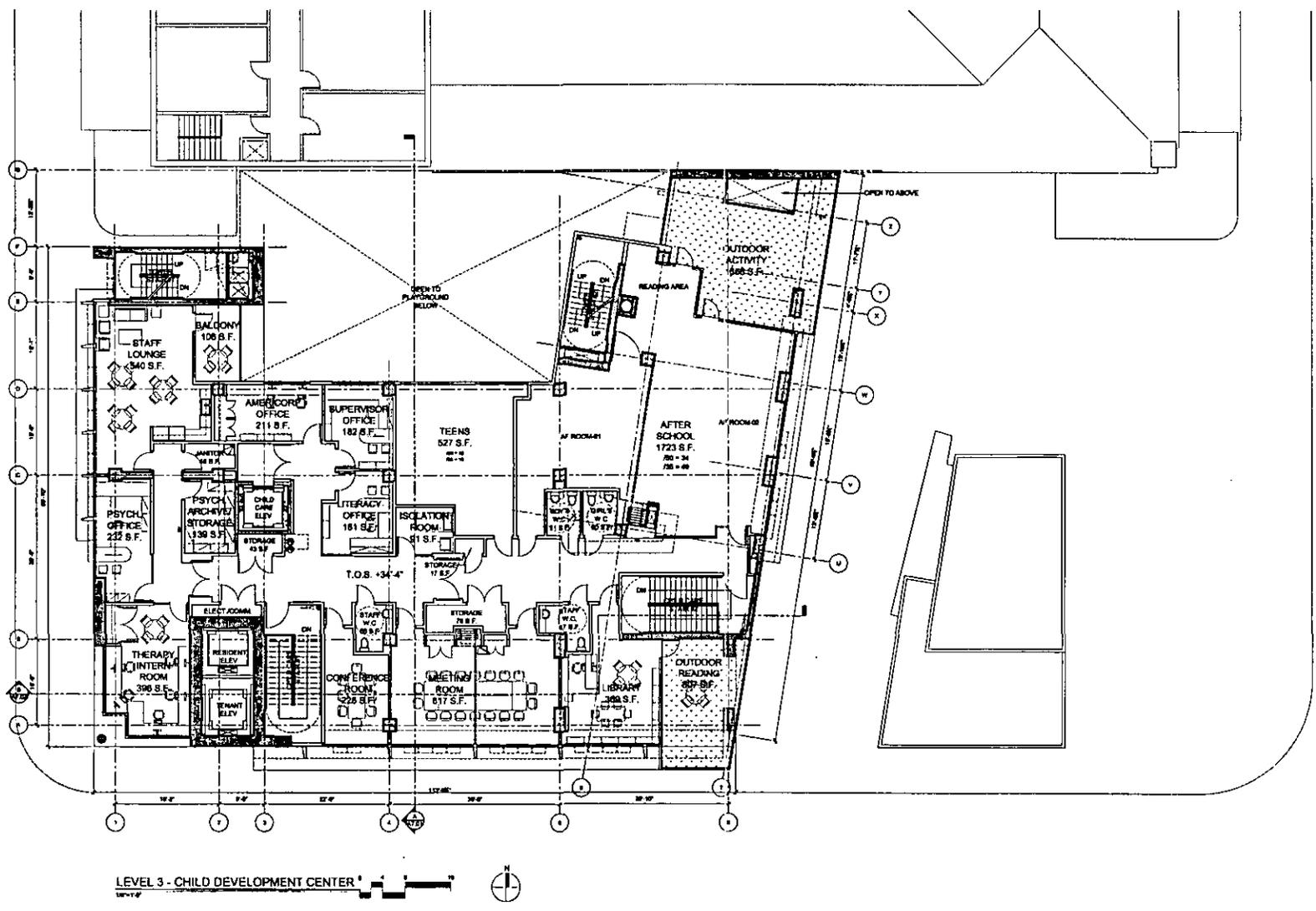
**AUSTIN  
 VEUM  
 ROBBINS  
 PARTNERS**

SHEET TITLE: GROUND LEVEL  
 PROJECT NO: 06790  
 DRAWN: [blank]  
 CHECKED: [blank]  
 SHEET NO: [blank]

A2.01



000912



LEVEL 3 - CHILD DEVELOPMENT CENTER

15TH AND COMMERCIAL  
SAN DIEGO, CALIFORNIA

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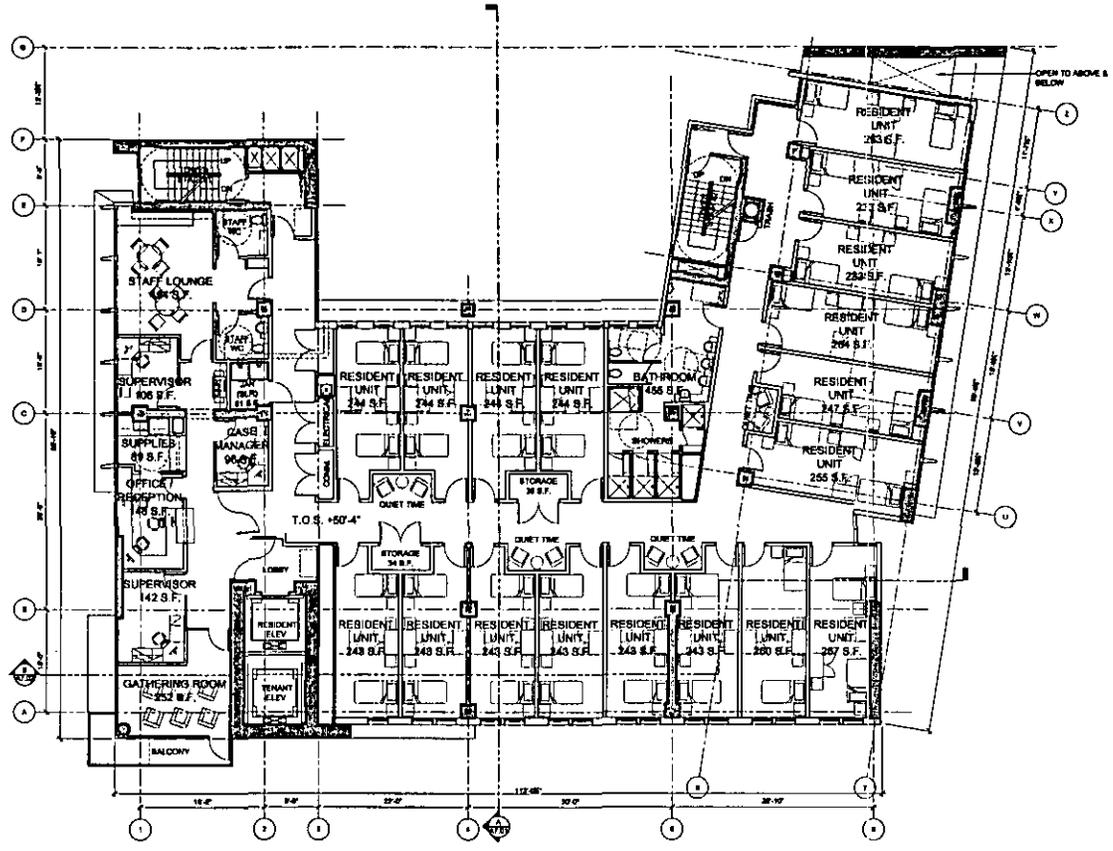
DATE: 08.27.2007  
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 PRELIMINARY REVIEW: 08.24.2007  
 CDDC - C-17  
 PERMITS SUBMITTED: 08.27.2007

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SHEET TITLE: LEVEL 3 - DAY CARE  
 PROJECT NO.: 06081  
 SHEET NO.: A2.03

000913



LEVEL 4 - FRESH START PROGRAM  
 1/17/17

15TH AND COMMERCIAL  
 SAN DIEGO, CALIFORNIA

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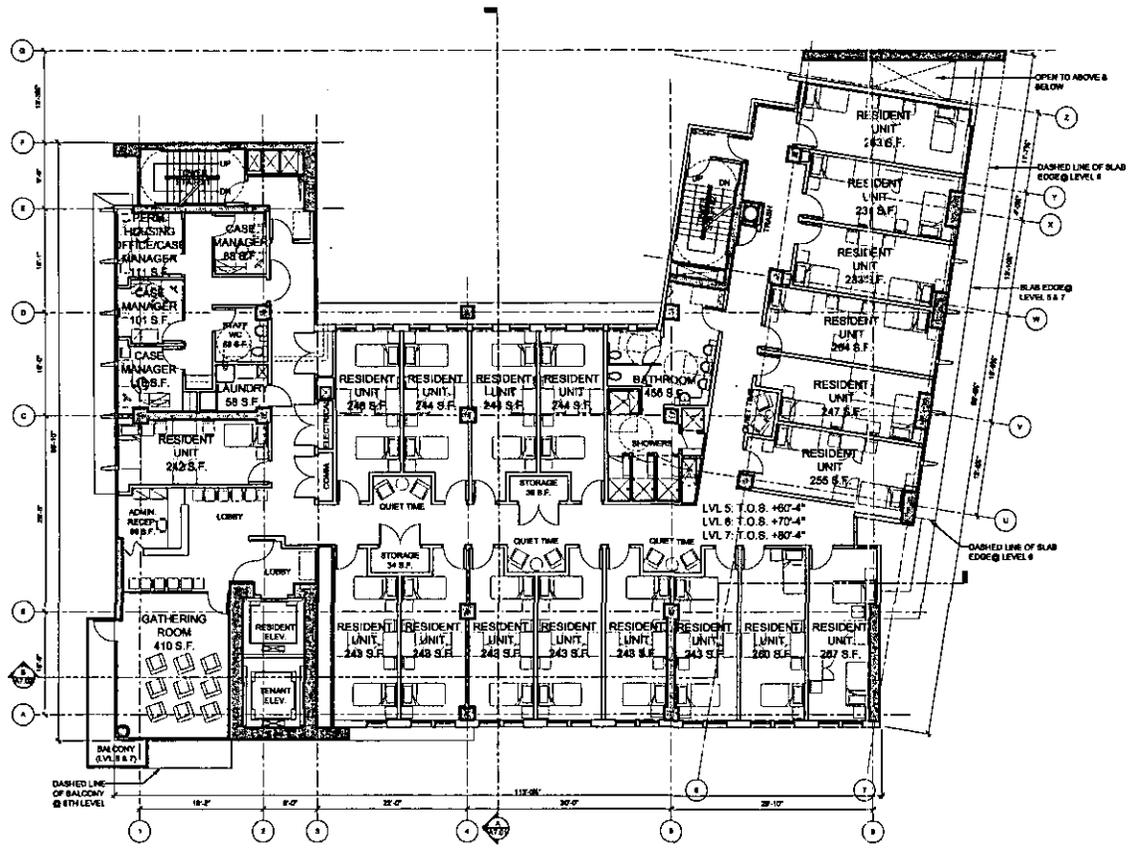
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03.24.2017	CITY OF SAN DIEGO PRELIMINARY REVIEW
03.22.2017	REVISION SUBMITTAL

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 www.whaler.com



SHEET TITLE	LEVEL 4 - FRESH START PROGRAM
PROJECT NO.	150017
DRAWING NO.	050001
SHEET NO.	

A2.04



LEVEL 5, 6 & 7 - FRESH START PROGRAM

15TH AND COMMERCIAL  
SAN DIEGO, CALIFORNIA

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CODE SUBMITTAL 08.25.2017  
CITY OF SAN DIEGO  
PRELIMINARY REVIEW 08.24.2017  
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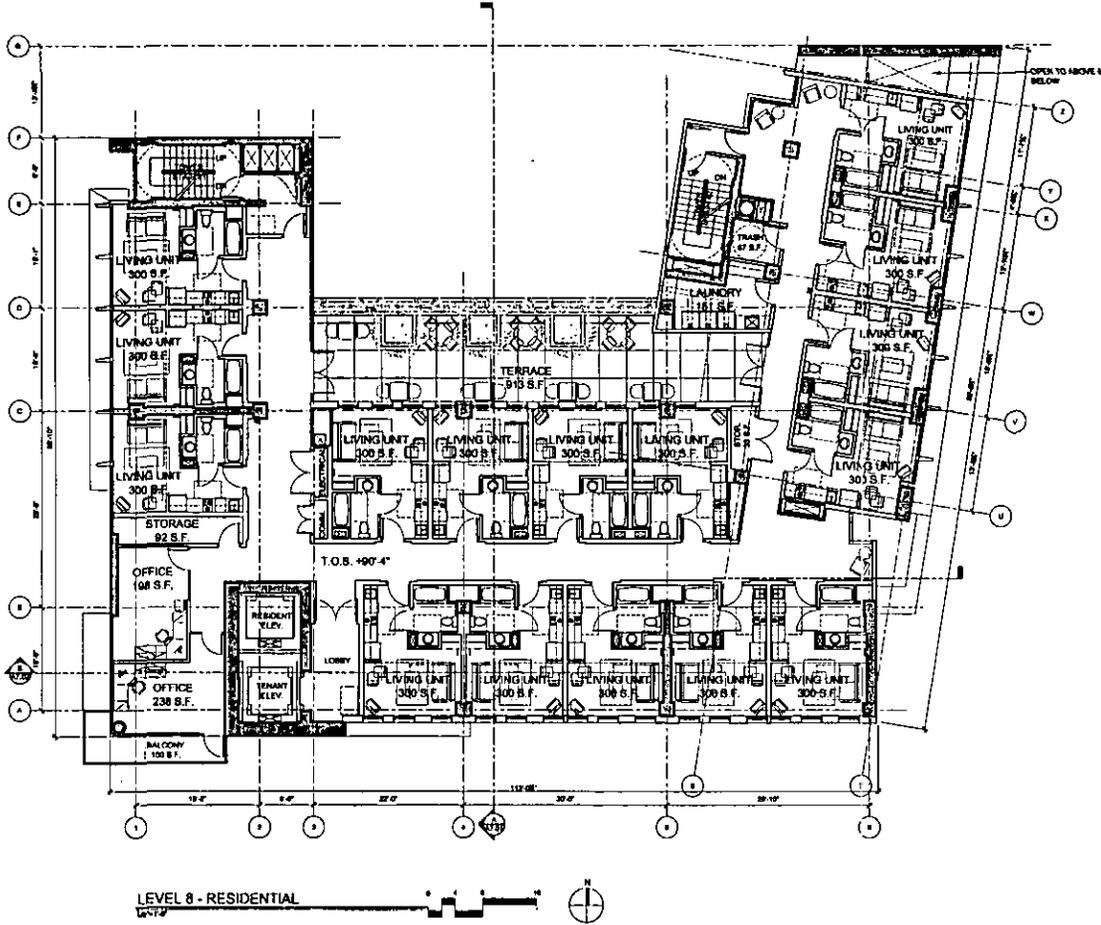
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SHEET TITLE LEVEL 5 THROUGH 7 - FRESH START PROGRAM

PROJECT NO. 000641  
SHEET NO. 000641  
SHEET TITLE

A2.05



15TH AND COMMERCIAL  
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DATE	DESCRIPTION
06.23.2011	DDDC SUBMITTAL
06.24.2011	CITY OF SAN DIEGO - PRELIMINARY REVIEW
06.28.2011	DDDC - CLIP
06.28.2011	REVISED SUBMITTAL

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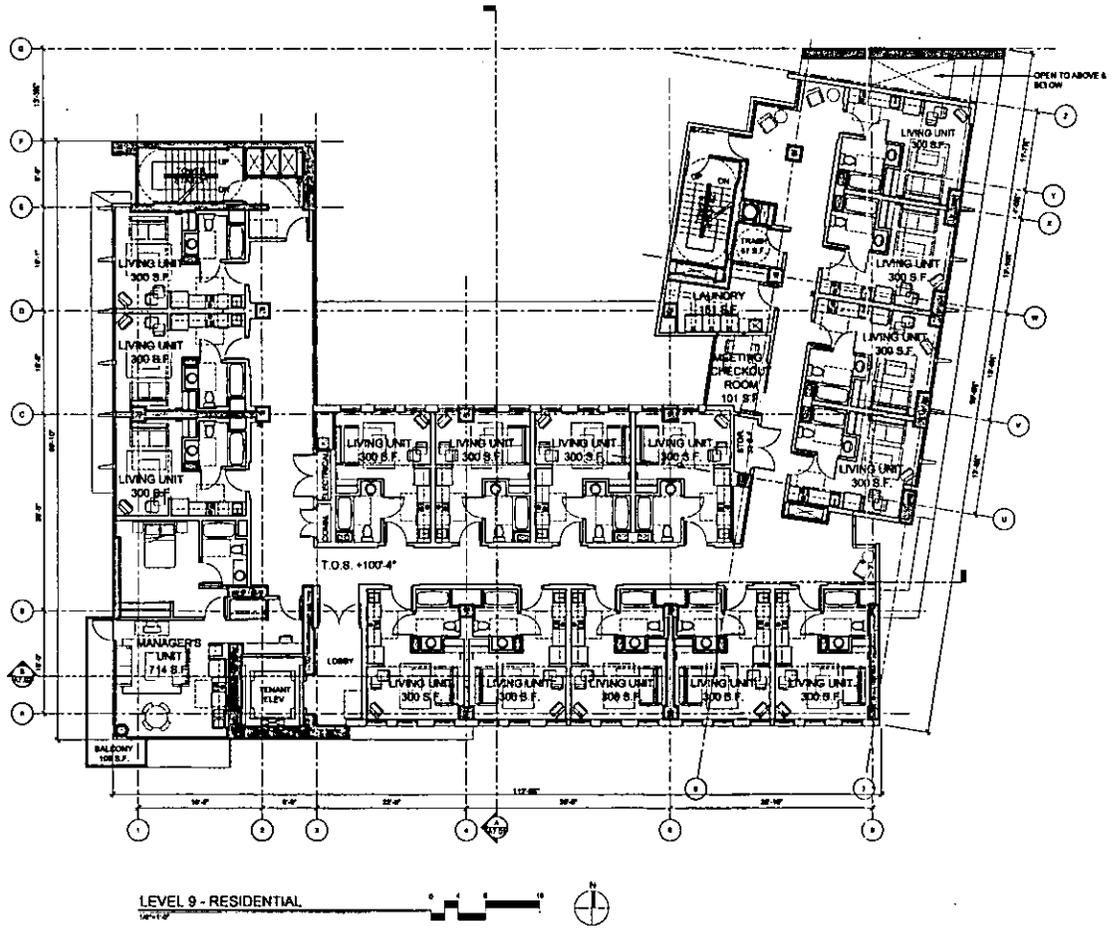
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YEUM  
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PARTNERS**

SHEET TITLE LEVEL 8 - RESIDENTIAL

PROJECT NO. 090003  
DRAWN BY: [blank]  
CHECKED BY: [blank]

SHEET NO. A2.08

916



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**15TH AND COMMERCIAL**  
 SAN DIEGO, CALIFORNIA

DATE	DESCRIPTION
08.22.2007	CDIC SUBMITTAL
08.24.2007	PRELIMINARY REVIEW
08.22.2007	CDIC - C.I.P. REVIEW SUBMITTAL

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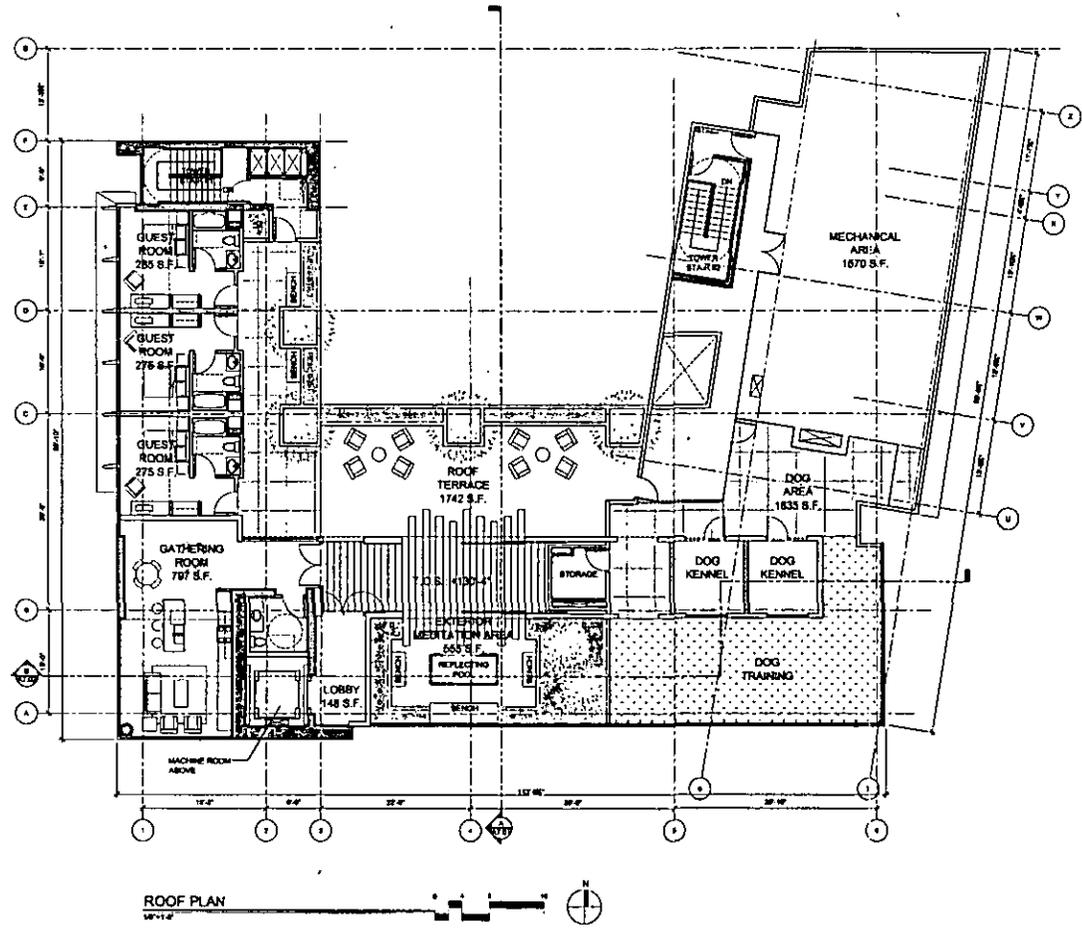
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SHEET TITLE	LEVEL 9 - RESIDENTIAL	SCALE
PROJECT NO.		
ORDER		
SHEET NO.		

**A2.09**



000918



ROOF PLAN  
1/8" = 1'-0"

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 SAN DIEGO, CALIFORNIA

DATE	DESCRIPTION
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06.24.2007	PRELIMINARY REVIEW
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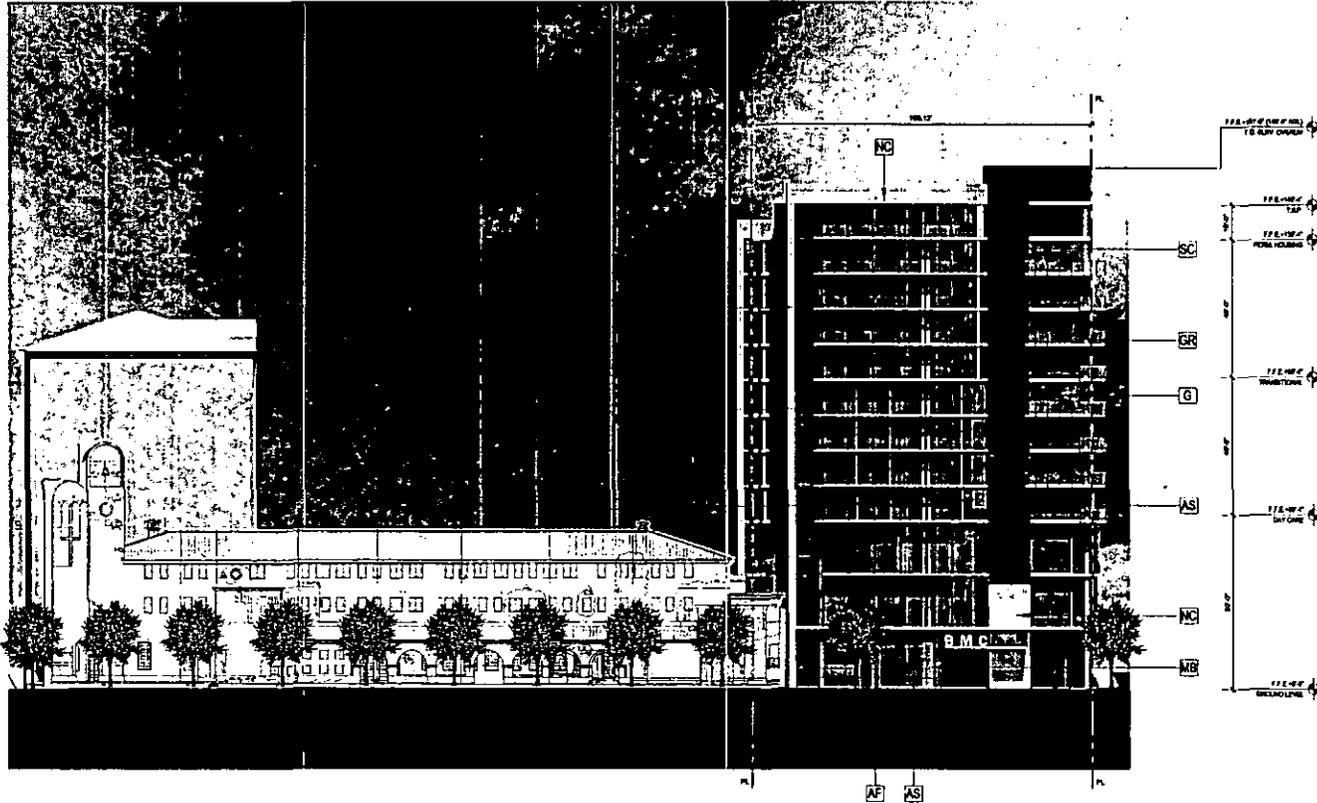
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SHEET TITLE	ROOF PLAN
PROJECT NO.	000918
DRAWN	CH/DES
CHECKED	
DATE	

A2.12

000919



WEST ELEVATION  
1/8" = 1'-0"

**EXTERIOR MATERIALS LEGEND**

1. POLISHED & GLOSSY BRICK	10. POLISHED BRICK	19. POLISHED BRICK
2. POLISHED & GLOSSY GLAZED	11. POLISHED GLAZED	20. POLISHED GLAZED
3. POLISHED & GLOSSY BRICK	12. POLISHED BRICK	21. POLISHED BRICK
4. POLISHED & GLOSSY BRICK	13. POLISHED BRICK	22. POLISHED BRICK
5. POLISHED & GLOSSY BRICK	14. POLISHED BRICK	23. POLISHED BRICK
6. POLISHED & GLOSSY BRICK	15. POLISHED BRICK	24. POLISHED BRICK
7. POLISHED & GLOSSY BRICK	16. POLISHED BRICK	25. POLISHED BRICK
8. POLISHED & GLOSSY BRICK	17. POLISHED BRICK	26. POLISHED BRICK
9. POLISHED & GLOSSY BRICK	18. POLISHED BRICK	27. POLISHED BRICK

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**15TH AND COMMERCIAL**  
 SAN DIEGO, CALIFORNIA

**DATE**  
 DDIC SUBMITTAL 05.25.2007  
 CITY OF SAN DIEGO PRELIMINARY REVIEW 08.24.2007  
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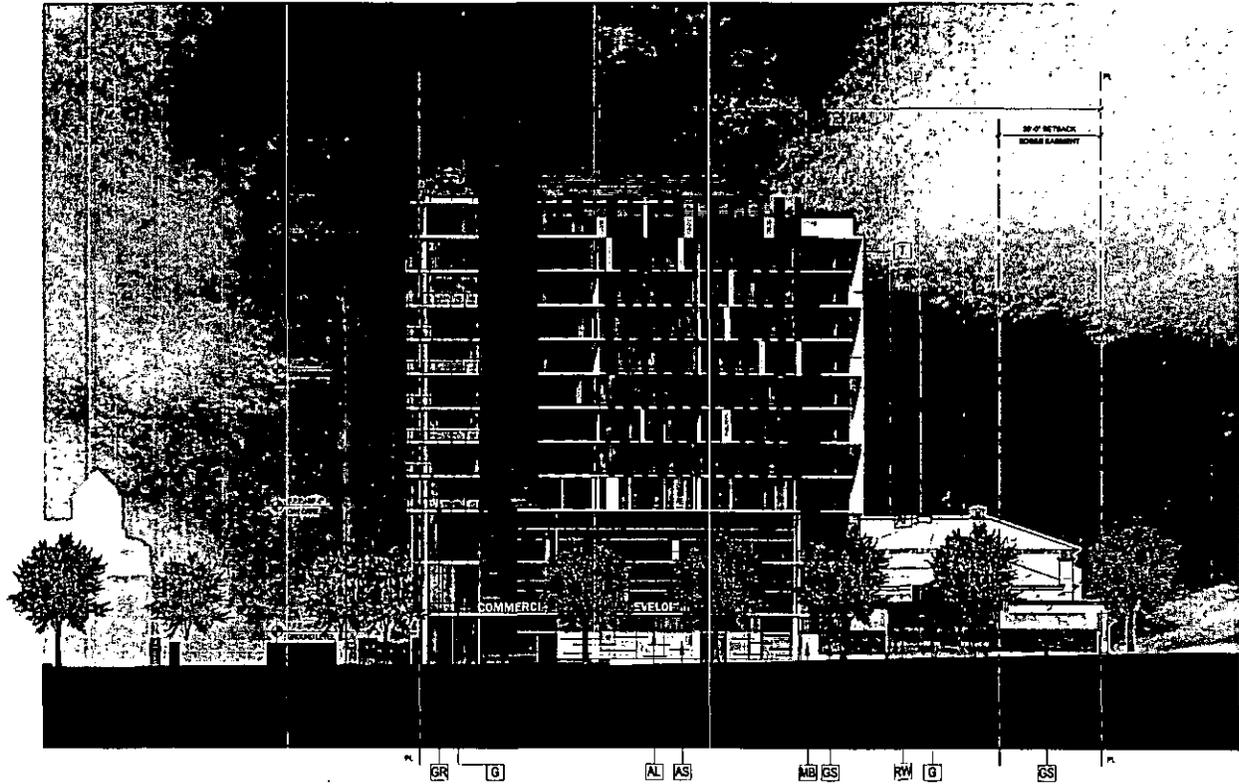
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SHEET TITLE WEST ELEVATION  
 PROJECT NO. 000919  
 SHEET NO. 000919  
 SHEET NO.

A6.01

000920



SOUTH ELEVATION

EXTERIOR MATERIALS LEGEND					
[Symbol]	PRE-FINISHED ALUMINUM PANELS	[Symbol]	CONCRETE BLOCK	[Symbol]	SPANDREL GLASS
[Symbol]	PRE-FINISHED ALUMINUM CLADDING	[Symbol]	STYL. CEMENT	[Symbol]	STEEL GLAZ.
[Symbol]	PRE-FINISHED ALUMINUM BALCONY	[Symbol]	WHITE GR. GR.	[Symbol]	GLASS BRK.
[Symbol]	CLADDING ALUMINUM	[Symbol]	EXPOSED AGGREGATE	[Symbol]	GLASS PANEL
[Symbol]	EXPOSED METAL PANELS	[Symbol]	PERFORATED METAL SCREEN	[Symbol]	P.F. V.G. BRK.
[Symbol]	GLASS BRK.	[Symbol]	CONCRETE PANEL	[Symbol]	
[Symbol]	GLASS PANEL	[Symbol]	CONCRETE BRK.	[Symbol]	
[Symbol]	GLASS BRK.	[Symbol]	CONCRETE BRK.	[Symbol]	

15TH AND COMMERCIAL  
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CITY OF SAN DIEGO: 06.24.2011  
PRELIMINARY REVIEW: 06.24.2011  
CDDC CLIP: 06.22.2011  
REVISED SUBMITTAL: 06.22.2011

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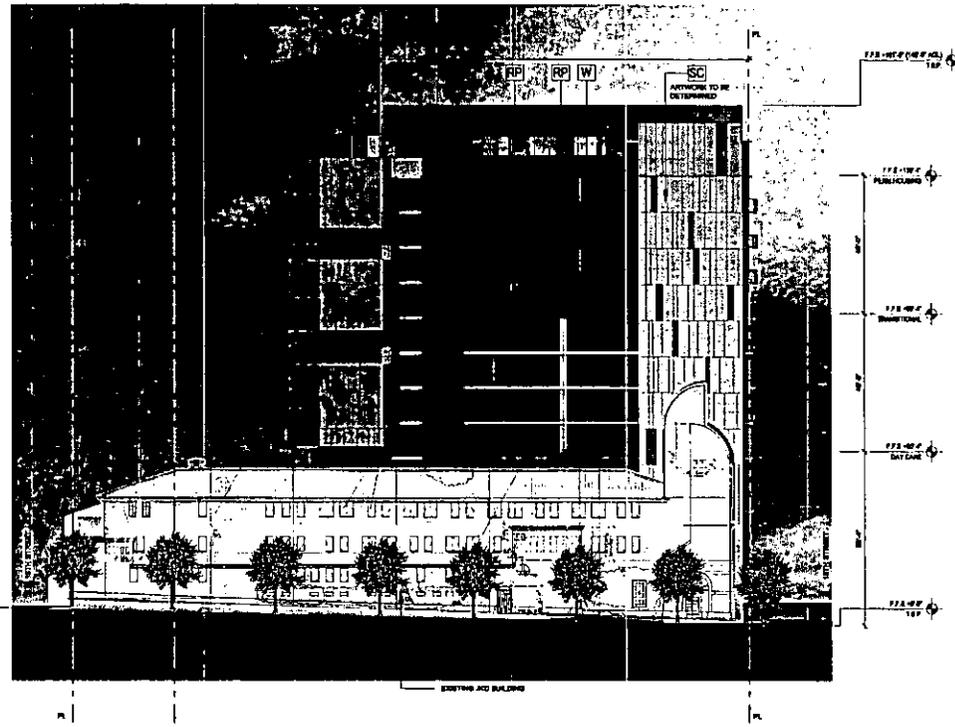
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SHEET TITLE: SOUTH ELEVATION

PROJECT NO.:  
DRAWING NO.:  
SHEET NO.:

A6.02

000921



**EXTERIOR MATERIALS LEGEND**

[Symbol] RED-GLAZED ALUMINUM PANELS	[Symbol] METALLIC GLAZING	[Symbol] STAINLESS STEEL
[Symbol] POLYMER-GLAZED ALUMINUM PANELS	[Symbol] METAL GLAZING	[Symbol] BRASS GLAZING
[Symbol] POLYMER-GLAZED ALUMINUM PANELS	[Symbol] METAL GLAZING	[Symbol] BRASS GLAZING
[Symbol] ALUMINUM FINISH	[Symbol] EXPOSED CONCRETE	[Symbol] TERRAZZO
[Symbol] ALUMINUM WITH BRASS	[Symbol] POLYMER-GLAZED ALUMINUM	[Symbol] POLYMER GLAZING
[Symbol] ALUMINUM	[Symbol] BRASS GLAZING	[Symbol] POLYMER GLAZING
[Symbol] BRASS GLAZING	[Symbol] POLYMER GLAZING	[Symbol] POLYMER GLAZING
[Symbol] BRASS GLAZING	[Symbol] POLYMER GLAZING	[Symbol] POLYMER GLAZING
[Symbol] BRASS GLAZING	[Symbol] POLYMER GLAZING	[Symbol] POLYMER GLAZING
[Symbol] BRASS GLAZING	[Symbol] POLYMER GLAZING	[Symbol] POLYMER GLAZING

**NORTH ELEVATION**

**15TH AND COMMERCIAL**  
SAN DIEGO, CALIFORNIA

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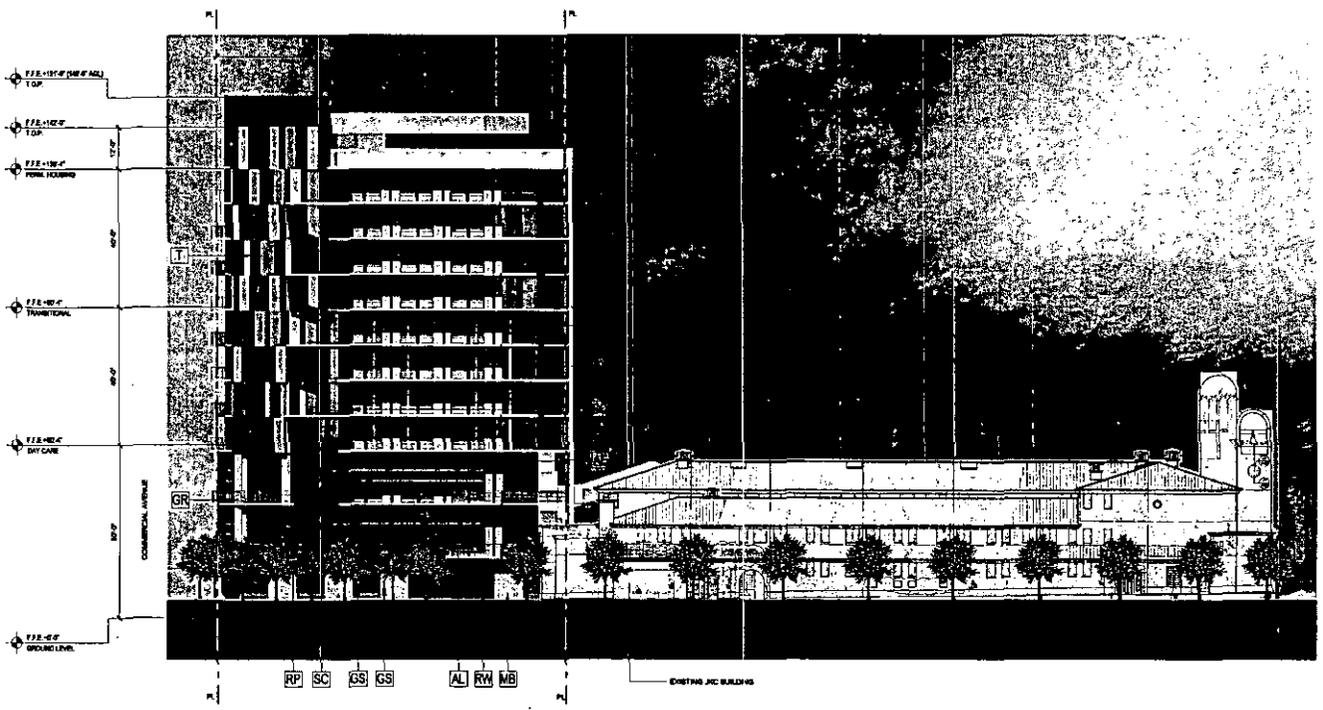
SHEET TITLE: NORTH ELEVATION

PROJECT NO.: 020401  
CLIENT: CH2DHILL

SHEET NO.:

**A6.03**

0009222



**EXTERIOR MATERIALS LEGEND**

[Symbol] PRE-CAST ALUMINUM PANEL FIN.	[Symbol] SANDWICH PANEL	[Symbol] BRICK
[Symbol] PRE-CAST ALUMINUM LANTERN	[Symbol] METAL CLUMP	[Symbol] STAINLESS STEEL
[Symbol] PRE-CAST ALUMINUM WALLING	[Symbol] METAL PANEL	[Symbol] BRICK
[Symbol] ALUMINUM BRACKET	[Symbol] CONCRETE	[Symbol] TERRAZZO
[Symbol] CONCRETE BRICK	[Symbol] CONCRETE BRICK	[Symbol] METAL PANEL
[Symbol] GLASS	[Symbol] METAL PANEL	[Symbol] METAL PANEL
[Symbol] GLASS	[Symbol] METAL PANEL	[Symbol] METAL PANEL
[Symbol] METAL	[Symbol] METAL PANEL	[Symbol] METAL PANEL
[Symbol] METAL	[Symbol] METAL PANEL	[Symbol] METAL PANEL

EAST ELEVATION  
SCALE

**15TH AND COMMERCIAL**  
SAN DIEGO, CALIFORNIA

**DATE**  
 0000 SUBMITTAL 08.22.2007  
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 PRELIMINARY REVIEW 08.24.2007  
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SHEET TITLE EAST ELEVATION  
 PROJECT NO. 000001  
 DRAWING CHECKED  
 SHEET NO. A6.04

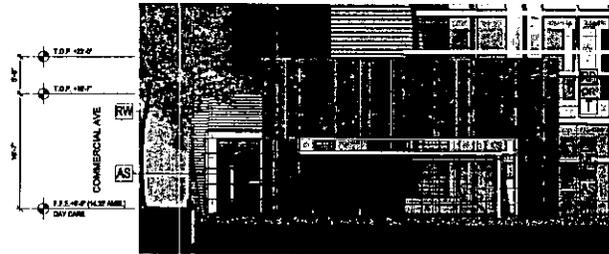
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 Fax: (619) 444-5130  
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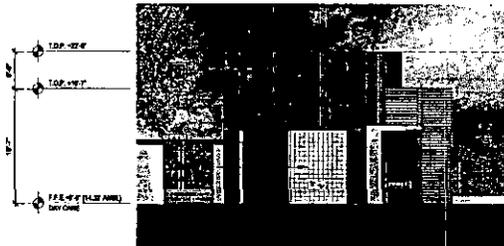
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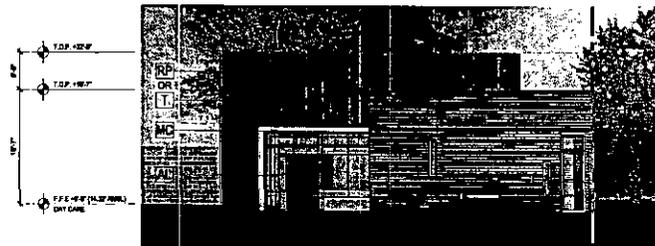
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

EXTERIOR MATERIALS LEGEND			
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[Symbol]	PRE-FORMED ALUMINUM PANEL, UNFIN	[Symbol]	METAL PANEL
[Symbol]	ALUMINUM PANEL, UNFIN	[Symbol]	EXPANDED CONCRETE
[Symbol]	ALUMINUM PANEL, UNFIN	[Symbol]	REINFORCED METAL ARCHES
[Symbol]	GLASS BLOCK	[Symbol]	REINFORCED PLASTER
[Symbol]	GLASS BLOCK	[Symbol]	REINFORCED BRICK
[Symbol]	GLASS BLOCK	[Symbol]	STAINED CONCRETE
[Symbol]	SPRINKLER HEAD	[Symbol]	SPRINKLER HEAD
[Symbol]	STEEL ROOF	[Symbol]	STEEL ROOF
[Symbol]	STEEL PANEL	[Symbol]	STEEL PANEL
[Symbol]	STEEL PANEL	[Symbol]	STEEL PANEL

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 Fax: (619) 444-2122  
 Date: 01/18/2007

**15TH AND COMMERCIAL**  
 SAN DIEGO, CALIFORNIA

DATE: 01/18/2007  
 CITY OF SAN DIEGO  
 PRELIMINARY REVIEW: 01/24/2007  
 DATE: 01/18/2007  
 REVIEW SUBMITTAL: 01/24/2007

Architecture  
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 Planning  
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 California 92101-2252  
 P 619.231.1600  
 F 619.231.1608  
 www.aey.com

**AUSTIN  
 YEUM  
 ROBBINS  
 PARTNERS**

SHEET TITLE: COOLER BUILDING ELEVATIONS

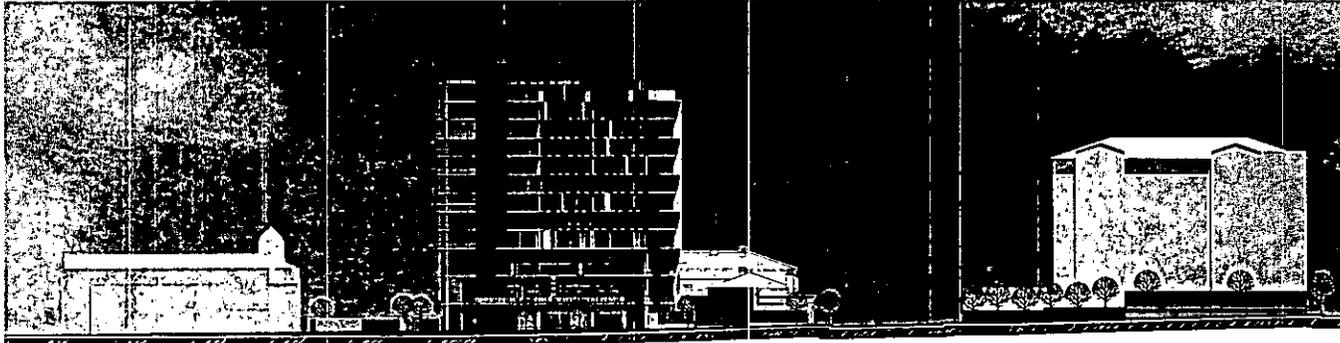
PROJECT NO. 06047

DRAWN BY: [Name]

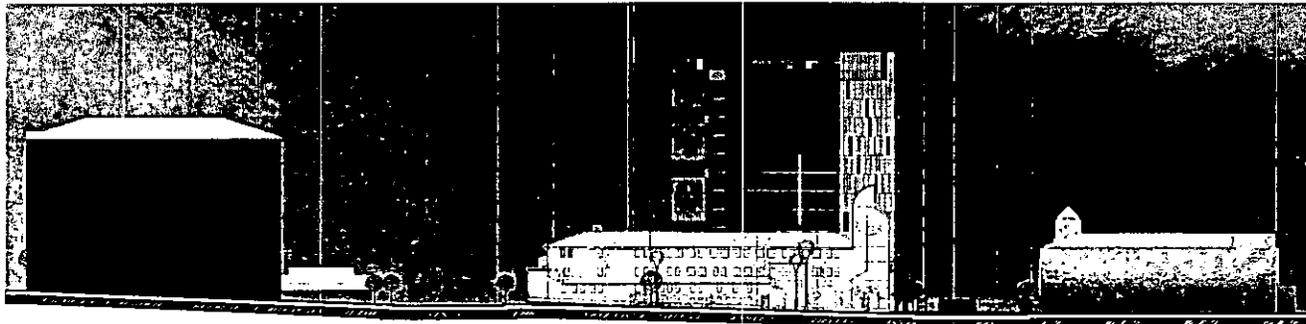
CHECKED BY: [Name]

SHEET NO. A6.05

000324



SOUTH ELEVATION



NORTH ELEVATION

15TH AND COMMERCIAL  
SAN DIEGO, CALIFORNIA

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San Diego, CA 92108-2028  
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Fax: (619) 444-2128  
Cell: (619) 877-4888

DATE  
CCDC SUBMITTAL 08.22.2007  
CITY OF SAN DIEGO PRELIMINARY REVIEW 08.24.2007  
CCDC C.I.P. REVIEW SUBMITTAL 08.22.2007

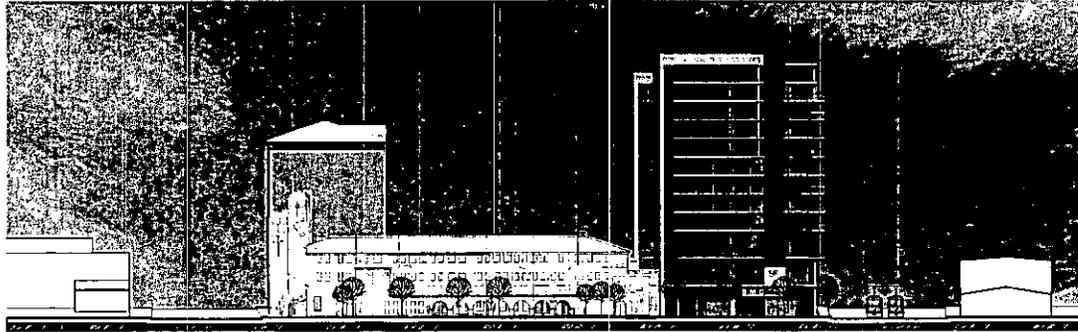
Architecture  
Interior Design  
Planning  
Engineering  
One America Plaza  
600 West Broadway  
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San Diego  
California 92101-3303  
P 619.291.1888  
F 619.291.1000  
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SHEET TITLE VICINITY ELEVATIONS  
PROJECT NO. 000000  
DATE OF CIPD  
SHEET NO.

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000925



WEST ELEVATION



EAST ELEVATION

15TH AND COMMERCIAL  
SAN DIEGO, CALIFORNIA

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Cell: (619) 877-2688

ISSUE DATES:  
CCDC SUBMITTAL 06.22.2007  
CITY OF SAN DIEGO PRELIMINARY REVIEW 06.26.2007  
CCDC C.U.P. REVIEW SUBMITTAL 08.22.2007

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650 West Broadway  
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P 619.231.1800  
F 619.231.1828  
www.avrp.com

**AUSTIN  
VEUM  
ROBBINS  
PARTNERS**

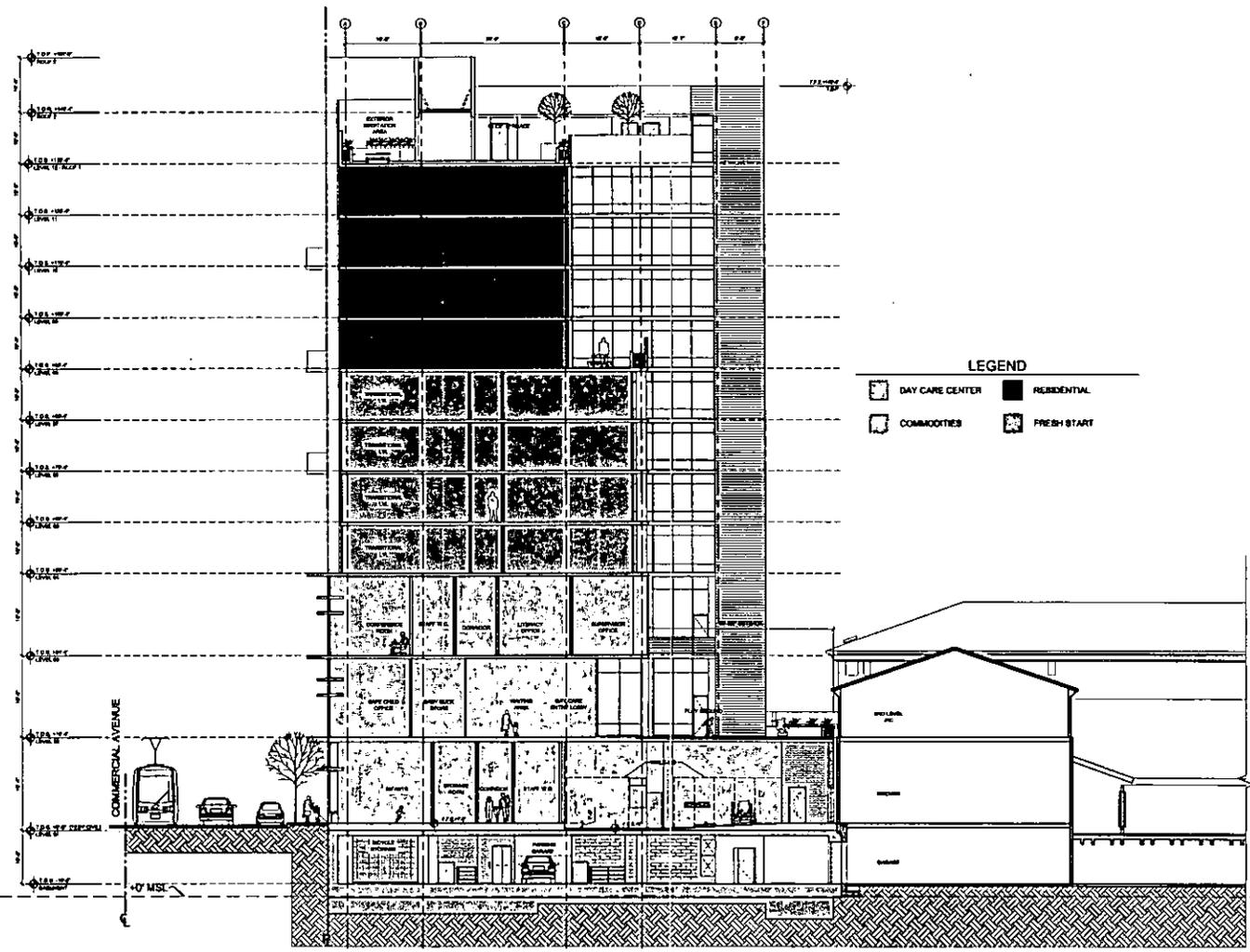
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PROJECT NO. 060121  
DRAWING CHECKED

SHEET NO.

A6.07

0009.6



**LEGEND**

	DAY CARE CENTER		RESIDENTIAL
	COMMODITIES		FRESH START

SECTION A

**15TH AND COMMERCIAL**  
SAN DIEGO, CALIFORNIA

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ISSUE DATES  
CCDC SUBMITTAL 06.29.2007  
CITY OF SAN DIEGO PRELIMINARY REVIEW 06.29.2007  
CCDC C-119 REVIEW SUBMITTAL 08.08.2007

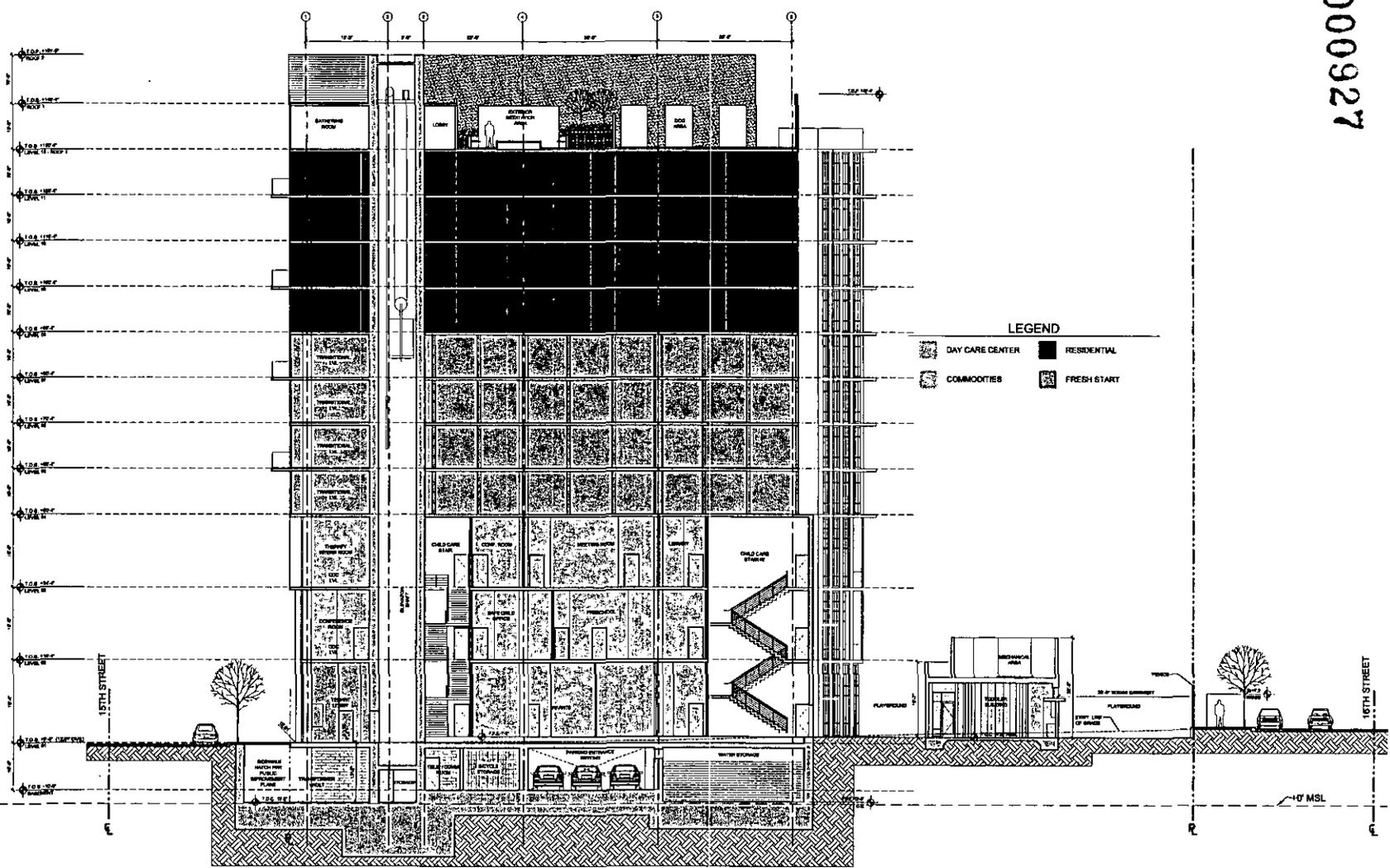
Architect  
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Planning  
Engineering  
  
One America Plaza  
628 West Broadway  
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F 619.251.1800  
www.wdpe.com

**AUSTIN  
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ROBBINS  
PARTNERS**

SHEET TITLE SECTION A  
PROJECT NO. 06049  
SHEET NO.

A7.01

000927



**LEGEND**

[Pattern]	DAY CARE CENTER	[Pattern]	RESIDENTIAL
[Pattern]	COMMUNITIES	[Pattern]	FRESH START

SECTION B

**15TH AND COMMERCIAL**  
SAN DIEGO, CALIFORNIA

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 San Diego, CA 92108-0202  
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 Fax: (619) 444-9722  
 Cell: (619) 444-9988

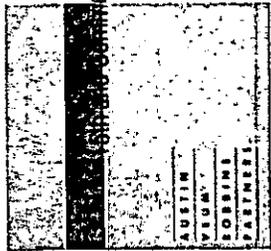
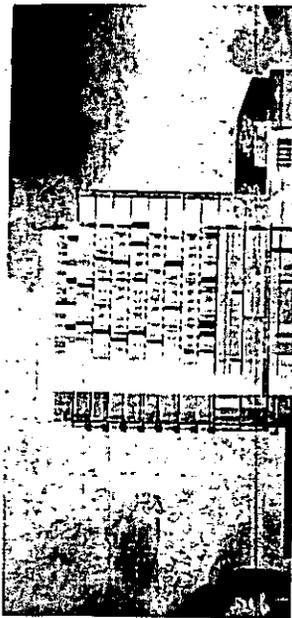
**DATE:**  
 ODD SUBMITTAL 08.23.2007  
 CITY OF SAN DIEGO PRELIMINARY REVIEW 08.24.2007  
 ODD CUIJ REVISED SUBMITTAL 08.22.2007

Architecture  
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**AUSTIN YEUM ROBBINS PARTNERS**

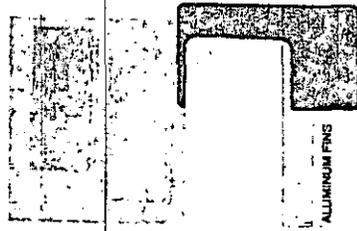
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**PROJECT NO.** 060847  
**DRAWN** CHERIEC  
**CHECKED**  
**SHEET NO.**

**A7.02**

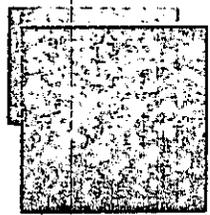
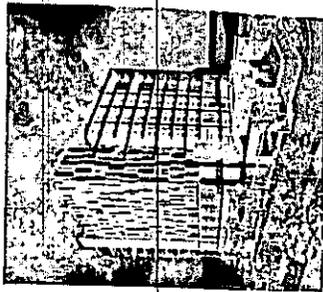


Commercial

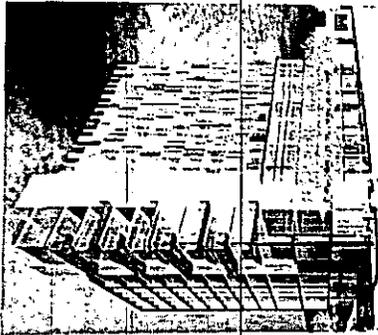
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VEUM  
ROBBINS  
PARTNERS



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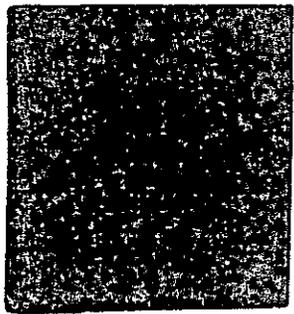


LOUVRE



STOREFRONT MULLIONS, RAILINES

BROCHZE WINDOW MULLIONS  
- RESIDENTIAL UNIT



NATURAL CONCRETE

STAINED HORIZONTAL  
SLAT CONCRETE

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Fax: (619) 444-3126  
Web: (619) 977-2666

15TH AND COMMERCIAL  
SAN DIEGO, CALIFORNIA

ISSUE DATES  
CCC - SUBMITTE 03.23.2007  
CITY OF SAN DIEGO PRELIMINARY REVIEW 04.24.2007  
CCC - CDP REVIEW SUBMITTAL 05.23.2007

Architect  
Ingber Design  
Planning  
Engineering

San Antonio Plaza  
100 West Broadway  
Suite 200  
San Diego  
California 92101-2207  
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F 619 251 1128  
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SHEET TITLE MATERIALS BOARD

PROJECT NO.  
DRAWING  
CHECKED

SHEET NO.

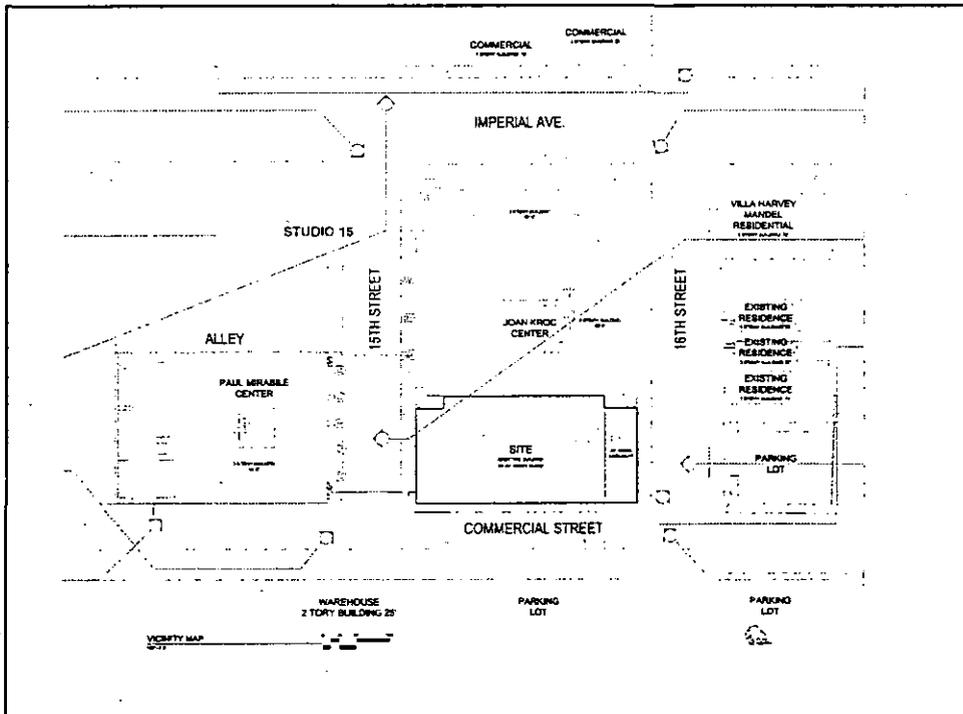
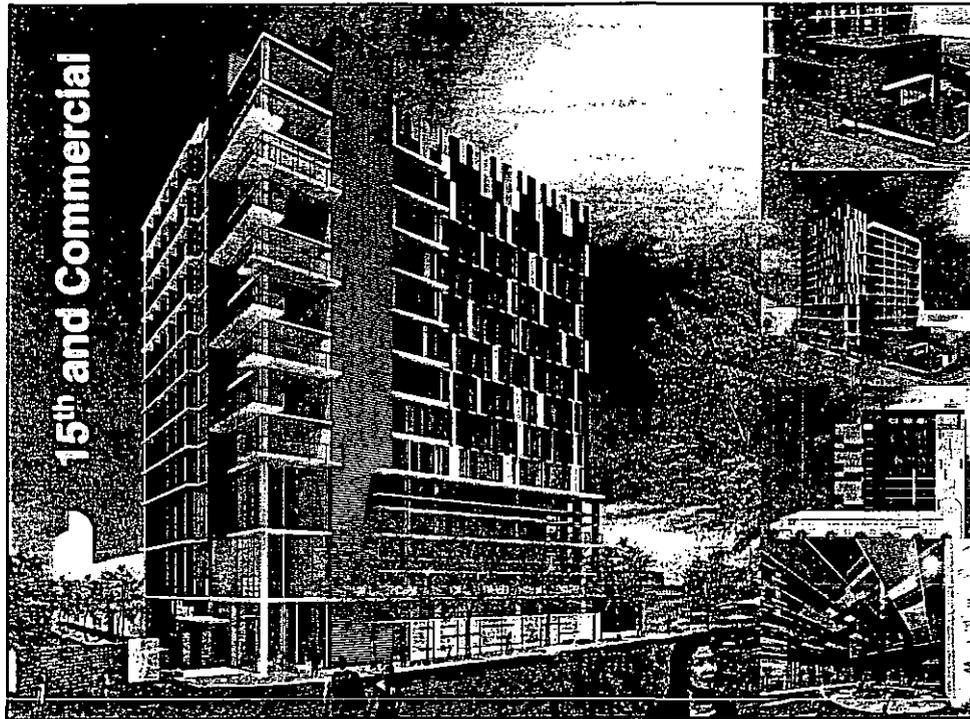
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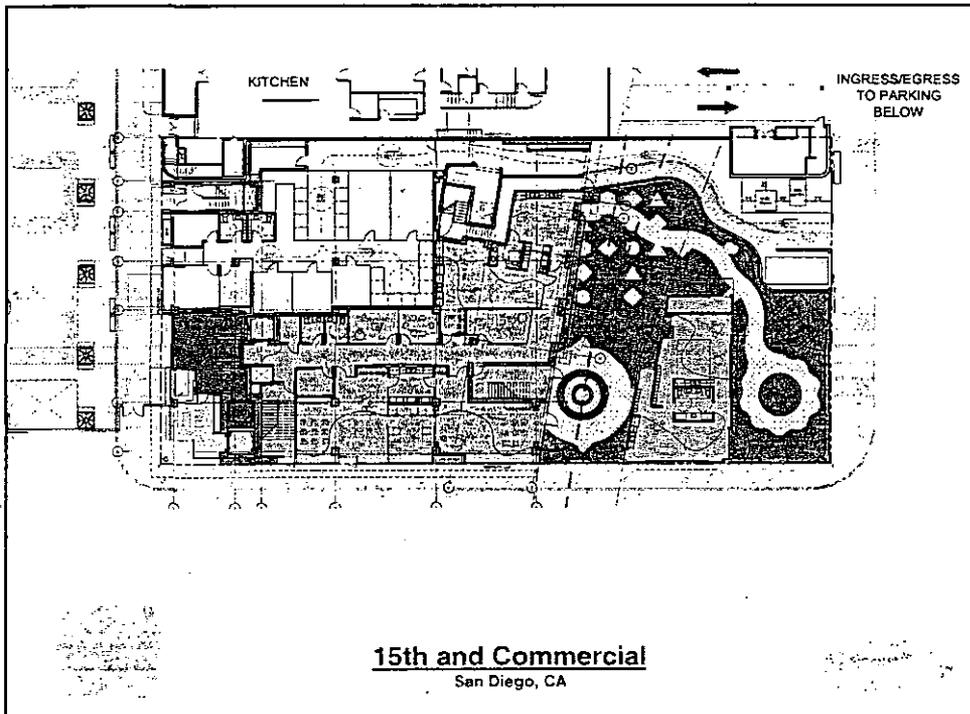
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10/29/2007

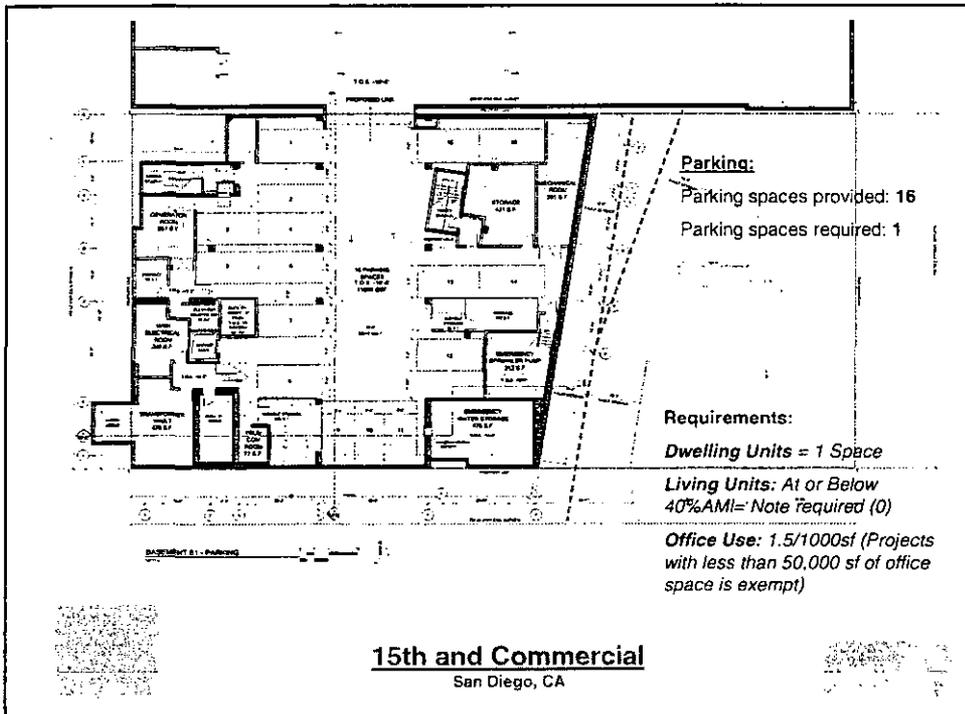
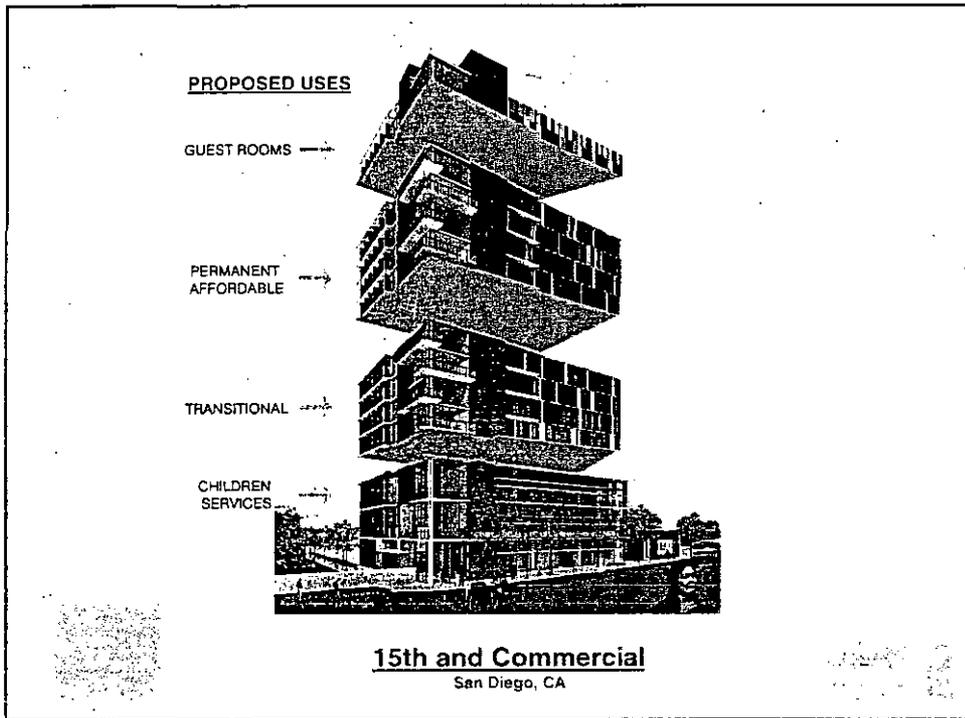
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#339



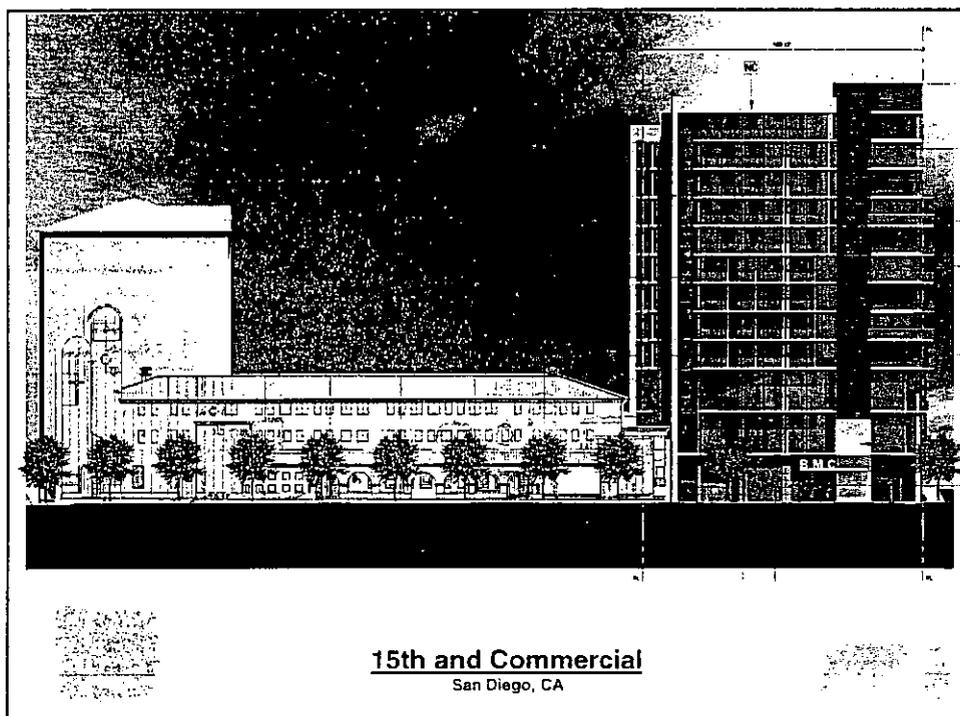
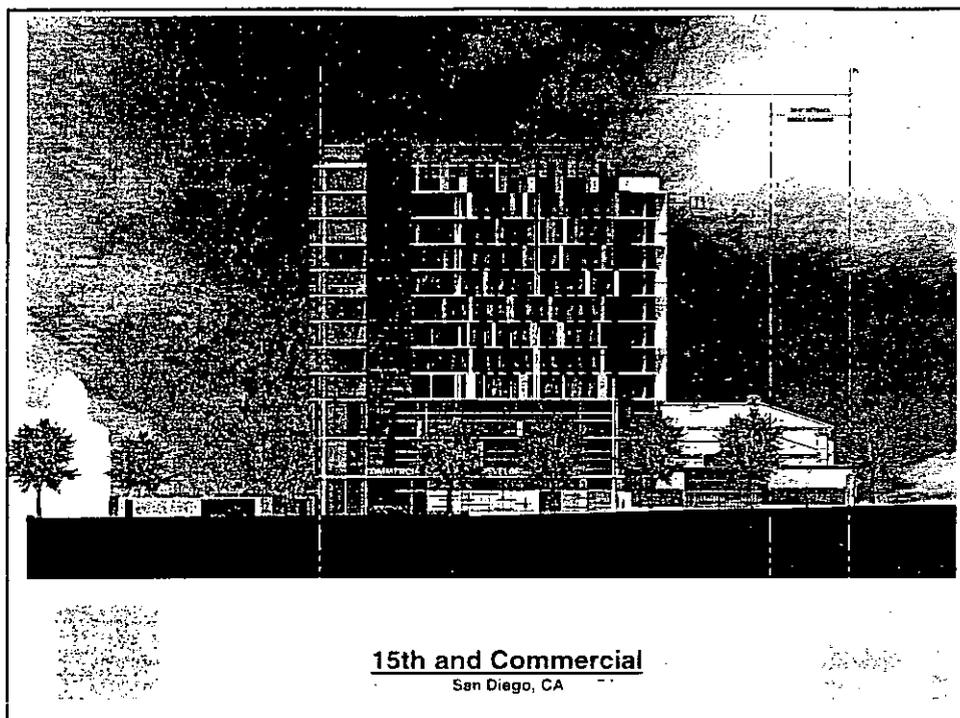
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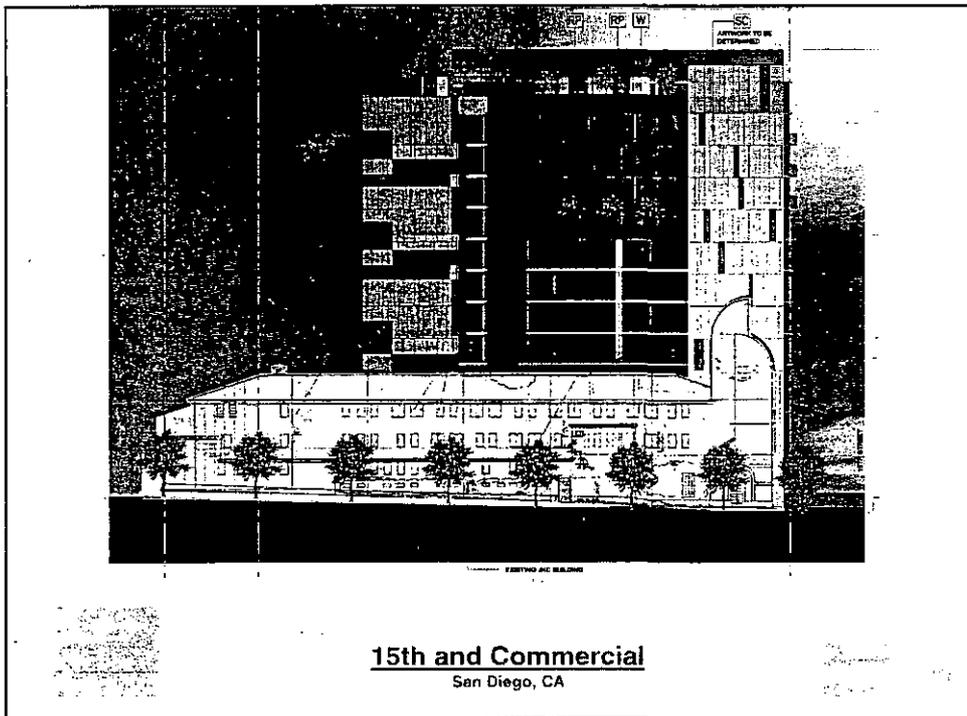
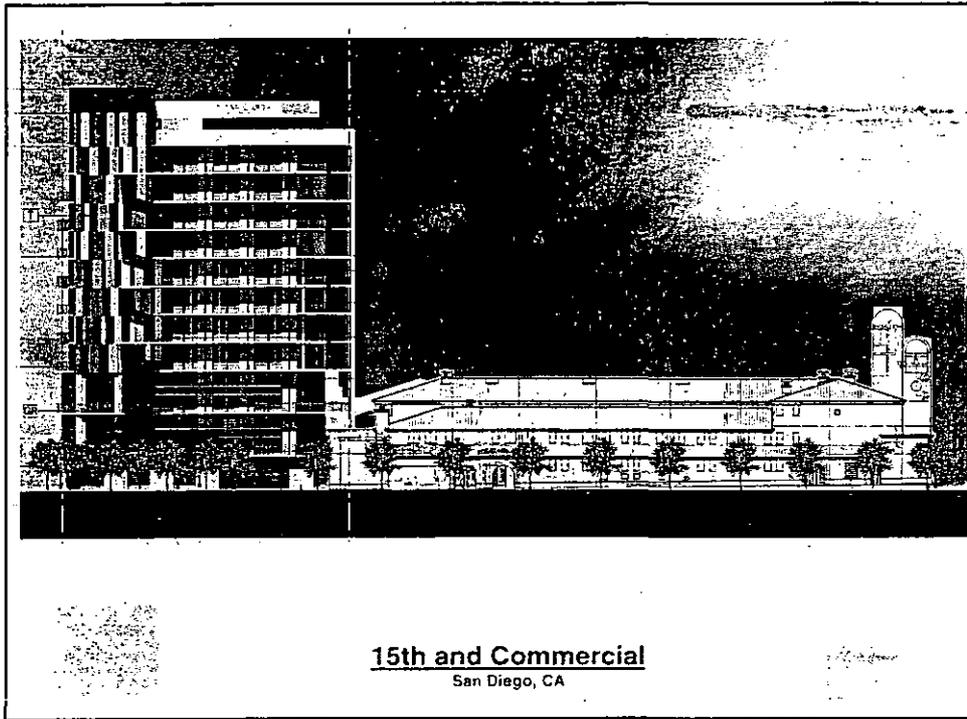
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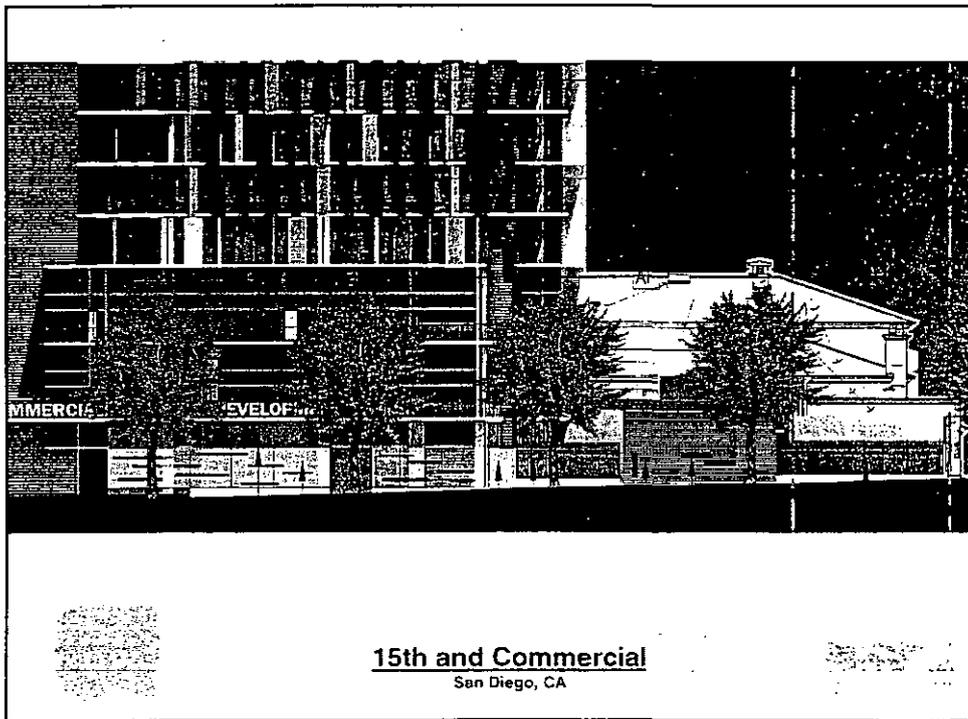
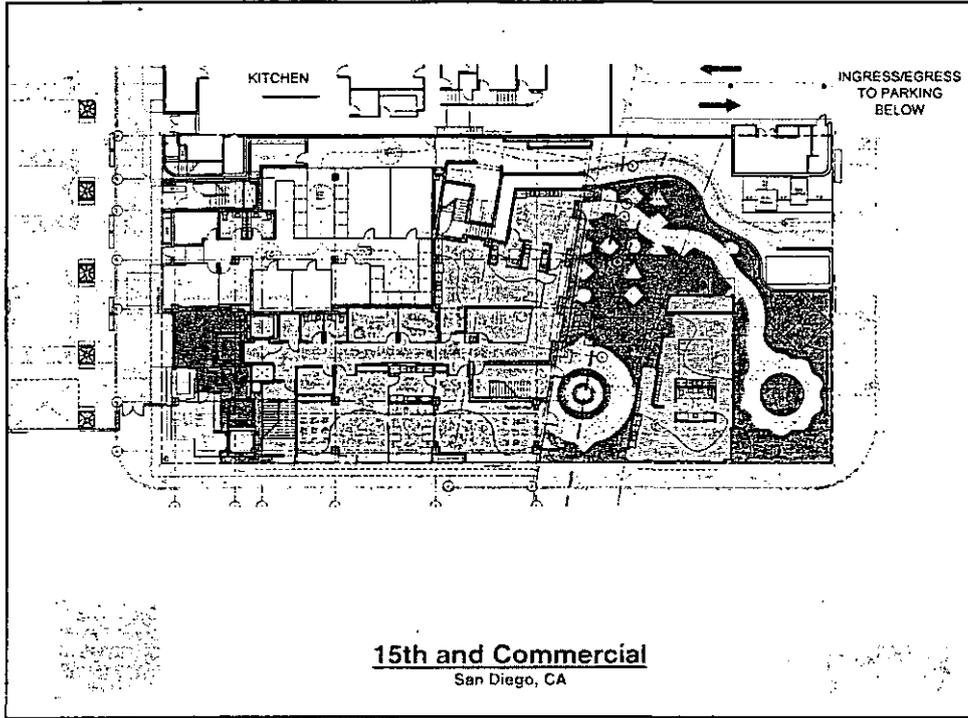


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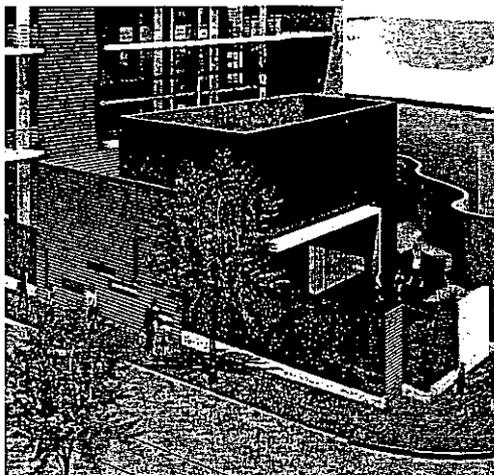


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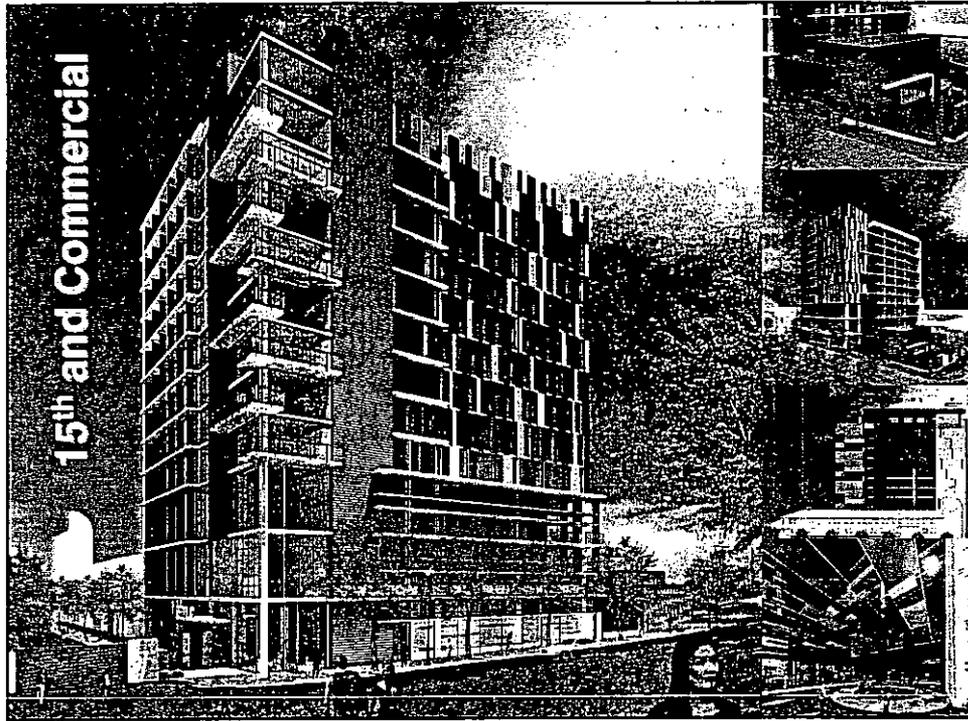
## Toddler Building



## Staff Recommendation

- Adopt Resolution R-2008-330
  - Adopt Findings for Conditional Use Permit/Variance 2007-24
  - Grant Conditional Use Permit/Variance 2007-24, subject to and terms and conditions set forth in the Permit, which amends and supersedes Conditional Use Permit 88-1224

000936



**REQUEST FOR COUNCIL ACTION  
CITY OF SAN DIEGO**

1. CERTIFICATE NUMBER  
(for auditor's use only)

335  
11/13

TO: **000937**  
CITY ATTORNEY

2. FROM: (ORIGINATING DEPARTMENT)  
CENTRE CITY DEVELOPMENT CORPORATION

3. DATE  
October 9, 2007

4. SUBJECT:  
15<sup>th</sup> & Commercial – Centre City Conditional Use Permit/Variance No. 2007-24 to Amend and Supersede Conditional Use Permit 88-1224 to Reconstruct an Existing Transitional Housing Facility and Add Residential and Educational Uses – East Village Redevelopment District of the Expansion Sub Area of the Centre City Redevelopment Project – **Public Hearing**

5. Primary Contact (Name, Phone & Mail Sta.)  
Brad Richter, Current Planning Manager,  
(619) 533-7115, MS 51D

6. Secondary Contact (Name, Phone & Mail Sta.)

7. Check BOX if REPORT TO COUNCIL IS ATTACHED

**X**

**8. COMPLETE FOR ACCOUNTING PURPOSES**

FUND				
DEPT.				
ORGANIZATION				
OBJECT ACCOUNT				
JOB ORDER				
C.I.P. NUMBER				
AMOUNT				

9. ADDITIONAL INFORMATION/ESTIMATED COST:

Fiscal Impact:

**10. ROUTING AND APPROVALS**

ROUTE (#)	APPROVING AUTHORITY	APPROVING SIGNATURE	DATE SIGNED	ROUTE (#)	APPROVING AUTHORITY	APPROVING SIGNATURE	DATE SIGNED
1.	CCDC President	Nancy Graham	10/9/07	9.	EOC	R. Lewis for Cg	10/16/07
2.	CCDC Vice President/ CFO	Frank Alansi	10/9/07	10.	EAS	Mike Johnson	10/17/07
3.	Environmental Review	Dean Coker	10/9/07	11.	City Attorney	Wendell O. Berkley	10/17/07
4.	Asst., Dir., CPCL Redevelopment	Janice L. Wenzel	10/10/07	12.	Originating Department	Project Manager BLS Rtt	10/19/07
5.	City Planning & Community Investment Director	William Anderson	10/10/07	13.	Vice President Real Estate Operations	Barbara A. Kaiser BAC	10/9/07
6.	Temporary Chief Operating Officer			14.			
7.	Chief Operating Officer	Jay Goldstone	10/19/07	15.	Docket Coord: _____	Council Liaison: Ed	10/18/07
8.					COUNCIL PRESIDENT	<input type="checkbox"/> Spob <input type="checkbox"/> CONSENT <input checked="" type="checkbox"/> ADOPTION	
					<u>MS</u>	<input type="checkbox"/> REFER TO _____	COUNCIL DATE: 10/30/07

11. PREPARATION OF:      **X** RESOLUTION(S)       ORDINANCE(S)       AGREEMENT(S)       DEED(S)

DOCKET OF: October 30, 2007

11a. STAFF RECOMMENDATIONS:

That the City Council adopt a Resolution approving Centre City Conditional Use Permit/Variance 2007-24.

12. SPECIAL CONDITIONS (REFER TO A.R. 3.20 FOR INFORMATION ON COMPLETING THIS SECTION.)

COUNCIL DISTRICT(S): 2

Community Planning Area(s): N/A

Environmental Impact: Under the 2006 Final Environment Impact Report ("FEIR"), an Environmental Secondary Study is prepared for all developments in the Centre City area in order to evaluate the project's compliance with the Downtown Community Plan and Planned District Ordinance and, therefore, the findings and conclusions of the FEIR. Since the project has been found to be in compliance with these planning documents, no further environmental review is required.

HOUSING IMPACT: N/A

Other Issues: N/A

City Clerk Instruction: Please send copies of the resolution(s) to Lori Young, MS 51D and Project Manager, MS 51D

RECEIVED  
CITY CLERK'S OFFICE  
SAN DIEGO, CA  
07 OCT 18 PM 3:01

000939

EXECUTIVE SUMMARY SHEET

REPORT NO. CCDC-07-19

DATE REPORT ISSUED: October 24, 2007

ATTENTION: Council President and City Council  
Docket of October 30, 2007

ORIGINATING DEPT.: Centre City Development Corporation

SUBJECT: 15<sup>th</sup> & Commercial (block bounded by Imperial Avenue and 15<sup>th</sup>,  
16<sup>th</sup> and Commercial Streets) – Design Review Approval and  
Request to Approve a Variance and Conditional Use Permit No.  
2007-24 to Amend and Supersede Conditional Use Permit 88-1224  
to Rebuild an Existing Transitional Housing Facility and Add  
Residential and Educational Uses -- East Village Redevelopment  
District of the Expansion Sub Area of the Centre City  
Redevelopment Project – *Public Hearing*

COUNCIL DISTRICT: District 2

STAFF CONTACT: Brad Richter, CCDC Current Planning Manager, 619-533-7115

REQUESTED ACTION:

Consider Centre City Conditional Use Permit/Variance 2007-24 for the 15<sup>th</sup> & Commercial project to amend and supersede Conditional Use Permit 88-1224 to allow for the reconstruction of a transitional housing facility and add residential and educational uses to the site.

STAFF RECOMMENDATION:

That the City Council adopt a Resolution approving Centre City Conditional Use Permit/Variance 2007-24.

EXECUTIVE SUMMARY:

S.V.D.P. Management Inc. has submitted a request to amend Conditional Use Permit (“CUP”) 88-1224 to build a 12-story, 142-foot tall building on the south end of the block bounded by Imperial Avenue and 15<sup>th</sup>, 16<sup>th</sup> and Commercial streets. The existing CUP encompasses the entire block to allow an emergency center for the homeless, including meals, showers, permanent and temporary housing, and related support programs at the Joan Kroc Center (“JKC”) and Bishop Maher Center (“BMC”) buildings located on-site. The proposed project will replace the existing BMC building that provides transitional housing facilities (150 beds) in a 12-story building, accommodate the child day care center facilities currently located at the JKC, and add 64 income-restricted Living Units (plus one manager’s unit). The project will not increase the

number of beds associated with the existing transitional housing on this site. The project includes a variance from the minimum streetwall height development standard for a one-story building located between two non-buildable setbacks (seismic fault and pre-existing utility easement).

FISCAL CONSIDERATIONS:

None at this time. However, the applicant has inquired about possible Redevelopment Agency financial assistance as part of the project funding, which is currently being reviewed by CCDC staff. The applicant requests review of this CUP/Variance at this time based on the merits of the request and without consideration of potential financial assistance in order to maintain already secured funding for the child day-care component of the project. Any consideration of Agency funding of the project will be brought forward to the Agency at a late date with a full analysis of any such request.

CENTRE CITY DEVELOPMENT CORPORATION RECOMMENDATION: On September 19, 2007, the Centre City Development Corporation voted unanimously to recommend approval of the project to the City Council.

COMMUNITY PARTICIPATION AND PUBLIC OUTREACH EFFORTS:

The Centre City Advisory Committee ("CCAC"), downtown's Community Planning Group and Project Area Committee, reviewed the project at its September 8, 2007 meeting and voted unanimously to support the project. The East Village Association ("EVA") reviewed the project at its July meeting and voted to support the project. EVA recommended adding a condition of approval to the CUP to expand security camera monitoring on the adjoining streets.

Respectfully submitted,

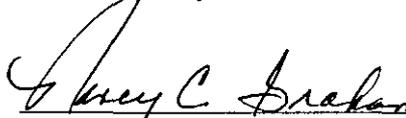


Suzanne Drolet  
Contract Planner



Brad Richter  
Current Planning Manager

Concurred by:



Nancy C. Graham  
President

3-9

000941

RESOLUTION NUMBER R-\_\_\_\_\_

DATE OF FINAL PASSAGE \_\_\_\_\_

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SAN DIEGO APPROVING CENTRE CITY CONDITIONAL USE PERMIT/VARIANCE 2007-24 FOR THE 15<sup>TH</sup> & COMMERCIAL PROJECT LOCATED WITHIN THE SAN DIEGO DOWNTOWN COMMUNITY PLAN AREA AND THE EAST VILLAGE DISTRICT OF THE EXPANSION SUB AREA OF THE CENTRE CITY REDEVELOPMENT PROJECT.

WHEREAS, pursuant to the Centre City Planned District Ordinance, S.V.D.P.

Management Inc. has applied for Conditional Use Permit/Variance 2007-24, a proposal to amend and supersede Conditional Use Permit 88-1224 to build a 12-story, 142-foot tall building and a single-story building on the south end of the block bounded by Imperial Avenue and 15<sup>th</sup>, 16<sup>th</sup> and Commercial Streets; and

WHEREAS, the existing Conditional Use Permit 88-1224 encompasses the entire approximately 60,000 square foot block, which allows an emergency center for the homeless including meals, showers, permanent and temporary housing, and related support programs at the existing two buildings located on-site known as the Joan Kroc Center [JKC] and Bishop Maher Center [BMC]; and

WHEREAS, the proposed amendment results in changes to only the southern one-third of the block and consists of: (a) a new 12-story building that will replace and upgrade the existing 12-story building occupied by the BMC which provides transitional housing facilities (150 beds) and will add 64 income-restricted Living Units, one manager's unit, and three guest rooms (not for rent but for use by visiting staff and similar); and (b) a new single story building to accommodate the child day care center facilities currently located at the JKC; and

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WHEREAS, the proposed project will not result in an expansion of this or other regulated Conditional Use Permit uses (such as the number of beds/dorms or allowed uses) or in a change in operations at either the replacement facility on this site or those remaining at the JKC; and

WHEREAS, the proposed project also requires approval of a Variance from the minimum streetwall height development standard for the proposed single story building to be located between two non-buildable setbacks (seismic fault and pre-existing utility easement); and WHEREAS, the Conditional Use Permit and Variance have been reviewed and recommended for approval with unanimous vote by the Centre City Advisory Committee and the Centre City Development Corporation; and

WHEREAS, the City Council has held a public hearing on October 30, 2007 to consider the Conditional Use Permit and Variance, having duly published and mailed notice of such public hearing and permitted interested citizens and area residents to review and comment on the proposed conditions of the Conditional Use Permit and Variance; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to Centre City Conditional Use Permit/Variance No. 2007-24 under San Diego Municipal Code [SDMC] Sections 126.0305 and 126.0805:

1. **That there are special circumstances or conditions applying to the land or premises for which the Variance is sought that are peculiar to the land or premises and do not apply generally to the land or premises in the neighborhood, and these conditions have not resulted from any act of the applicant after the adoption of the applicable zoning regulations.** Development of this site is constrained by the two seismic faults located just east of mid-block on Commercial Street, as well as a previously existing SDG&E easement at the southeast corner. The faults and the easement are both non-buildable areas and result in the project not being able to meet streetwall development standards along 89 feet of the 201-foot length of the Commercial Street frontage and all 100 feet of the 16th Street frontage. The project proposes a one-story building outside these setbacks to occupy 32 feet of the Commercial Street frontage. At 18 feet in height along this frontage, the one-story building does not meet the minimum 45-foot streetwall height established by the Centre City Planned District Ordinance

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[PDO]. Additional floor levels are not needed for this facility and are limited by the relatively small size of the development footprint (between the no-build zones).

2. **That the circumstances or conditions are such that the strict application of the regulations of the Land Development Code would deprive the applicant of reasonable use of the land or premises and the Variance granted by the City is the minimum Variance that will permit the reasonable use of the land or premises.** The no-build setbacks restrict the use of a significant portion of the project site. The one-story building is proposed to provide necessary additional floor area for the child day care facility that cannot be accommodated in the main building because building code restrictions do not allow building area for toddlers to be above grade level. This building assists the project in meeting streetwall development standards along the length of the project site where possible. The Variance relating to streetwall height is the minimum required to allow use of this portion of the development site.

3. **That the granting of the Conditional Use Permit/Variance will be in harmony with the general purpose and intent of the regulations and will not be detrimental to the public health, safety or welfare.** The Variance only results in an aesthetic impact, which is not detrimental to the public health, safety or welfare. The intent of streetwall development standards is to enhance the pedestrian realm by providing a consistent, activated and attractive streetwall in all new development. Given the reduced developable area, the project strives to meet the intent of these standards by providing an attractive landscaped fence along the perimeter adjacent to the no-build zones and enclosed building area, where feasible, and by incorporating an attractive design for the one-story building to be compatible with the redeveloping context of the neighborhood. Furthermore, the project as a whole provides members of our community with needed services and living facilities, and the hours of operation and conditions of approval will further ensure that the use is not a detriment to the public health, safety, and welfare of the surrounding neighborhood.

4. **That the granting of the Conditional Use Permit/Variance will not adversely affect the applicable land use plan.** The granting of the Conditional Use Permit/Variance does not adversely affect the applicable land use plan, including the San Diego Downtown Community Plan and the Centre City Planned District Ordinance, as the uses in the project are allowable with approval of a Conditional Use Permit or are allowed by right, and the granting of the Variance would only provide relief from strict application of the minimum streetwall height standard in order to allow additional building area within a constrained development site. Furthermore, the project replaces a deteriorating building that currently provides the same uses as those in the project and which are allowed in this land use district with approval of a Conditional Use Permit, and provides a new facility that improves the living conditions of the transitional residents, including upgraded day care facilities for their children, and increases the supply of affordable housing in this vicinity.

5. **That the proposed use or development will comply to the maximum extent feasible with the regulations of the Land Development Code.** The project will continue operations and programs that have existed on-site and complied with the regulations affecting the site for thirty years. The facility is designed, and will continue to operate, in conformance with

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the regulations of the City's Land Development Code and the Centre City Planned District Ordinance.

6. **That the proposed use is appropriate at the proposed location.** The project replaces an aged facility that is currently located on this site and operates in conjunction with the adjacent programs and facilities at the JKC, which are both covered under a single Conditional Use Permit. The site is within the Mixed Commercial District which allows the use with approval of a Conditional Use Permit.

The above findings are supported by the minutes, plans and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED, that based on the findings hereinbefore adopted by the Council, Centre City Conditional Use Permit/Variance No. 2007-24 [Permit] is hereby granted to S.V.D.P. Management, Inc. [Permittee], subject to and under the terms and conditions set forth in the Permit, attached hereto, incorporated herein and made a part of this Resolution, which shall amend and supersede Conditional Use Permit 88-1224.

BE IT FURTHER RESOLVED, that this activity is covered under the Final Environmental Impact Report [FEIR] for the San Diego Downtown Community Plan, Centre City Planned District Ordinance, and Redevelopment Plan for the Centre City Redevelopment Project, which was certified by the Redevelopment Agency by Resolution R-04001 and by the City Council by Resolution R-301265 on March 14, 2006, and the Addendum to the FEIR for the 11<sup>th</sup> Amendment to the Redevelopment Plan for the Centre City Redevelopment Project, Amendments to the San Diego Downtown Community Plan, Centre City Planned District Ordinance, Marina Planned District Ordinance, and Mitigation, Monitoring and Reporting Program of the FEIR for the San Diego Downtown Community Plan, Centre City Planned District Ordinance, and the Redevelopment Plan for the Centre City Redevelopment Project certified by the Redevelopment Agency by Resolution R-04193 and by the City Council by R-302932 on July 31, 2007. This activity is adequately addressed in the environmental documents

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noted above and the secondary study prepared for this project reveals there is no change in circumstance, additional information, or project changes to warrant additional environmental review. Because the prior environmental documents adequately covered this activity as part of the previously approved project, this activity is not a separate project for purposes of review under the California Environmental Quality Act [CEQA] pursuant to CEQA Guidelines Sections 15060(c)(3), 15180, and 15378(c).

APPROVED: MICHAEL J. AGUIRRE, City Attorney

By Kendall D. Berkey  
Kendall D. Berkey  
Deputy City Attorney

KDB:nda  
10/11/07  
Or.Dept:CCDC  
R-2008-330  
MMS#5466

I hereby certify that the foregoing Resolution was passed by the Council of the City of San Diego, at this meeting of \_\_\_\_\_.

ELIZABETH S. MALAND  
City Clerk

By \_\_\_\_\_  
Deputy City Clerk

Approved: \_\_\_\_\_  
(date)

\_\_\_\_\_  
JERRY SANDERS, Mayor

Vetoed: \_\_\_\_\_  
(date)

\_\_\_\_\_  
JERRY SANDERS, Mayor