

338  
11/20

001171

CITY OF SAN DIEGO  
OFFICE OF THE CITY CLERK

RECOMMENDATIONS

COMMUNITY PLANNING GROUP /STAFF'S /PLANNING COMMISSION

Project Manager **must** complete the following information for the Council docket:

CASE NO. 95894

**STAFF'S**

DENY the appeal and UPHOLD the Planning Commission's decision to approve West Ocean beach Park Units, project No. 95894; Certify Mitigated Negative Declaration (MND) and adopt Mitigation, Monitoring, and Reporting Program (MMRP); approve Coastal Development Permit (CDP), and Planned Development Permit (PDP) to allow the demolition of two existing, one-story residential units, and the construction of new seven residential units in five detached buildings and one duplex, and to allow for a deviation from the regulations of the Municipal Code.

**PLANNING COMMISSION** (List names of Commissioners voting yea or nay)

**YEAS:** Otsuji, Naslund, Ontai, Griswold and Smiley

**NAYS:** None

**ABSTAINING:** Schultz and Garcia

**TO:** Approve Coastal Development Permit, Planned Development Permit, Certify Mitigated Negative Declaration, and adopt associated MMRP.

**COMMUNITY PLANNING GROUP**

LIST NAME OF GROUP:

- No officially recognized community planning group for this area.
- Community Planning Group has been notified of this project and has not submitted a recommendation.
- Community Planning Group has been notified of this project and has not taken a position.
- Community Planning Group has recommended approval of this project.
- Community Planning Group has recommended denial of this project.
- This is a matter of City-wide effect. The following community group(s) have taken a position on the item:

In favor: 5  
Opposed: 5

By Laila Iskandar  
Project Manager

001173

EXECUTIVE SUMMARY SHEET

DATE REPORT ISSUED: Nov. 14, 2007                      REPORT NO.: 07-185  
ATTENTION: Council President and City Council  
ORIGINATING DEPARTMENT: Development Services Department  
SUBJECT: West Ocean Beach Park Units, Project No. 95894  
COUNCIL DISTRICT(S): 2  
STAFF CONTACT: Laila Iskandar, 619-446-5297, [liskandar@san Diego.gov](mailto:liskandar@san Diego.gov)

REQUESTED ACTION:

This is an appeal of the Planning Commission's decision to approve a Coastal Development Permit (CDP), and Planned Development Permit (PDP) to allow the demolition of two existing, one-story residential units, and the construction of seven new, three-story residential units in five detached buildings and one duplex, and to allow for a deviation from the regulations of the Municipal Code.

STAFF RECOMMENDATION:

DENY the appeal and APPROVE Coastal Development Permit No. 310804 and Planned Development Permit No. 456171, and CERTIFY Mitigated Negative Declaration No. 95894, and ADOPT the Mitigation, Monitoring, and Reporting Program.

EXECUTIVE SUMMARY:

The project site is located at 4824 - 4836 West Point Loma Boulevard within the Ocean Beach Precise Plan. The issue before the City Council is the appeal of the Planning Commission's decision to allow the demolition of two existing, one-story residential units, and the construction of seven new, three-story residential units in five detached buildings and one duplex, and to allow for a deviation from the regulations of the Municipal Code.

The property is developed with two single-family houses constructed in 1912 and 1914. City staff determined that neither of the structures is considered historically significant. The project site is surrounded by established single-family and multi-family residential developments to the west, east, south and open space park land to the north.

The project site adjoins open space park land to the north and is within the First Public Roadway. The property slopes downhill from West Point Loma Boulevard to the rear lot line along the park frontage with a grade difference of approximately 11 feet.

A Coastal Development Permit is required to allow the demolition of the existing one-story, single-family houses and the construction of the proposed new seven dwelling units within the coastal zone. A Planned Development Permit is required to allow for a deviation to the regulations of the Municipal Code (SDMC Section 143.0403).

The requested deviation from the Municipal Code is to allow less than 50% of the length of the building façade on the ground floor to enclose habitable area per SDMC 131.0464(e)(3). In order to provide a project with the proposed small footprints and detached structures, the driveway configuration bisects the parcel to allow for vehicular access to all the detached cottages in the rear of the parcel. The front two structures exceed the 50% non-habitable area maximum by approximately six feet. Without this deviation, the design alternative at the same

001174

density would be a "box-like" form, increasing visual bulk and scale. This form would be out of character with the surrounding neighborhood.

An appeal of the Planning Commission's decision was filed asserting factual error, and city-wide significance (Attachment 13). Staff has provided a response to each issue in the City Council Report and continues to support the project.

FISCAL CONSIDERATIONS:

None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

PREVIOUS COUNCIL and/or COMMITTEE ACTION:

On September 27, 2007, the City of San Diego Planning Commission certified the Mitigated Negative Declaration and approved the proposed project.

COMMUNITY PARTICIPATION AND PUBLIC OUTREACH EFFORTS:

The Ocean Beach Planning Board met on May 2, 2007. During the meeting there were two motions presented concerning this property and neither one passed.

- The first motion was to approve the project as presented. The motion failed by a vote of 5-5-0.
- The subsequent motion was to deny the project as presented. This motion also failed by a vote of 5-5-0.

Various board members noted that the proposed design typified the modern interpretation of the Ocean Beach cottage and was appropriate for the RM-2-4 zone. Various board members also expressed a primary concern that the project could be viewed as too much bulk near the main entrances to Ocean Beach.

KEY STAKEHOLDERS & PROJECTED IMPACTS (if applicable):

Eric Otterson, Benedicte Otterson and George Vano, Owners.  
Ricardo Torres, Golba Architecture /Applicant.



Patti Boekamp  
Interim Director  
Development Services Department



William Anderson  
Deputy Chief of Land Use and  
Economic Development

ATTACHMENTS: 1- Report to City Council  
2- Report to Planning Commission



001175

THE CITY OF SAN DIEGO  
**REPORT TO THE CITY COUNCIL**

DATE ISSUED: November 14, 2007

REPORT NO.: 07-185

ATTENTION: Council President and City Council  
Docket of Nov. 20, 2007

SUBJECT: West Ocean Beach Park Units - Project No. 95894, Council District 2,  
Process Four Appeal

REFERENCE: Report to the Planning Commission No. PC-07-142 (Attachment 12)

REQUESTED ACTION: Should the City Council approve or deny an appeal of the Planning Commission's decision to approve a Coastal Development Permit (CDP), and Planned Development Permit (PDP) to allow the demolition of two existing, one-story residential units, and the construction of seven new, three-story residential units in five detached buildings and one duplex, with a deviation from the regulations of the Municipal Code?

STAFF RECOMMENDATION:

1. **DENY** the appeal and **UPHOLD** the Planning Commission's decision to **APPROVE** Coastal Development Permit No. 310804, and Planned Development Permit No. 456171.
2. **CERTIFY** Mitigated Negative Declaration No. 95894, and **ADOPT** the Mitigation, Monitoring, and Reporting Program.

SUMMARY:

Planning Commission Decision:

On September 27, 2007, the City of San Diego Planning Commission certified the Mitigated Negative Declaration and approved the proposed project by a vote of 5-0-2 (Attachment 8). The decision to approve the project was conditioned to eliminate a request for an over-height retaining wall. The over-height retaining wall has been eliminated from the project.

Appeal Issues:

On October 11, 2007, an appeal of the Planning Commission's decision was filed asserting factual error, and city-wide significance (Attachment 13). These issues are discussed further in this report.

Background:

The project is located at 4824 - 4836 West Point Loma Boulevard within the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan (Attachment 1). The Precise Plan designates the 0.03-acre site and surrounding neighborhood for multi-family land use at a maximum density of 25 dwelling units per acre (Attachment 2). The site is zoned RM 2-4 and subject to the applicable development regulations of the Land Development Code (Attachment 4).

The property is developed with two single-family houses constructed in 1912 and 1914. City staff determined that neither of the single-family homes is historically significant. The project site is surrounded by established single-family and multi-family residential developments to the west, east, and south, and open space park land to the north (Attachment 3).

Project Description:

The project is requesting a Coastal Development Permit (CDP) and a Planned Development Permit (PDP) in accordance with the City of San Diego Land Development Code to demolish two existing, one-story residential units, and the construction of seven new, three-story residential units in five detached buildings and one duplex. The project includes a request to deviate from the applicable regulations of the Municipal Code to allow less than 50% of the length of the building façade on the ground floor to enclose habitable area. The Coastal Development Permit is required for the demolition and new construction on the property within the Coastal Zone, and the Planned Development Permit is required to allow for the deviation to the Municipal Code.

The proposed project consists of seven residential units; the five detached structures would be three stories. These units have been identified in the plans as Buildings A and B. The duplex structure is also three stories and is shown in the plans as Building C. Building A is repeated on the site four times, Building B and C are used only once each. Building A would provide 957 square feet of living area. Building B would provide 1,030 square feet of living area. Building C would provide 2,033 square feet of living area for two units (Attachment 5). The project would also include 16 on-site parking spaces. The design of the structures is a contemporary style utilizing clean straight lines, multiple building planes and façade articulations, and large balconies (Attachment 5). The proposed design would comply with all of the applicable development regulations of the RM-2-4 Zone including the 30-foot height limit.

Although the new structures may represent a notable change from that of the existing houses, and would be dissimilar to the row of old single family homes, the design of the residence would be consistent with new single-family homes throughout the Ocean Beach community and compatible with adjacent two and three-story structures in the neighborhood. Likewise, the proposed residential structures would be consistent with the Ocean Beach Precise Plan that envisioned new and revitalized development, and the

001177

project would conform to the Land Development Code regulations with the approval of the appropriate development permits.

A Planned Development Permit is required to allow for a deviation to the regulations of the Municipal Code (SDMC Section 143.0403).

The requested deviation from the Municipal Code is to allow less than 50% of the length of the building façade on the ground floor to enclose habitable area per SDMC 131.0464(e)(3). In order to provide a project with the proposed small footprints and detached structures, the driveway configuration bisects the parcel to allow for vehicular access to all the detached cottages in the rear of the parcel. The front two structures exceed the 50% non-habitable area maximum by approximately six feet. Without this deviation, the design alternative at the same density would be a "box-like" form, increasing visual bulk and scale. This form would be out of character with the surrounding neighborhood.

Community Plan Analysis:

The 0.30-acre site, located at 4824-4836 West Point Loma Boulevard, is designated as Medium Residential in the Ocean Beach Precise Plan, which allows a maximum density of up to 25 dwelling units per acre and a density yield of eight units. The applicant is proposing seven dwellings on the site and therefore, the proposal would not have a negative impact on the community plan.

The plan includes the goal to, "Maintain the existing residential character of Ocean Beach as exemplified by a mixture of small scale residential building types and styles." The existing neighborhood character is a combination of older, one-story dwellings on the north side of West Point Loma Boulevard west of Sunset Cliffs Boulevard; and newer, one-and two-story structures over parking on the south and north side of West Point Loma Boulevard, west and east of Sunset Cliffs Boulevard. Many of the two-stories above garage dwellings feature little articulation or step backs and, as a result, appear bulky. The design of the proposed project includes below grade construction, architectural articulation featuring balconies, varied façade materials, curvilinear rooflines and six separate structures with offsetting planes, all serving to break up building bulk. Therefore, the proposed project would implement the recommendations of the plan.

The plan also states, "That yards and coverage be adequate to insure provision of light and air to surrounding properties, and that those requirements be more stringent where necessary for buildings over two stories in height and for lots greater than 40' in width." The applicant proposes to construct five cottages and one duplex rather than a single large multi-tenant structure, which would ensure adequate air and light and yard space and also minimize the bulk and scale of the project. This design also serves to minimize visual impact.

Although the proposed structure is 30-feet in height and is taller than the immediately adjacent dwellings, the height is consistent with the limits of Proposition D. The proposed design is less bulky than would be associated with one, large multi-family residence

containing seven units, and therefore, the proposed project will not have a negative impact on the community plan.

Environmental Analysis:

A Mitigated Negative Declaration Project No. 95894 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) guidelines. While the general project vicinity is known to contain archaeological resources, this specific project site is not designated as an "important archaeological site" within the meaning of the SDMC. However, A Mitigation, Monitoring and Reporting Program is required for Archaeological Resources and Noise to reduce any potential impacts to below a level of significance.

The existing buildings were also reviewed for potential historical significance and it was determined that the structures are not potentially historic. The structures were reviewed by the Environmental Analysis Section and the Historical Resources Board.

The Initial Study for the project also addressed Land Use, Paleontology, Water Quality, Geology and Historical Resources (Architecture). Prior to preparing the Initial Study, staff also evaluated potential impacts in all of the issue areas listed in the MND's Initial Study Checklist.

Project-Related Issues:

**Appeal Issues:**

On October 11, 2007, an appeal was filed by Ms. Patricia Hausman asserting factual error, and city-wide significance (Attachment 13). These issues are addressed below in the approximate order they appear within the appeal and include staff's response:

Appeal Issue No. 1: The appeal states that the proposed project is not consistent with the character and standard of the neighborhood.

Staff Response: Staff reviewed the project pursuant to the Ocean Beach Community Plan and determined that the project would be consistent with the proposed and existing neighborhood character. The project proposes the demolition of the two existing one-story, single-family houses and the construction of five detached, three-story structures and one duplex fronting West Point Loma Boulevard. While the proposed structures are greater in number than the existing residences to be demolished, individually, each detached unit is an extremely small scale residential building type consisting of units of only approximately 900 square feet.

The block where the subject site is located contains predominately residential development, with much of the surrounding development at single-story. However, there is a general mixture of both single and multi-family residential development, both single and multi-stories in height within a 300 foot radius of the subject site.

The project has incorporated yard and setback requirements of the RM-2-4 zone, the design included multiple street front setbacks to reduce perceived impacts from the three story units. The entire ground floor of the front units facing West Point Loma Boulevard observes a 20 foot front setback, where up to 50% of the structure could have observed a 15 foot setback. To further accentuate the façade, the second story utilizes a 15 foot setback to create a covered porch for the unit's main entry below. The third floor, which is approximately 400 square feet, observes a 30 foot setback. These setbacks help to preserve a pedestrian orientation that assists in implementing the, "small-scale residential building types" identified in the Ocean Beach Precise Plan.

The project was also designed to minimize the footprint. The small footprints and detached structures combined with staggering of the structures and allowing the structures to follow the natural contours of the parcel, help minimize the building mass and profile to the neighborhood. The project also includes open space at the front and rear yards, along with substantial landscaping around all the units. The project meets the requirements of the Municipal Code and recommendations of the community plan with respect to density, building height and setbacks.

Appeal Issue No. 2: The appeal states that the proposed construction will tower over the small cottage next door and ruin the façade of the "Entryway".

Staff Response: Staff reviewed this issue and determined the proposed development complies with the Land Development Code height limit and would not affect the street façade. The proposed project is an interior parcel, located three lots from the intersection of West Point Loma Boulevard and Sunset Cliffs Boulevard (The Entryway). The Parcels between the corner and the proposed project are developed with two, two-story condominiums units; therefore, the height and density of the project would be consistent with the neighborhood.

Appeal Issue No. 3: The appeal states that human life is potentially at risk if a hasty decision is allowed to be made, without professional input on the traffic situation at this location.

Staff Response: The City's Transportation Engineering staff reviewed the proposed project in accordance with the applicable regulations of the Land Development Code and determined that a traffic study would not be required.

Per the *City of San Diego Traffic Impact Study Manual*, if a project that conforms to the Community Plan Land Use and Transportation Elements, then a traffic study must be completed for any project generating more than 1,000 average daily trips (ADT) or more than 100 ADT during the peak hour.

The proposed project conforms to the Community Plan Land Use and Transportation Elements and is estimated to generate a total of 42 ADT (at a rate of 6 trips/dwelling unit) with 3 a.m. peak-hour trips and 4 p.m. peak-hour trips. Therefore, a traffic study is not required for this small project.

001180

Appeal Issue No. 4: The appeal states that the proposed project has insufficient parking based on the assumption that each of the two bedroom dwelling could house up to four people.

Staff Response: Staff determined the proposed development exceeds the minimum parking requirements of the Land Development Code. The new construction would provide seven residential units and 16 on-site parking spaces in accordance with the Land Development Code Section 142.0525. Parking requirements are based on the number of bedrooms in each unit and not on the assumption of how many persons will be living in each unit.

FISCAL CONSIDERATIONS: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

PREVIOUS COUNCIL and/or COMMITTEE ACTION: None. This action is an appeal of a Process Four Planning Commission decision to approve the project.

COMMUNITY PARTICIPATION AND PUBLIC OUTREACH EFFORTS: The Ocean Beach Planning Board met on May 2, 2007. During the meeting there were two motions presented concerning this property and neither one passed.

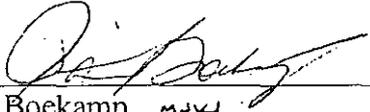
- The first motion was to approve the project as presented. The motion failed by a vote of 5-5-0.
- The subsequent motion was to deny the project as presented. This motion also failed by a vote of 5-5-0.

Various board members noted that the proposed design typified the modern interpretation of the Ocean Beach cottage and was appropriate for the RM-2-4 zone. Various board members also expressed a primary concern that the project could be viewed as too much bulk near the main entrances to Ocean Beach.

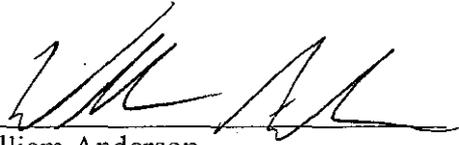
KEY STAKEHOLDER: Eric Otterson, Benedicte Otterson and George Vano, Owners  
Ricardo Torres, Golba Architecture /Applicant

### CONCLUSION

Staff has determined that the proposed project is consistent with the Ocean Beach precise Plan and Local Coastal Program and conforms to the applicable regulations of the Land Development Code regarding the RM-2-4 Zone, as allowed through the Planned Development Permit. Staff has determined the proposed deviation for a shorter length of the front façade will not adversely affect the General Plan, the Ocean Beach Precise Plan, and is appropriate for this location. Staff believes the required findings can be supported as substantiated in the Findings (Attachment 8) and recommends that the City Council deny the appeal and uphold the approval of the project as conditioned.



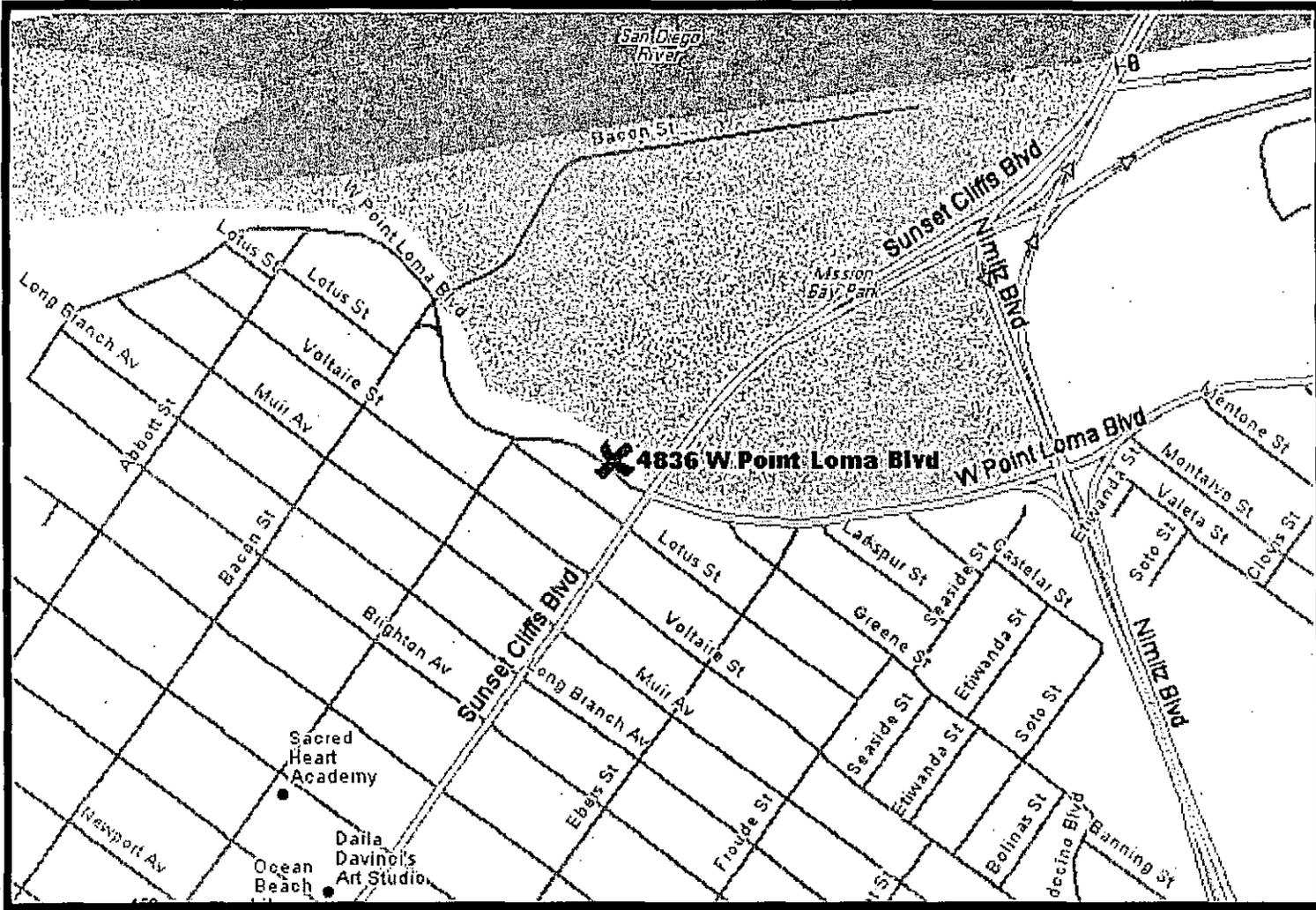
Patti Boekamp  
Interim Director  
Development Services Department



William Anderson  
Deputy Chief of Land Use and  
Economic Development

ATTACHMENTS:

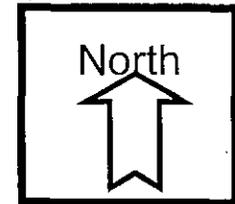
1. Location Map
2. Precise Plan Land Use Map
3. Aerial Photographs
4. Project Data Sheet
5. Project Development Plans
6. Site Photos
7. Compatible Structures in Neighborhood
8. Planning Commission Resolution of Approval
9. Proposed Draft Permit
10. Draft Environmental Resolution
11. Community Planning Group Recommendation
12. Report to the Planning Commission No. PC-07-142
13. Appeal Application (Dated October 11, 2007)
14. Ownership Disclosure Form



## Project Location Map

WEST OCEAN BEACH PARK UNITS - PROJECT NO. 95894

4824-4836 West Point Loma Blvd.



# North Ocean Beach

- 14 DU/AC
- 25 DU/AC
- 38 DU/AC (REQUIRE ONLY WITHIN PROPOSED LINDER SPECIAL OVERLAY)

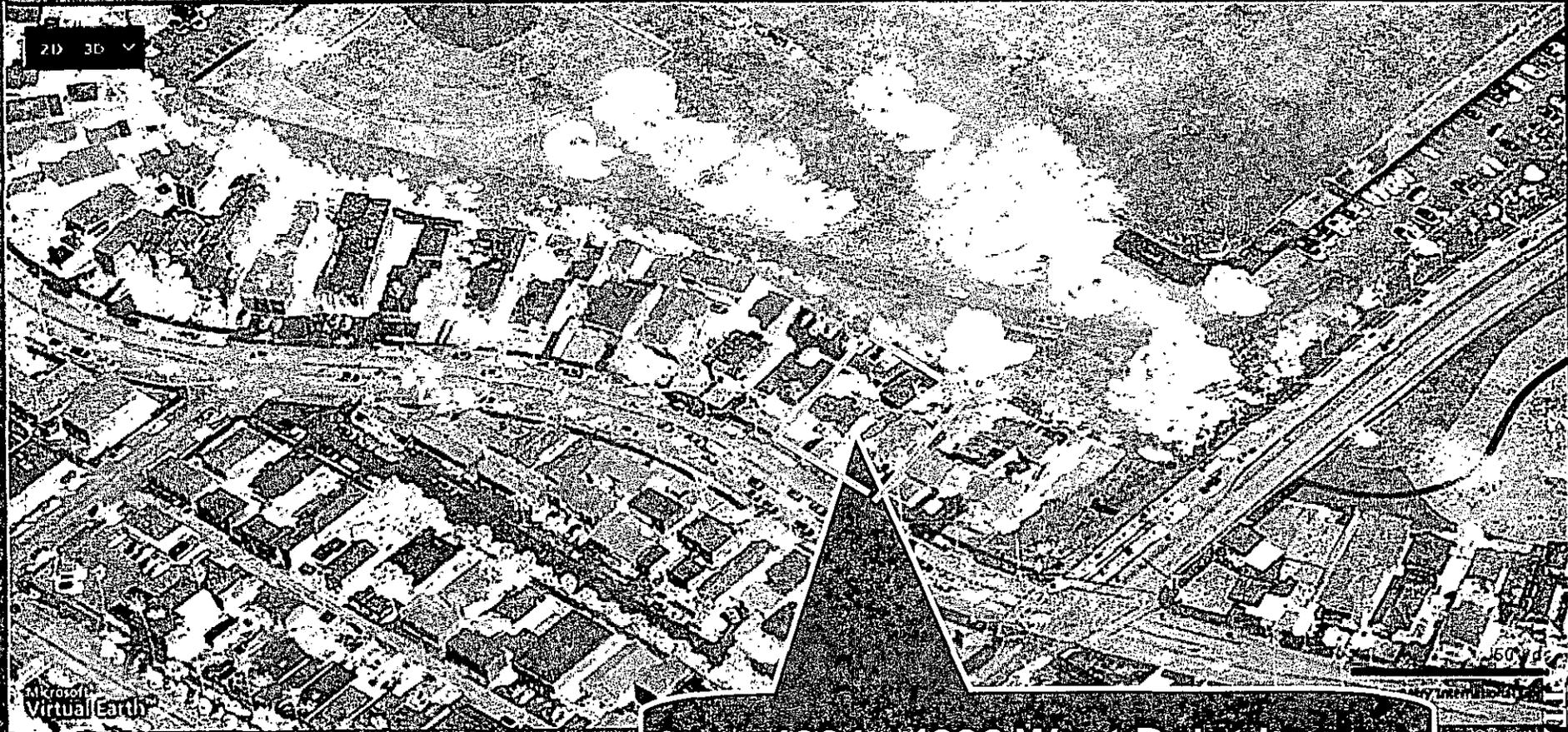


residential  
recommendations

Development Services Department  
Project Management

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**Location**



**4824 - 4836 West Point Loma**

ATTACHMENT 3

<b>PROJECT DATA SHEET</b>		
<b>PROJECT NAME:</b>	<b>West Ocean Beach Park Units</b>	
<b>PROJECT DESCRIPTION:</b>	Demolish two single-family units to allow for construction of seven rental units in six buildings.	
<b>COMMUNITY PLAN:</b>	Ocean Beach	
<b>DISCRETIONARY ACTIONS:</b>	Coastal Development Permit and Planned Development Permit.	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Multi-Family Residential (Allows residential development up to 25 dwelling units per acre).	
<b><u>ZONING INFORMATION:</u></b>		
<b>ZONE: RM-2-4, Residential</b>		
<b>HEIGHT LIMIT: 30-Foot: Coastal Height Limit Overlay Zone</b>		
<b>LOT SIZE: 6,000 square-foot minimum lot size</b>		
<b>FLOOR AREA RATIO: 0.7 maximum</b>		
<b>FRONT SETBACK: 20 feet</b>		
<b>SIDE SETBACK: 5 feet</b>		
<b>REAR SETBACK: 15 feet</b>		
<b>PARKING: 16 parking spaces required</b>		
<b>ADJACENT PROPERTIES:</b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	<b>Open space park, RS-1-1</b>	<b>Park</b>
<b>SOUTH:</b>	<b>Residential, RM-2-4</b>	<b>Residential</b>
<b>EAST:</b>	<b>Residential, RM-2-4</b>	<b>Residential</b>
<b>WEST:</b>	<b>Residential, RM-2-4</b>	<b>Residential</b>
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	<p>1) Deviate from the Municipal Code to allow less than 50% of the length of the building façade on the ground floor to enclose habitable area per SDMC 131.0464(e)(3).</p> <p>2) Deviate from the Municipal Code to allow retaining walls that exceed the maximum required height of six feet by two feet, eight inches, for portions of a retaining wall extend into the side and rear yard setbacks.</p>	
<b>PLANNING GROUP RECOMMENDATION:</b>	On May 2, 2007, the project was presented to the Ocean Beach Community Planning Committee. There were two motions made concerning the project and neither one passed (5-5-0). The Ocean Beach Community Planning Committee therefore made no recommendation.	

# WEST OCEAN BEACH PARK UNITS

03-05-07



## COASTAL DEVELOPEMENT PERMIT RESUBMITTAL SET

Prepared By:  
Ricardo Torres  
Goiba Architecture  
656 Ninth Avenue  
San Diego, CA 92101  
(619) 251-4400  
fax: 251-4200

Project Address:  
4824 N. POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA  
92101

Project Name:  
WEST POINT LOMA

Sheet Title:

COVER SHEET

Revision 14:  
Revision 13:  
Revision 12:  
Revision 11:  
Revision 10:  
Revision 9:  
Revision 8:  
Revision 7:  
Revision 6:  
Revision 5:  
Revision 4:  
Revision 3: 05-05-07  
Revision 1: 10-02-06

Original Date: 02-06-06  
Sheet 1 of 26

GOIBA ARCHITECTURE  
Architects & Planners  
1008 West La Jolla Village Drive, Suite 100  
San Diego, CA 92161  
Phone: (619) 231-2906  
Fax: (619) 231-2906

WEST O.B. PARK UNITS  
4824 WEST POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA



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### PLUMBING:

1. THE WORK CONSISTS OF A COMPLETE SYSTEM AS AN EXTENSION OF THE EXISTING SYSTEM INCLUDING SERVICE CONNECTIONS, DRAIN-WASTE-VENT, HOT AND COLD WATER AND GAS LINES, EXCAVATION AND COMPACTED BACKFILL, REQUIRED AND THE INSTALLATION OF ALL FIXTURES, AND TRIM AND APPLIANCES.
2. SERVICE CONNECTIONS SHALL BE MADE BY THE CONTRACTOR. THE CONTRACTOR SHALL DETERMINE DEPTH AND PROPOSE GRADE FOR WASTE LINES PRIOR TO ESTABLISHING FLOOR HEIGHT.
3. MATERIALS SHALL BE STANDARD U.S. WATER LINES SHALL BE TYPE K COPPER BELOW GRADE AND TYPE M ABOVE GRADE. WASTE AND VENT SHALL BE ADVOLV.
4. FIXTURES, TRIM, AND APPLIANCES. THE CONTRACTOR SHALL INSTALL ALL FIXTURES, TRIM AND APPLIANCES TO BE CONNECTED TO THE PLUMBING SYSTEM. THE CONTRACTOR SHALL RESPECT ALL UNITS WHEN DELIVERED TO THE JOB SITE AND REJECT ALL DAMAGED OR INCOMPLETE ITEMS. ALL ACCEPTED UNITS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL COMPLETION OF THE JOB.
5. PROVIDE 2" CLEAR TOILET FRONT & 18" CLEAR & CONTINUE TO TOILET REARWALL.
6. ALL NEW TOILETS TO BE ULTRA-LOW FLUSH TYPE, (1/2 GAL FLUSH)
7. PROVIDE PERMANENT VACUUM BREAKERS AT AT ALL HOSE BIBS, NEW & EXISTING LOCATION TYP.
8. MAXIMUM FLOW AT ALL NEW FAUCETS, 2.2 GAL PER MINUTE (89%). MAXIMUM FLOW AT ALL NEW SHOWER HEADS, 2.5 GAL PER MINUTE (89%).
9. PROVIDE MIXING VALVES AT SINKS PER REG. 42000 CPG 2001
10. GAS VENTS AND NON-COMBUSTIBLE TYPING IN WALLS PASSING THROUGH FLOORS OR LISTS SHALL BE EFFECTIVELY DRAFT STOPPED AT EACH FLOOR OR CEILING UEG SECTION TIE
11. WATER HEATERS SHALL COMPLY WITH REG. 6008 CPG 2001 FOR THERMAL EXPANSION REQUIREMENTS.
12. STATE HEALTH & SAFETY CODE 885 THRU 888B THE USE OF CARBONATED POLYETHYLENE GLYCOL (CPG) FOR INTERIOR WATER-SUPPLY TYPING.

### ROOM REQUIREMENTS:

1. CEILING HEIGHT AT ALL HABITABLE ROOMS OTHER THAN KITCHENS AND BATHS SHALL BE A MINIMUM OF "7'-0" (REFER TO PLANS FOR ACTUAL CEILING HEIGHTS).
2. CEILING HEIGHT AT ALL KITCHENS, HALLS, CORRIDORS, LAUNDRY ROOMS, AND BATHROOMS SHALL BE A MINIMUM OF "7'-0" CLEAR. (REFER TO PLANS FOR ACTUAL CEILING HEIGHTS).
3. GLAZING ADJACENT TO DOORS AND GLAZING IN FIXED PANELS ADJACENT TO WALKING SURFACES MUST BE OF SAFETY GLAZING (TEMPERED GLASS) MATERIALS.
4. PROVIDE SMOKE DETECTORS AT ALL BEDROOMS PER INT. B.C. SECTION B04.04. HARDWARE ALL SMOKE DETECTORS TO BUILDING ELECTRICAL AT NEW CONSTRUCTION.

### MECHANICAL EQUIPMENT:

#### HEADLINE:

X

INSTALLATION MUST COMPLY WITH SECTIONS B04.04, B14 AND B30 OF THE UFG.

#### DATE/REVISION:

X

### ELECTRICAL NOTES:

1. FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, SPECIALTIES, TRANSPORTATION INCLUDING THE COSTS THEREOF, REQUIRED FOR OR INCIDENTAL TO PERFORM ALL OPERATIONS AND INSTALL THE WORK COMPLETE AS AN EXTENSION OF THE EXISTING SYSTEM.
2. MAKE DETAILED ARRANGEMENTS WITH UTILITY COMPANIES FOR SERVICES AND PAY ALL FEES AND CHARGES LEVIED BY THEM. NOTIFY UTILITY COMPANIES WHEN WORK UNDER THIS SECTION COMMENCES.
3. COMPLETE POWER AND LIGHTING BRANCH CIRCUIT WORK INCLUDING JUNCTION BOXES, PULL BOXES, OUTLET BOXES, DEVICES, MATERIALS AND EQUIPMENT FOR A COMPLETE INSTALLATION.
4. COMPLETE LINE-VOLTAGE WIRING TO AND CONNECTION OF ELECTRICAL EQUIPMENT PROVIDED UNDER OTHER SECTIONS, INCLUDING ATTACHING PULL BOXES, OUTLET BOX SWITCHES.
5. EXCAVATION, COMPACTED BACK FILL, AND CONCRETE WORK TO COMPLETE THE WORK UNDER THIS SECTION.
6. ALL OUTLETS AND SWITCHES TO BE "DECOOR" TYPE, COLOR BY ARCHITECT.
7. FIELD VERIFY ALL EXISTING CONDITIONS.

### SMOKE DETECTORS:

- NOTE: DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT, SECTION B04.12.
- IN NEW ADDITION PROVIDE WIRING IN SMOKE DETECTORS WITH BATTERY POWERED BACK UP POWER IN EACH SLEEPING ROOM AND IN A CENTRAL LOCATION TO PROTECT SLEEPING AREA.
- IN EXISTING CONSTRUCTION PROVIDE BATTERY OPERATED SMOKE DETECTORS IN EACH SLEEPING ROOM AND IN A CENTRAL LOCATION TO PROTECT SLEEPING AREA WHERE EXISTING CONDITIONS DO NOT MEET CURRENT CODE PER REG. 804.4

### GENERAL NOTES:

21. ALL PRODUCTS AND MATERIALS REQUIRE TYPICAL DRAWINGS AND SAMPLE SUBMITTAL FOR ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.
22. THE CONTRACTOR AND THEIR SUBCONTRACTORS ARE RESPONSIBLE FOR REVIEWING THE CONTRACT DOCUMENTS IN ORDER TO DETERMINE THE PURPOSE OF THE DOCUMENTS THAT THE WORK CAN BE PERFORMED AS SHOWN THEREIN. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK IN QUESTION OR WITH RELATED WORK.
23. "TYPICAL" MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED. "SIMILAR" MEANS COMPATIBLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON THE PLAN.
24. DIMENSIONS ARE TO THE FACE OF STUDS AND/OR CONCRETE BLOCK UNLESS OTHERWISE INDICATED TO BE TO FINISH DIMENSIONS.
25. OBTAIN A CONSTRUCTION PERMIT FROM THE ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO WORKING IN THE PUBLIC RIGHT-OF-WAY. FAILURE TO DO SO WILL RESULT IN ISSUANCE OF A STOP WORK NOTICE AND DOUBLE PENALTY FINE. IT IS THE RESPONSIBILITY OF THE OWNER TO KNOW WHERE NEAREST PROPERTY LINE IS.
26. UTILITIES EXISTING OR TEMPORARY SHALL BE LOCATED AND MARKED BY THE CONTRACTOR TO AVOID DAMAGE OR DOUBLE PENALTY FINE. IT IS THE RESPONSIBILITY OF THE OWNER TO KNOW WHERE NEAREST PROPERTY LINE IS.
27. UTILITIES EXISTING OR TEMPORARY SHALL BE LOCATED AND MARKED BY THE CONTRACTOR TO AVOID DAMAGE OR DOUBLE PENALTY FINE. IT IS THE RESPONSIBILITY OF THE OWNER TO KNOW WHERE NEAREST PROPERTY LINE IS.
28. THE PROJECT AREA AND BUILDING SITE SHALL BE MAINTAINED IN A SAFE CONDITION FREE FROM THE ACCUMULATION OF DEBRIS AND NON-MATERIAL.
29. THE HIGHEST PROJECTION OF ANY PART OF THE BUILDING INCLUDING CORNICES, VENTS, TOWER, ETC. SHALL NOT EXCEED 30' ABOVE GRADE (APPLIES TO PROLETS WEST OF INTERSTATE 5 ONLY).
30. THE CONTRACTOR SHALL UPON SUBSTANTIAL COMPLETION, FURNISH THE ARCHITECT AND HIS REPRESENTATIVE WITH A GAUGE OF FINE SPOKED WIRE.

### BIDDING NOTES:

1. THE CONTRACTOR SHALL PROTECT THE PREMISES DURING THE COURSE OF WORK AND PRIOR TO THE START OF CONSTRUCTION IN ORDER TO BE FAMILIAR WITH POSSIBLE FIELD CONDITIONS THAT MAY ARISE. SUCH CONDITIONS ARE TO BE REFLECTED AND QUANTIFIED IN THE BID.

### DEMOLITION NOTES:

1. CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT DAMAGE TO ADJOINING AREAS, WHERE APPLICABLE.
2. CONTRACTOR TO REFERENCE NEW FLOOR PLANS AND SITE PLANS FOR PRECISE LIMITS OF DEMOLITION. CONSULT ARCHITECT IN AREAS OF UNCERTAINTY OR DISCREPANCY.
3. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, AND SUPPORT NECESSARY TO ACHIEVE THE FINISHED STRUCTURE.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT AND ENGINEER SHALL BE NOTIFIED, IN WRITING, IMMEDIATELY OF ANY DISCREPANCIES, DIMENSIONS SHOWN NOT BEING SHOWN ON PLANS, ELEVATIONS, SECTIONS, OR DETAILS OF THESE DRAWINGS.

### FIRE DEPT. NOTES:

1. INTERIOR FINISH SHALL COMPLY WITH CODES AS FOLLOWS: U.B.C. CHAPTER 8.
2. BUILDING MEMBERS SHALL BE EASILY VOIDED AND LEAVE THE FIRE DEPT. OR ROAD FRONTING PROPERTY. (UFG SECTION 804.4)
3. THE CONTRACTOR, FIREWORKS, OR DEMOLITION OF A BUILDING SHALL COMPLY WITH UFG ARTICLE 81.

### VENTILATION NOTE:

EXHAUST FAN / VENTILATION SYSTEM TO PROVIDE A MINIMUM OF 3 AIR CHANGES PER HOUR - DISCHARGING TO THE EXTERIOR. THE BUILDING NOT CLOSER THAN 8 FT. FROM ANY EXTERIOR OPENING.

### GENERAL NOTES:

1. THE SPECIFICATIONS UNDER SEPARATE COVERS ARE AN INTEGRAL PART OF THESE CONSTRUCTION DOCUMENTS.
2. THE RECOMMENDATIONS CONTAINED IN THE BIDDING REPORT FOR EARTH WORK AND FOUNDATION EXCAVATION ARE A PART OF THE WORK. THE COST OF THIS REPORT IS AVAILABLE AT THE OFFICE OF THE ARCHITECT.
3. THE CONTRACTOR SHALL, AS PART OF THIS CONTRACT, FURNISH ALL MATERIAL, LABOR, TRANSPORTATION AND EQUIPMENT AND PROPERLY INSTALL ALL WORK SPECIFIED HEREON. SHOW ON THE DRAWINGS, OR REASONABLY IMPLIED TO COMPLETE THE CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINISHING OF HIS WORK IN THE MANNER AND FORM PRESCRIBED BY THE PLANS AND SPECIFICATIONS. REPORT DISCREPANCIES BEFORE OR DURING THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING ANY FINAL BIDS OR CORRECTIONS WITH ANY WORK.
5. CONTRACTORS ARE TO PROTECT ALL PROPERTY AND THE WORK OF ALL OTHER TRADES AGAINST DAMAGE OR INJURY CAUSED BY ACTIVITY OF ANOTHER SUBCONTRACTOR OR GENERAL CONTRACTOR. ANY DISCREPANCIES WITH OTHER TRADES WORK SHALL BE REPORTED TO THE GENERAL CONTRACTOR AND THE ARCHITECT PRIOR TO COMMENCING ANY WORK.
6. ALL CONSTRUCTION AND INSTALLATIONS SHALL COMPLY WITH APPLICABLE LOCAL, STATE, AND NATIONAL CODES AND REGULATIONS WHICH GOVERN THIS TYPE OF CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE CURRENT EDITIONS OF THE UFG, THE IBC, THE IBC, THE IBC (LATEST EDITION), NATIONAL ELECTRICAL CODE, NATIONAL ELECTRICAL CODE AND THE UFG.
7. CONTRACTORS SHALL BE FINANCIALLY LIABLE FOR ONE YEAR ALL MATERIALS AND WORKMANSHIP EXCEPT AS OTHERWISE NOTED.
8. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. DETAIL DRAWINGS SHALL TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. DO NOT SCALE DRAWINGS. THE REPORTED EDITION OF THE UFG, THE IBC, THE IBC (LATEST EDITION), NATIONAL ELECTRICAL CODE, NATIONAL ELECTRICAL CODE AND THE UFG.
9. MAKE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE PROJECT. DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK OR FOR MANUFACTURERS' STANDARD DETAILS AND INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
10. ITEMS SPECIFIED ON PLANS AND SPECIFICATIONS REPRESENT THE TYPE AND QUALITY REQUIRED. SUBCONTRACTORS MAY SUBSTITUTE EQUAL ITEMS IN THEIR BID WHEN APPROVED IN WRITING BY THE OWNER AND ARCHITECT.
11. CONTRACTOR SHALL UPON COMPLETION OF HIS WORK, CLEAN AND CLEAR THE ENTIRE AREA OF ALL DEBRIS OR ANY OTHER MATERIAL CAUSED BY HIS OPERATION.
12. THE OWNER RESERVES THE RIGHT TO CHANGE, INCREASE OR REDUCE THE SCOPE OF THIS WORK. ALL CHANGES TO THIS CONTRACT SHALL BE NOTICED THROUGH THE ARCHITECT.
13. CONTRACTOR SHALL NOT MAKE CHANGES OR DO ANY EXTRA WORK WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR HIS AUTHORIZED REPRESENTATIVE.
14. THE ARCHITECT SHALL IN NO WAY BE RESPONSIBLE FOR THE JOB SITE OR FOR METHODS OR TECHNIQUES OF PERFORMANCE OF THE WORK.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OR REPAIR WITHOUT DAMAGE OF ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES. BRACING IN AREAS WHERE EXCAVATIONS ARE NECESSARY AND SHALL REPAIR ANY SUCH DAMAGE AT HIS OWN EXPENSE. UTILITY LINES SHALL BE PROPERLY PROTECTED WHERE THEY MUST BE MAINTAINED UNDER A BUILDING.
17. THESE DRAWINGS ARE ISSUED AS A SET AND ARE NOT TO BE SEPARATED.
18. ALL CONSTRUCTION SHALL CONFORM WITH THE BUILDING DEPARTMENT STAFFED AND APPROVED SET OF DRAWINGS.
19. THE NATIONAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION BY AND FOR THE AMERICAN INSTITUTE OF ARCHITECTS, LATEST EDITION, IS HEREBY MADE A PART OF THESE DRAWINGS.
20. THE CONTRACTOR IS TO MAINTAIN ALL EXISTING CONDITIONS IN A HANDICAPPED AND PROTECTED STATE DURING THE COURSE OF DEMOLITION AND ALL REPAIR AND CONSTRUCTION WORK.
21. ALL FAB FINISH ON THIS PROJECT ARE TO BE COMMONWEALTH, I.E. ANNEALIZED STAINLESS STEEL OR EQUAL.
22. SMOKE DETECTORS SHALL BE INSTALLED PER THE REQUIREMENTS OF THE CURRENT EDITION OF THE NATIONAL ELECTRICAL CODE AS REQUIRED FOR THE CODE.
23. ALL BRASS METAL AND BRASS INSTALLATIONS SHALL COMPLY WITH THE LATEST EDITION OF THE SULLANA ARCHITECTURAL SHEET METAL MANUAL.
24. ALL BRASS METAL PLUMBING MATERIALS ARE TO BE FINISHED (BRASS) AND FINISHED OR ALL BRASS ARE TO BE INSTALLED. TWO COATS OF PAINT ARE TO BE APPLIED TO ALL SURFACES. PROVIDE JOB TOUCHUP PRIOR TO INSTALLATION OF ANY METAL. FINISH OR FINISH IS SCRATCHED DUE TO TRANSPORTATION OR JOB CONDITIONS.
25. ALL SURFACES, JOINTS, EDGES AND PLANES ARE TO BE FINISHED (BRASS) AND FINISHED OR ALL BRASS ARE TO BE INSTALLED. TWO COATS OF PAINT ARE TO BE APPLIED TO ALL SURFACES. PROVIDE JOB TOUCHUP PRIOR TO INSTALLATION OF ANY METAL. FINISH OR FINISH IS SCRATCHED DUE TO TRANSPORTATION OR JOB CONDITIONS.
26. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCY OR VARIATION FROM THE REPORTED EDITION OF THE UFG, THE IBC, THE IBC (LATEST EDITION), NATIONAL ELECTRICAL CODE, NATIONAL ELECTRICAL CODE AND THE UFG THAT WOULD AFFECT THE PERFORMANCE OR INSTALLATION OF ANY TYPICAL OR SIMILAR CONSTRUCTION DETAIL.

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92107

Project Name:  
NEST POINT LOVA

Revision 14:  
Revision 15:  
Revision 12:  
Revision 11:  
Revision 10:  
Revision 9:  
Revision 8:  
Revision 7:  
Revision 6:  
Revision 5:  
Revision 4:  
Revision 3:  
Revision 2:  
Revision 1:  
Original Date: 02-05-07  
Revision 1: 10-02-06  
Sheet D of 26

Sheet Title:  
**GENERAL NOTES**

**GOLBA ARCHITECTURE**  
ARCHITECTURE • INTERIOR DESIGN • LANDSCAPE ARCHITECTURE  
1025 WEST POINT LOMA BLVD. • SAN DIEGO, CALIFORNIA 92107  
PHONE: (619) 231-4403 • FAX: (619) 231-4280

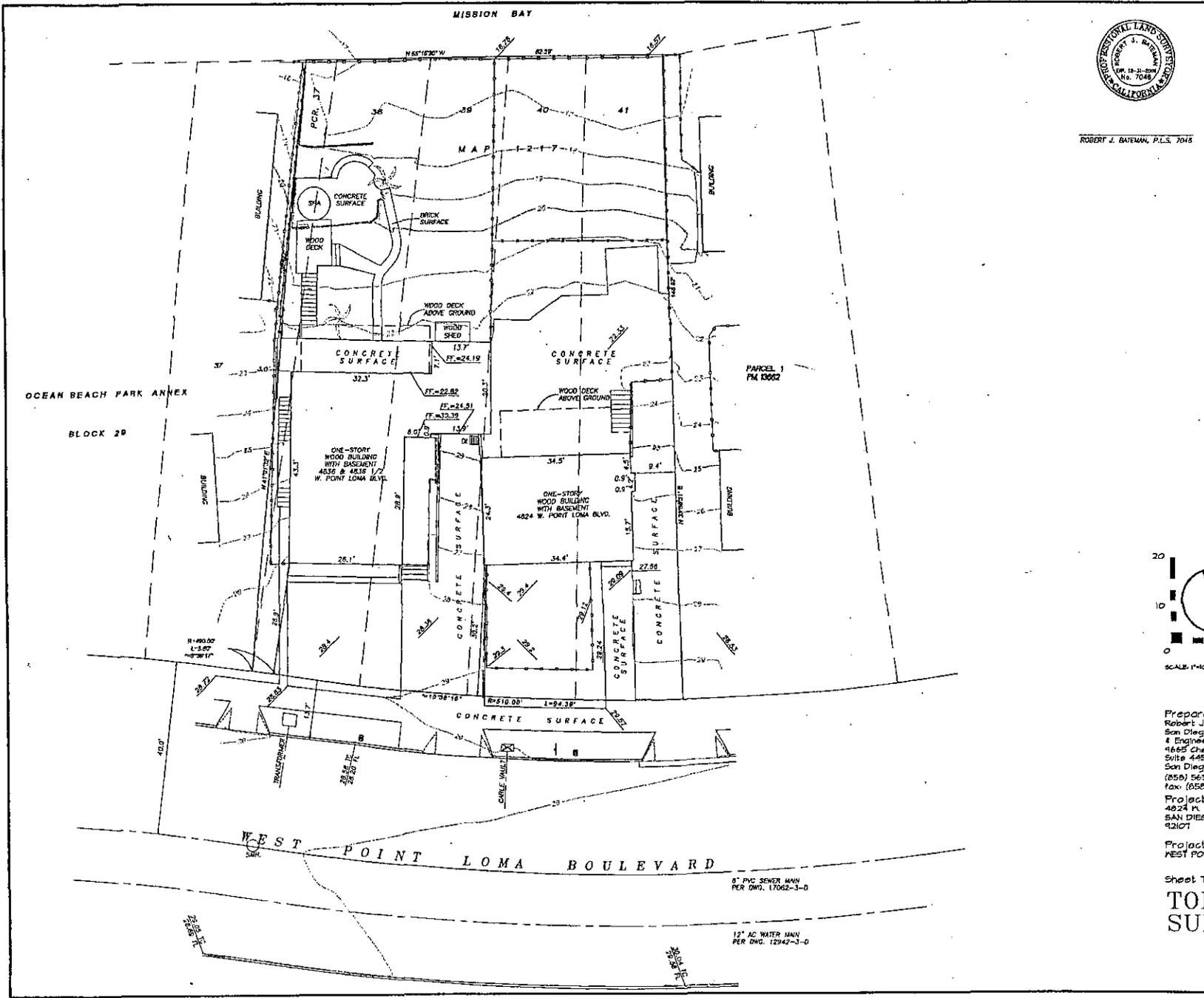
**WEST O.B. PARK UNITS**  
4824 N. POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA 92107



**GOLBA**  
ARCHITECTURE

001193

ATTACHMENT 05



TOPOGRAPHIC SURVEY		
For the estimate use of MR. MARCO CICCINETTO 4444 MISSION BOULEVARD SAN DIEGO, CALIFORNIA 92109		
San Diego Land Surveying & Engineering, Inc.		
8885 Chesapeake Drive, Suite 445, San Diego, California 92128-1954 (619) 565-4353 FAX (619) 685-4354		
Date: 2-14-08	Revised:	Revised:
Scale: 1"=10'-0"	Drawn by: M.S.S.	Sheet 4 of 26 Sheet
Drawing: WPL0808V4824S	A.P.N.	448-230-19,20

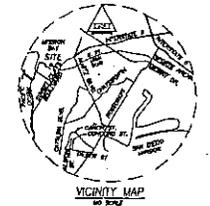
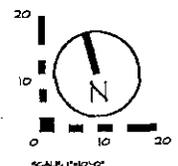
ROBERT J. BATEMAN, P.L.S. 7046

**LEGAL DESCRIPTION:**  
 LOTS 38, 39, 40 AND 41 OF OCEAN BEACH PARK BEACH ANNEX, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1217, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 23, 1909.

ALSO THAT PORTION OF LOT 37 IN BLOCK 29 OF OCEAN BEACH PARK ANNEX, DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE MOST SOUTHERLY CORNER OF SAID LOT 37; THENCE NORTHEASTERLY ALONG THE SOUTHEASTERLY LINE OF SAID LOT 130.02 FEET TO THE NORTHEASTERLY CORNER THEREOF; THENCE NORTH S80°07' WEST, ALONG THE NORTHERLY LINE OF SAID LOT, 7.00 FEET; THENCE SOUTHEASTERLY TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PORTION IF ANY, HERETOFORE, NOW LYING BELOW THE MEAN HIGH TIDE LINE OF MISSION BAY, FORMERLY FALSE BAY.

**BENCH MARK:**  
 CITY OF SAN DIEGO BN. NORTHWEST BRASS PLUG  
 WEST POINT LOMA BLVD. AND SUNSET CLIFFS BLVD.  
 ELEVATION= 29.213 M.S.L.

- LEGEND:**
- INDICATES WATER METER
  - FF. INDICATES FINISH FLOOR
  - DL INDICATES DRAIN INLET
  - - - INDICATES STAIR
  - INDICATES CHAIN LINK FENCE
  - INDICATES CHAIN LINK FENCE
  - INDICATES ROCK OR BLOCK WALL



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Project Name:  
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Revision 14:  
 Revision 13:  
 Revision 12:  
 Revision 11:  
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 Revision 5:  
 Revision 4:  
 Revision 3, 05-05-01  
 Revision 2, 05-02-06  
 Revision 1: 10-02-06

Original Date: 02-06-06  
 Sheet 4 of 26

Sheet Title:  
**TOPOGRAPHIC SURVEY**

C01194

ATTACHMENT 05





SPECIAL PLAN NOTE 1:  
SEE SHEET 02-01 FOR THE ROOF EQUIPMENT  
ON ANY UNIT. THE AVENUE OR OTHER  
PARKING ON THIS SHEET IS NOT TO BE USED  
BEYOND THE GRADE. SEE SHEET 02-02.

SPECIAL PLAN NOTE 2:  
REMOVE ALL EXISTING CURBS & OTHER  
AS SHOWN AND RECONSTRUCT TO  
STANDARD CURBS. SEE SHEET 02-02.

SPECIAL PLAN NOTE 3:  
SEE SHEET 02-01 FOR FORMING AND  
FOR RECONSTRUCTING CURBS AND  
SEE SHEET 02-02 FOR LANDSCAPE PLAN.

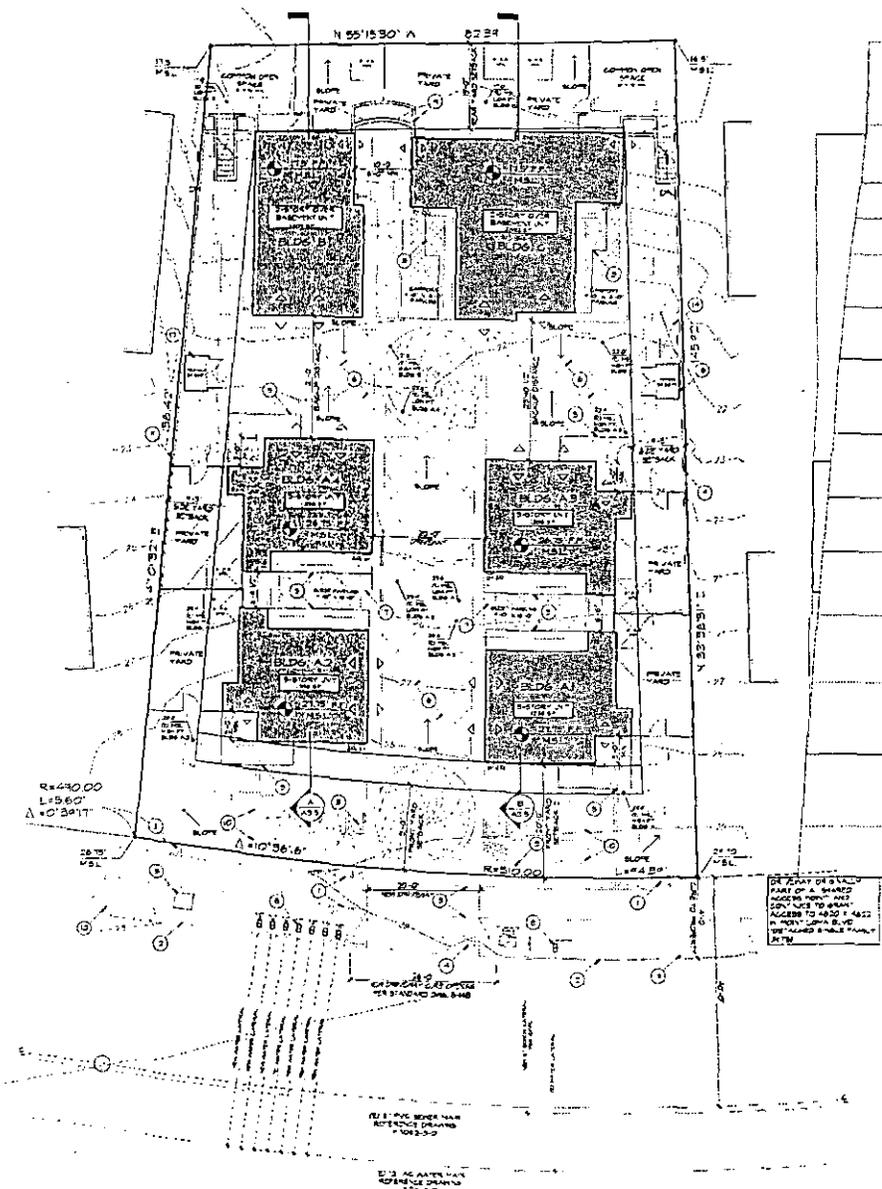
SPECIAL PLAN NOTE 4:  
NO PARKING WILL BE PERMITTED IN THE  
DRIVEWAY. RED CURBS ON FIRE LANE  
& DRIVE ARE REQUIRED. PROVIDE THE  
ACCESS ROADSIDE BANKS ON RED CURBS IN  
ACCORDANCE WITH THE POLICE AGENCY.

**PARKING BREAKDOWN**

BUILDING	A1	A2	A3	A4	B	C	D
NO OF BAYS	2	2	2	2	2	2	2
PARKING REQ'D PER TABLE 102-02	228	228	228	228	228	228	228
NO OF PARKING SPACES PROVIDED	20	20	20	20	20	20	20
PARKING DEMAND	+108	+108	+108	+108	+108	+108	+108

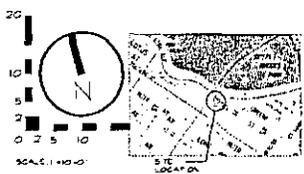
OVERALL TOTAL	SITE
TOTAL PARKING REQ'D	672
NO OF PARKING SPACES PROVIDED	80
NO OF BICYCLE SPACES PROVIDED	NA
NO OF MOTORCYCLE SPACES PROVIDED	1

BICYCLE RACKS ARE NOT REQUIRED FOR A DEMAND OF 1 IN A 1000. ACCESSIBLE  
ONLY BY ACCESS OF THE CURB. SEE SHEET 02-02 FOR TABLE 102-02.



**STAIR NOTES:**  
GRADE TO CORNER OF SPACE  
FOR RAMP TO STAIR  
TO BE 1/4" PER  
FOOT OF RISE. SEE  
TOTAL RISE LIST.  
TYPICAL ALL HANDRAILS  
1:2 ON ST. HANDRAIL & 24" Ht. ABOVE  
STAIR NOS. 15 - 17. BOTH SIDES HANDRAILS &  
RETURN TO FLOOR. SEE  
NOTE: 1/2" MIN. CLEARANCE TO HANDRAIL.

- PLAN NOTES**
- REMOVE EXISTING CONCRETE & FILL TO MATCH EXISTING GRADE. SEE SHEET 02-01.
  - EXISTING CURBS & OTHER PER CITY STANDARD DRAWING.
  - RECONSTRUCT EXISTING CURBS AND OTHER AS SHOWN. NO OBJECTS HIGHER THAN 6" IN HEIGHT. AREA RECONSTRUCTED.
  - REMOVE & RELOCATE EXISTING CABLE WALK.
  - LINE OF WALL ABOVE.
  - REMOVE AND RECONSTRUCT CONCRETE DRIVEWAY PER LANDSCAPE PLAN. SEE SHEET 02 FOR FLOOR PLAN.
  - 4'-0" X 8'-0" BEST PARKING SPACE.
  - EXISTING WATER METER TO REMAIN.
  - EXISTING RETAINING WALL PER DRAWING. SEE SHEET 02 FOR FLOOR PLAN.
  - CONDUIT STOPPING MADE PER LANDSCAPE PLAN.
  - EXISTING SHARED OR COMMON TO REMAIN.
  - EXISTING DRIVEWAY TO REMAIN.
  - REMOVE EXISTING SMALL PARKING AND CURBS. SEE SHEET 02 FOR FLOOR PLAN.
  - 4'-0" X 8'-0" MOTORCYCLE PARKING SPACE.
  - EXISTING EDGE POWER TRANSFORMER TO REMAIN.
  - 4'-0" X 8'-0" OUTDOOR RECYCLE STORAGE AREA.
  - 4'-0" X 8'-0" OUTDOOR RECYCLE STORAGE AREA.



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Project Name:  
WEST POINT LOMA

Sheet Title:  
**SITE PLAN**

- |                         |              |
|-------------------------|--------------|
| Revision 14:            | Revision 13: |
| Revision 12:            | Revision 11: |
| Revision 10:            | Revision 9:  |
| Revision 8:             | Revision 7:  |
| Revision 6:             | Revision 5:  |
| Revision 4:             | Revision 3:  |
| Revision 2:             | Revision 1:  |
| Original Date: 02-08-08 |              |

Sheet 6 of 26

**GOLBA ARCHITECTURE**  
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4822 WEST POINT LOMA BLVD.  
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**A00**

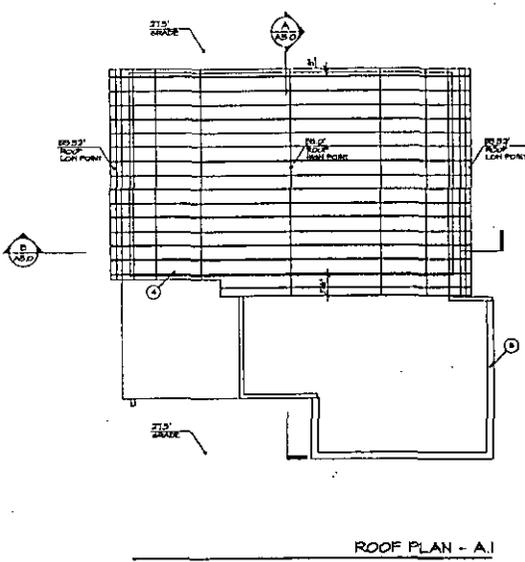
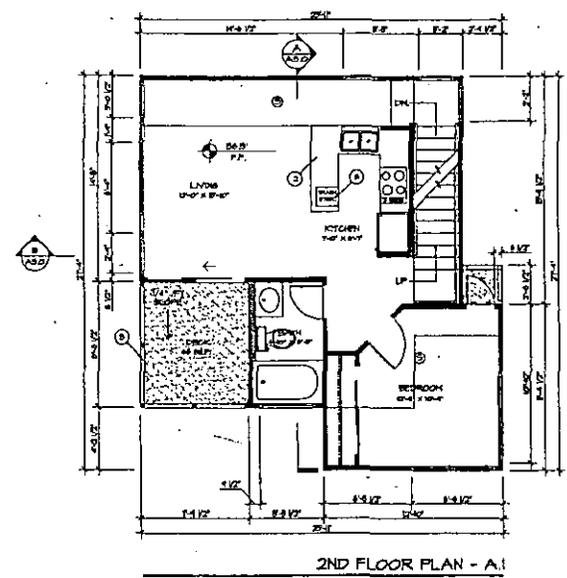
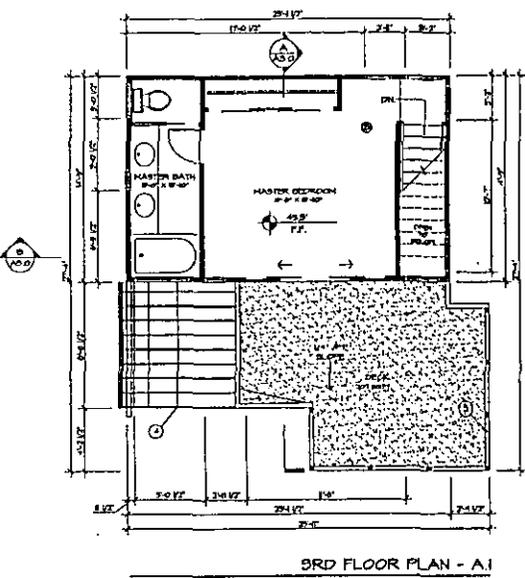
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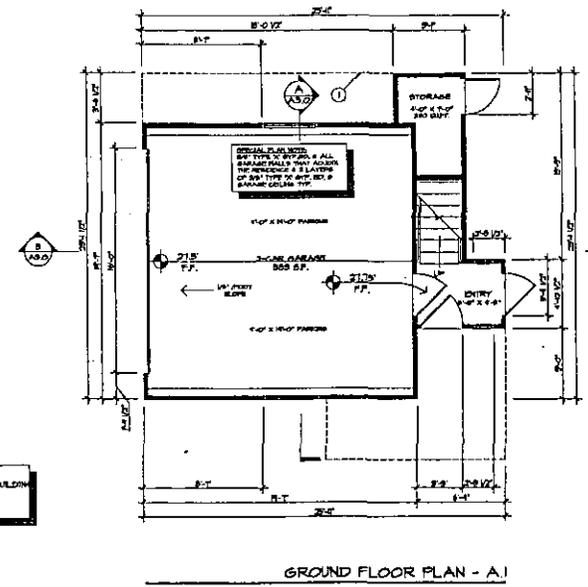
**WESTO B. PARK UNITS**  
 4824 M. POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA



**W B Golba**  
**A10**



**SPECIAL PLAN NOTE:**  
 PROVIDE FLOOR FINISH FOR VIEW OF BUILDING.  
 A.3. SEE SHEET A.02 FOR MORE  
 INFORMATION & ORIENTATION.

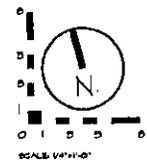


- PLAN NOTES:**
- ① LINE OF HALL ABOVE
  - ② 36" A.P.P. KITCHEN COUNTER
  - ③ 36" A.P.P. BREAK ROOM
  - ④ COPPER METAL BEADED ROOF
  - ⑤ 36" A.P.P. DECK RAILING DECK
  - ⑥ INTERIOR REPAIRS & RECYCLABLE STORAGE & CUPB. TOTAL

- STAIR NOTES:**
- ENTRY TO 2ND FLOOR (RAMP) 1.0x7.0**  
 TYP. RISE = 1.55' EA.  
 TYP. TREAD = 10" EA.  
 NO. OF RISERS = 14
- TOTAL RISE 21'-0" PLATE HEIGHT**  
 8' 10" FLOOR JOIST  
 5/4" PLY. & LANDING  
 8.5' 10" TOTAL RISE
- 2ND TO 3RD FLOOR (RAMP) 1.0x7.0**  
 TYP. RISE = 1.55' EA.  
 TYP. TREAD = 10" EA.  
 NO. OF RISERS = 14
- TOTAL RISE 8'-0" PLATE HEIGHT**  
 8' 10" FLOOR JOIST  
 5/4" PLY. & LANDING  
 7'-0" TOTAL RISE

**NOTE:**  
 THE LOWEST POINT OF THE ROOF EQUIPMENT,  
 OR ANY VENT PIPE, ANTENNA, OR OTHER  
 PROJECTION SHALL NOT EXCEED 30" OF  
 ABOVE THE GRADE (DIMS. 803.2208.12)

- WALL LEGEND**
- 2x4 @ 16" O.C. BRD WALL
  - 2x4 BRD WALL
  - EXTERIOR BRND. EXTERIOR LIGHTS
  - EXTERIOR SURFACE FOR HANG. BRNSA. 1/2" O.C. 1/4" R.F.
  - INDICATES LINE ABOVE
  - INDICATES LINE BELOW
  - SMOKE DETECTOR



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**Revision 14:**  
 Revision 13:  
 Revision 12:  
 Revision 11:  
 Revision 10:  
 Revision 9:  
 Revision 8:  
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 Revision 5:  
 Revision 4:  
 Revision 3: 03-09-07  
 Revision 1: 10-02-06

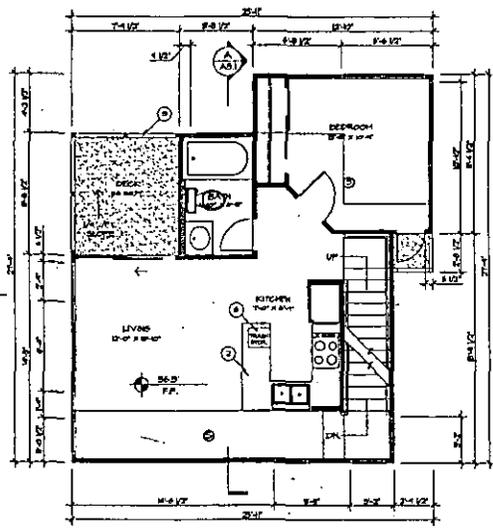
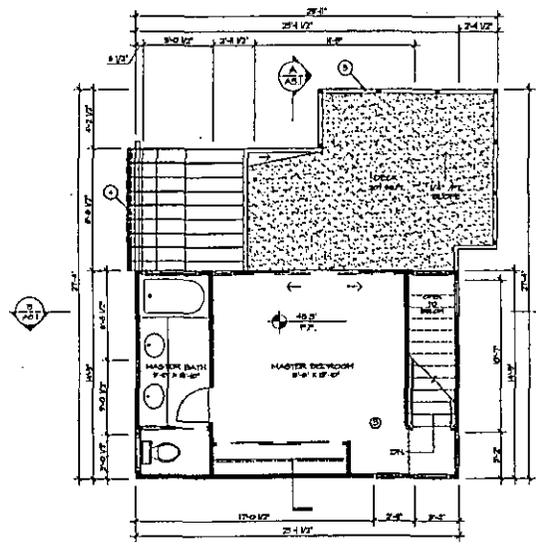
**Original Date:** 02-06-06  
 Sheet 7 of 26

**Project Name:**  
 WEST POINT LOMA

**Sheet Title:**  
 BLDG. A.1 & A.2  
 FLOOR PLANS

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 SAN DIEGO, CALIFORNIA



- PLAN NOTES:**
- ① LINE OF WALL ABOVE
  - ② 8" A.F.F. KITCHEN COUNTER
  - ③ 8" A.F.F. DECK RAILING
  - ④ COPPER METAL DECK ROOF
  - ⑤ 8" A.F.F. DECK RAILING BELOW
  - ⑥ INTERIOR WARDROBE & RECYCLABLE STORAGE & CUPB. TOTAL

**STAIR NOTES:**

**DOWN TO 1ST FLOOR (L-HEAD L-104)**  
 TYP. RISE = 7.5" EA  
 TYP. TREAD = 10" EA  
 NO. OF RISERS = 14

TOTAL RISE: 104" PLATE HEIGHT  
 8 1/2" FLOOR JOIST  
 24" PLY. & LANDING  
 5-0 1/2" TOTAL RISE

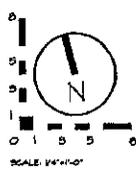
**UP TO 2ND FLOOR (L-HEAD L-104)**  
 TYP. RISE = 7.5" EA  
 TYP. TREAD = 10" EA  
 NO. OF RISERS = 14

TOTAL RISE: 81" PLATE HEIGHT  
 8 1/2" FLOOR JOIST  
 24" PLY. & LANDING  
 5-0 1/2" TOTAL RISE

**NOTE:**  
 THE HIGHEST POINT OF THE ROOF DRAINAGE, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30" ABOVE THE GRADE (CONC. 309/236 13)

**WALL LEGEND**

	2x4 @ 16" O.C. BIRD WALL
	2x4 BIRD WALL
	EXTERIOR BRICK CONCRETE CENTER
	EXTERIOR BRICK CONCRETE PERIMETER
	12" O.C. @ 48"
	INDICATOR LINE ABOVE
	INDICATOR LINE BELOW
	SMOKE DETECTOR



Prepared By:  
 Ricardo Torres  
 Golba Architecture  
 856 Ninth Avenue  
 San Diego, CA 92101  
 (619) 231-9935  
 Fax: 231-4286

Project Address:  
 4824 W. POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA  
 92107

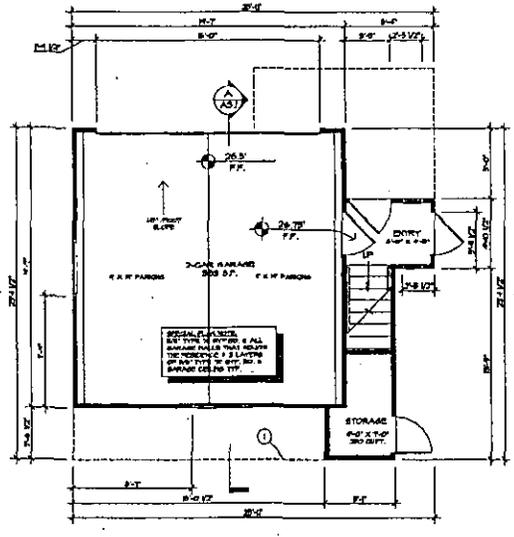
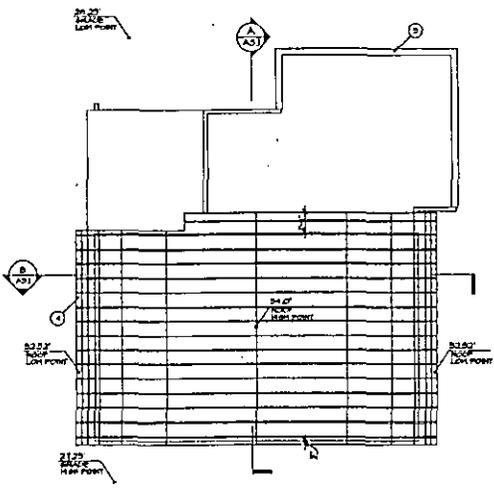
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 Revision 11:  
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 Revision 3: 03-09-01  
 Revision 1: 10-02-06

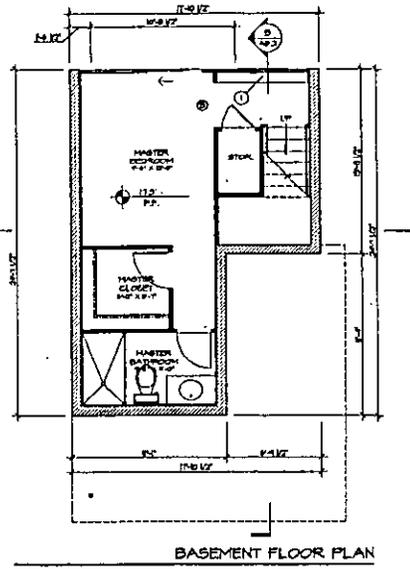
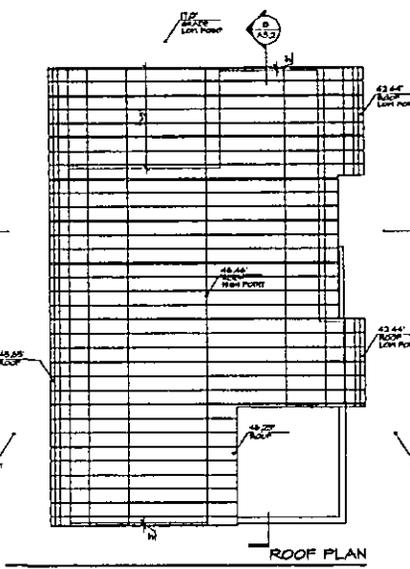
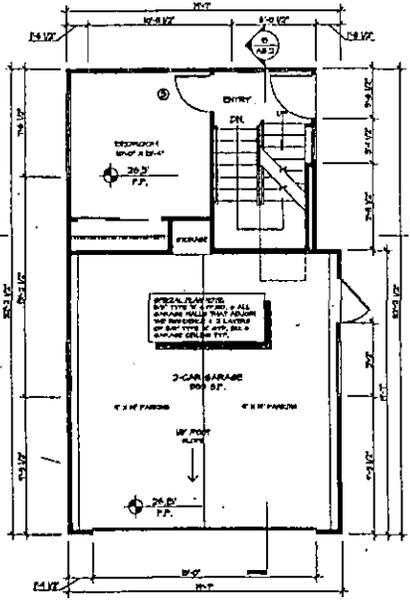
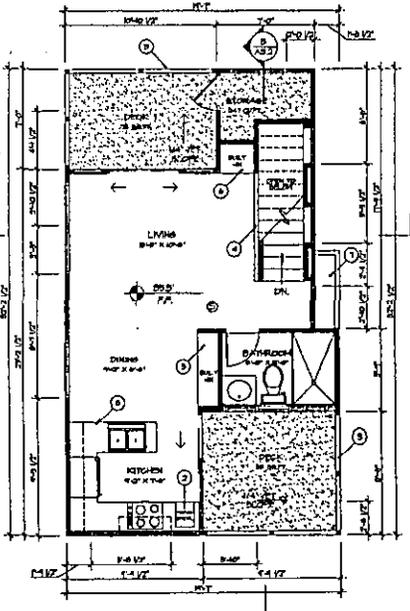
Project Name:  
 WEST POINT LOMA

Original Date: 02-06-06  
 Sheet 6 of 26

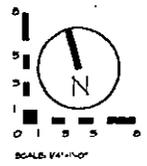
Sheet Title:  
**BLDG. A.3 & A.4  
 FLOOR PLANS**

**SPECIAL PLAN NOTE:**  
 WORK FLOOR PLANS FOR VIEW OF BUILDING A.4. SEE SHEET A40 FOR MORE INFORMATION & ORIENTATION.





- PLAN NOTES:**
- 1 6 1/2" BOOKSHELF, 80" APP.
  - 2 INTERIOR REUSE & RECYCLABLE STORAGE & CUPB. TOTAL
  - 3 84" APP. DECK RAILING
  - 4 42" APP. LOUVER
  - 5 10" BUILT-IN SHELVING & 80" APP.
  - 6 24" BUILT-IN SHELVING & 84" APP.
  - 7 FLAT ROOF PARAPET WALL
  - 8 36" APP. KITCHEN COUNTER
- STAIR NOTES:**
- BASEMENT TO ENTRY**  
 TYP. RISE = 11 1/2" EA.  
 TYP. TREAD = 12" EA.  
 NO. OF RISERS = 14
- TOTAL RISE: 158 1/2" PLATE HEIGHT**  
 8 1/2" FLOOR JOIST  
 5/4" FLY. & LANDING  
 1-02" TOTAL RISE
- ENTRY TO 2ND FLOOR**  
 TYP. RISE = 11 1/2" EA.  
 TYP. TREAD = 12" EA.  
 NO. OF RISERS = 14
- TOTAL RISE: 81" PLATE HEIGHT**  
 8 1/2" FLOOR JOIST  
 5/4" FLY. & LANDING  
 1-02" TOTAL RISE
- NOTE:**  
 THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 80% OF ABOVE THE GRADE FINISH TOP OF ROOF.
- WALL LEGEND**
- 1" CHU WALL BY 2X FURRING & RIGID INSULATION
  - 2 1/2" x 12" GRC STED WALL
  - 2 1/2" STED WALL
  - CONCRETE READY TO RECEIVE LIGHT DECORATIVE SURFACE PER MANUF. SPECIFICATIONS
  - DASHED LINE INDICATES LINE ABOVE
  - SOLID LINE INDICATES LINE BELOW
  - ⊙ BRACE DETECTOR



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 Golba Architecture  
 656 Ninth Avenue  
 San Diego, CA 92101  
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 Fax: 251-4280

Project Address:  
 4824 N. POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA  
 92107

Project Name:  
 WEST POINT LOMA

Sheet Title:  
**BUILDING B  
 FLOOR PLANS**

Revision 14:  
 Revision 13:  
 Revision 12:  
 Revision 11:  
 Revision 10:  
 Revision 9:  
 Revision 8:  
 Revision 7:  
 Revision 6:  
 Revision 5:  
 Revision 4:  
 Revision 3:  
 Revision 2: 03-05-01  
 Revision 1: 10-02-06

Original Date: 02-06-06  
 Sheet # 01 of 26

**GOLBA ARCHITECTURE**  
 ARCHITECTURE • INTERIOR DESIGN • CONSTRUCTION • PROJECT MANAGEMENT

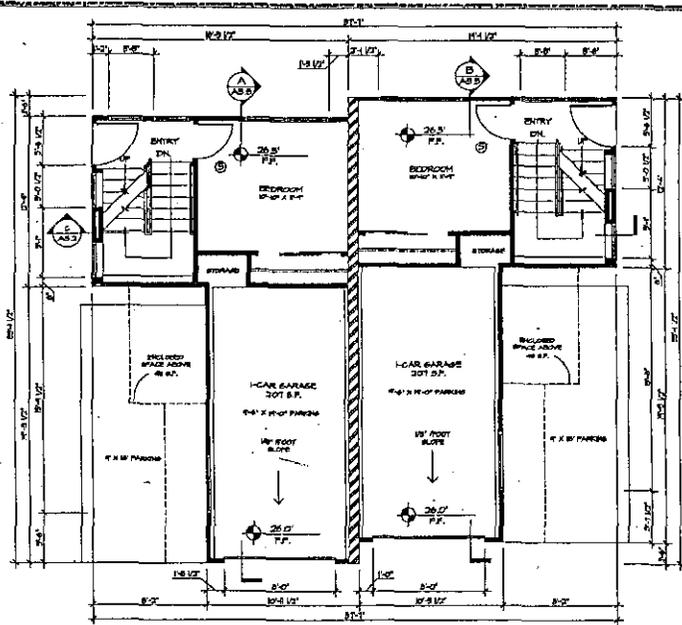
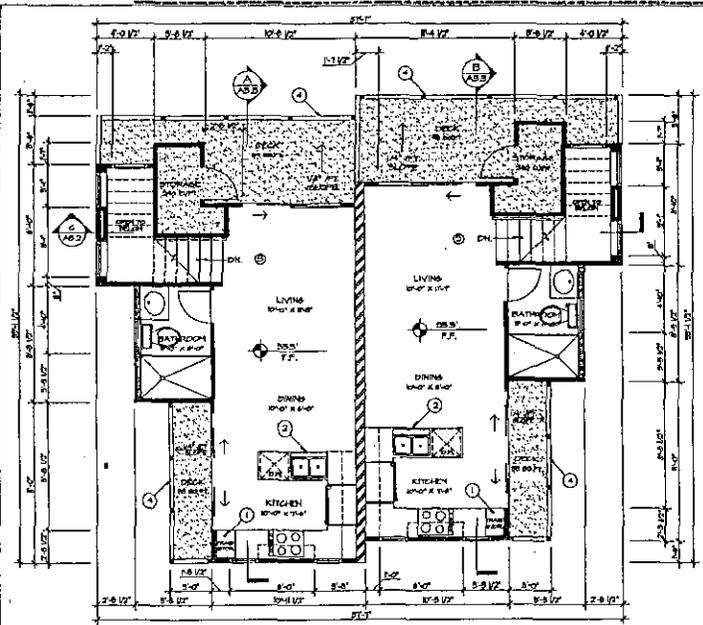
**WEST OLB PARK UNITS**  
 4824 N. POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA

Phone: (619) 231-9905 Fax: (619) 231-4280

**100% GREEN**

**100% GREEN**

**A 12**



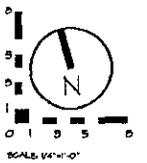
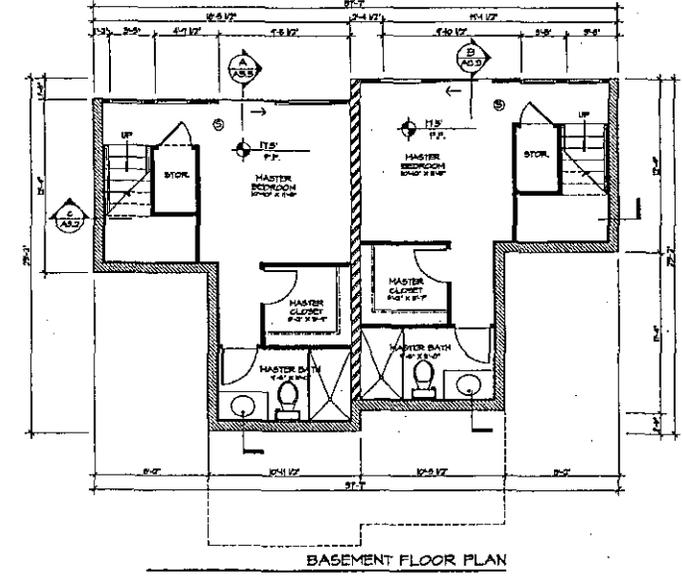
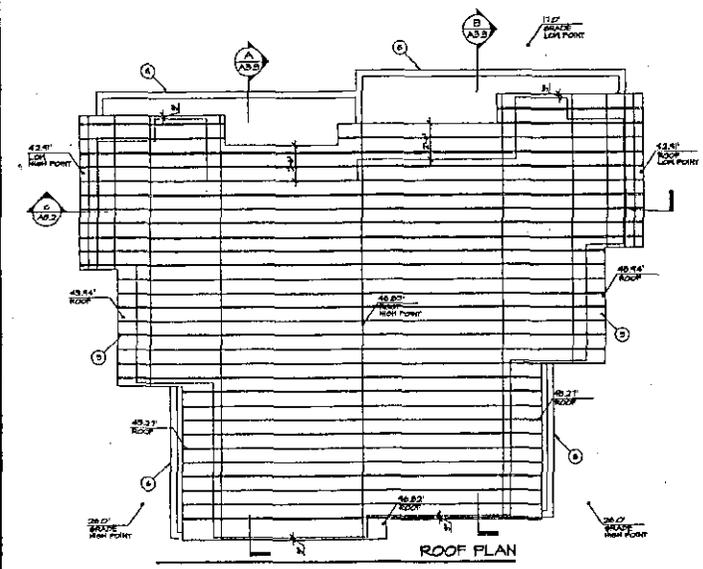
- PLAN NOTES:**
- INTERIOR WASTE & RECYCLABLE STORAGE & SUIT TRAY
  - 8" AFF. KITCHEN COUNTER
  - STACKED WASHER/DRYER
  - 8" AFF. DECK RAILING
  - COPPER METAL SEAM ROOF
  - DECK & HANDRAIL BELOW

- STAIR NOTES:**
- BASEMENT TO ENTRY**  
 TYP. RISE = 7 1/2" RA  
 TYP. TREAD = 10" EA  
 NO. OF RISERS = 14
- TOTAL RISE: 105" PLATE HEIGHT  
 8 1/2" FLOOR JOIST  
 3/4" T.L. & LANDING  
 5-0" TOTAL RISE
- ENTRY TO 2ND FLOOR**  
 TYP. RISE = 11 1/2" RA  
 TYP. TREAD = 10" EA  
 NO. OF RISERS = 14
- TOTAL RISE: 160" PLATE HEIGHT  
 8 1/2" FLOOR JOIST  
 3/4" T.L. & LANDING  
 5-0" TOTAL RISE

**NOTE:**  
 THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE THE GRADE (BONG 109.0036 12)

**WALL LEGEND**

	8" CMU WALL W/ 2X PARAPET & R-10 INSULATION
	1 1/2" RATED WALL
	2X4 @ 16" O.C. 5/8" WALL
	2X4 5/8" WALL
	VEHICLE BRANDED EXTERIOR GUEST CHECKIN SURFACE FINE LAMR. SPEC. 1500L BR-1000
	INDICATES LINE ABOVE
	INDICATES LINE BELOW
	SMOKE DETECTOR



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 Ricardo Torres  
 Golba Architecture  
 656 Ninth Avenue  
 San Diego, CA 92101  
 (619) 231-4905  
 Fax: 231-4285

Project Address:  
 4824 N. POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA  
 92107

Project Name:  
 WEST POINT LOMA

Sheet Title:  
**BUILDING C  
 FLOOR PLANS**

- Revision 14:  
 Revision 13:  
 Revision 12:  
 Revision 11:  
 Revision 10:  
 Revision 9:  
 Revision 8:  
 Revision 7:  
 Revision 6:  
 Revision 5:  
 Revision 4:  
 Revision 3:  
 Revision 2: 03-05-07  
 Revision 1: 10-02-06
- Original Date: 02-06-06  
 Sheet 10 of 26

**GOLBA ARCHITECTURE**  
 ARCHITECTURE & SPACE PARTNERS, Interior Design  
 1025 West La Jolla Village Drive, Suite 100, San Diego, California 92101  
 Phone: (619) 231-4905 Fax: (619) 231-4285

**WEST O.B. PARK UNITS**  
 4824 WEST POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA

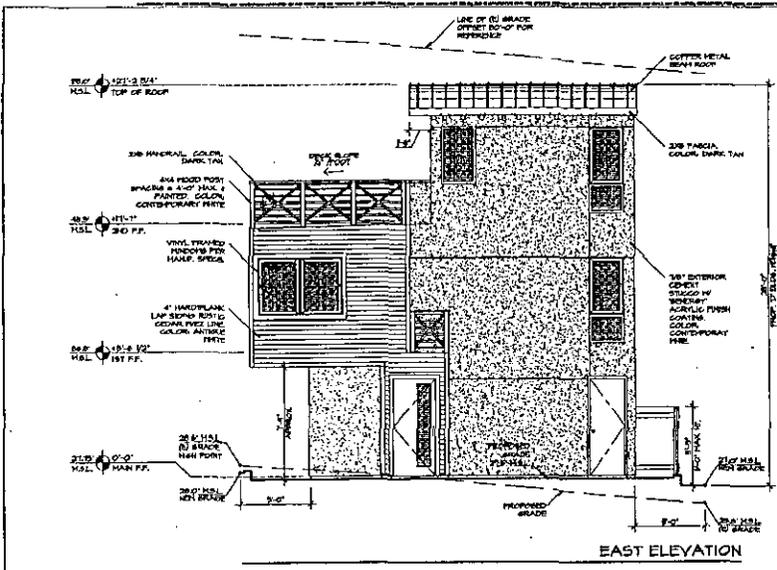
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**GOLBA ARCHITECTURE**  
 ARCHITECTS & SCENERY PLANNERS  
 6556 North Avenue  
 San Diego, CA 92101  
 Phone: (619) 231-4288  
 Fax: (619) 231-4288

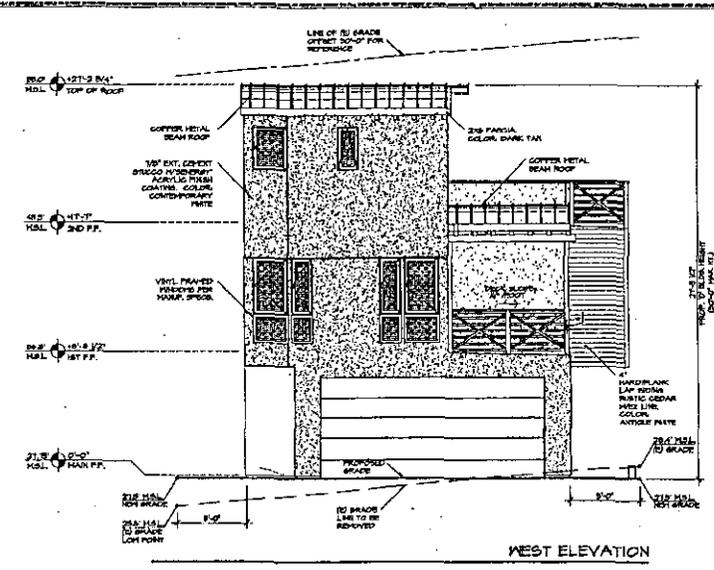
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 865 WEST POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA



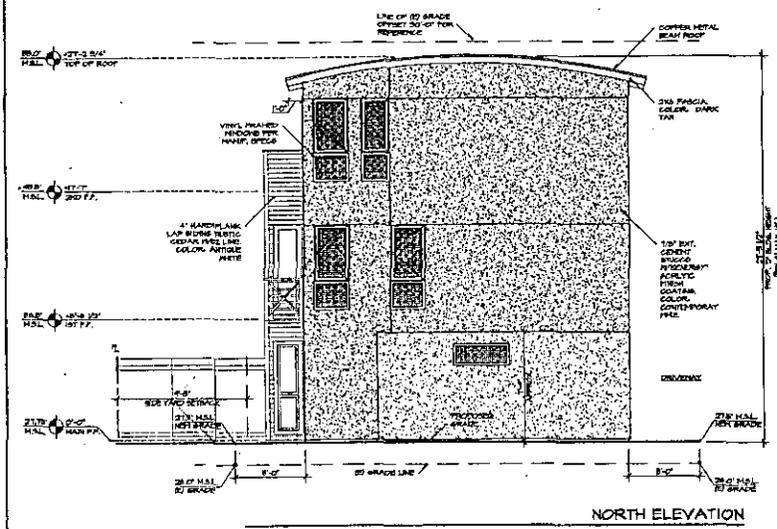
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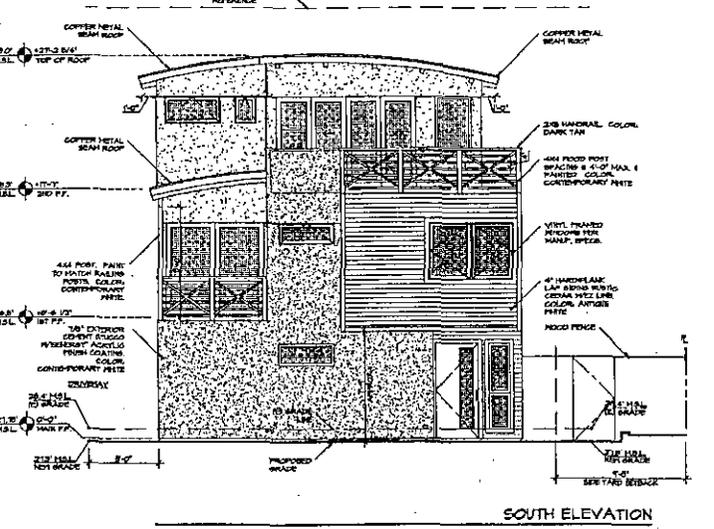
EAST ELEVATION



WEST ELEVATION

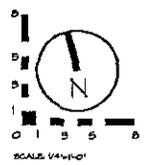


NORTH ELEVATION



SOUTH ELEVATION

NOTE:  
 THE HIGHEST POINT OF THE ROOF EAVESMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE THE GRADE (FINISH LOS 020612)



Prepared By:  
 Ricardo Torres  
 Golba Architecture  
 6556 North Avenue  
 San Diego, CA 92101  
 (619) 231-4288  
 Fax: 231-4288

- Revision 14:
- Revision 13:
- Revision 12:
- Revision 11:
- Revision 10:
- Revision 9:
- Revision 8:
- Revision 7:
- Revision 6:
- Revision 5:
- Revision 4:
- Revision 3:
- Revision 2: 03-05-01
- Revision 1: 10-02-06

Project Address:  
 4524 N. POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA  
 92101

Project Name:  
 WEST POINT LOMA

Original Date: 02-06-06  
 Sheet II of 26

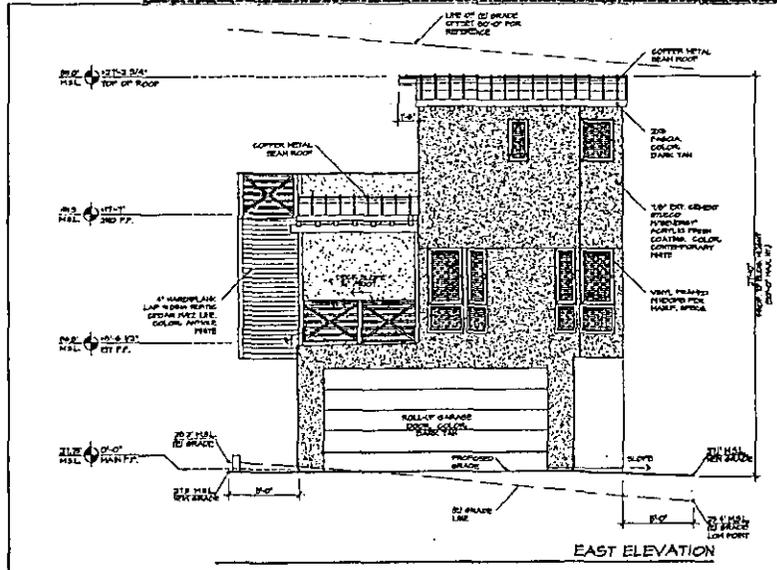
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**BUILDING A.1  
 ELEVATIONS**

**GOLBA ARCHITECTURE**  
 Architecture, Interior Design  
 1025 West Laurel St., #109, San Diego, California 92109  
 Phone: (619) 231-4288, Fax: (619) 231-4288

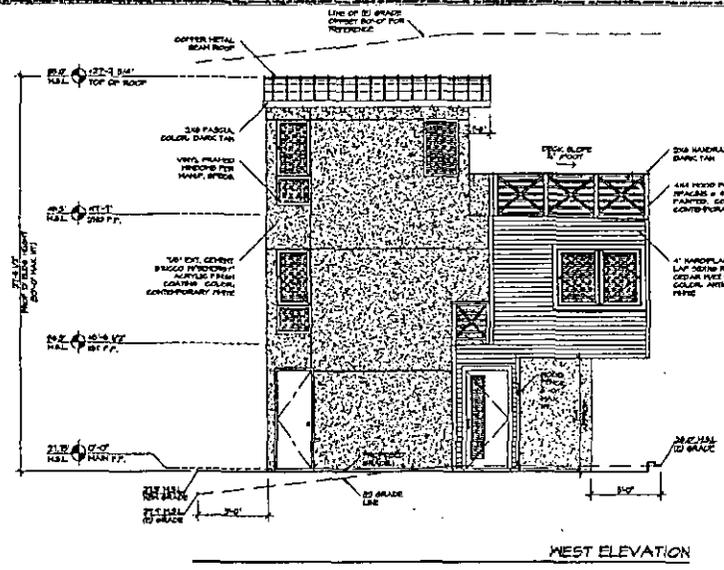
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 1500 W. PARK BLVD. SUITE 100  
 SAN DIEGO, CALIFORNIA 92108



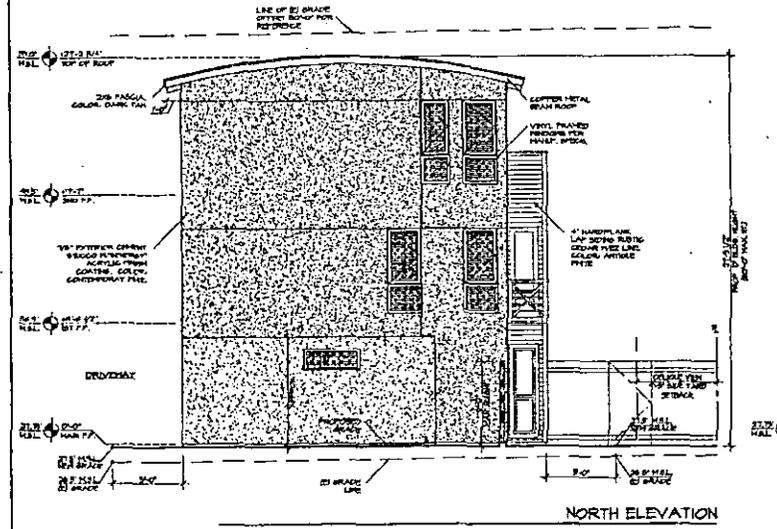
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**A21**



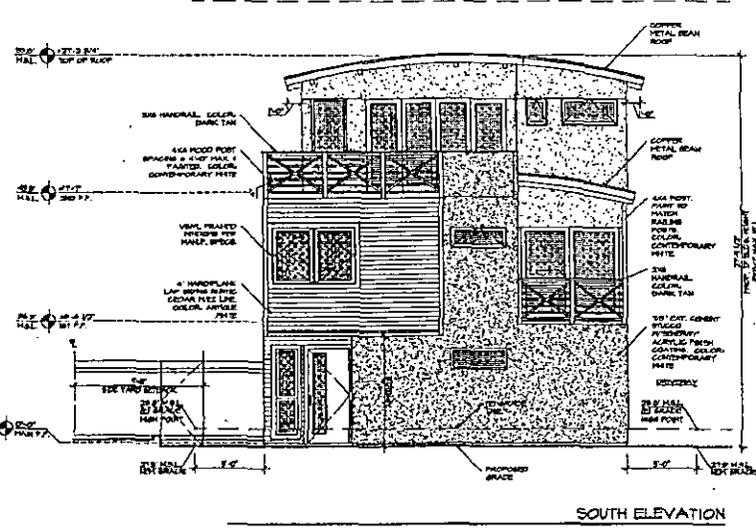
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WEST ELEVATION

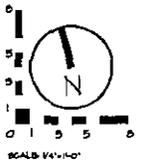


NORTH ELEVATION



SOUTH ELEVATION

NOTE:  
 THE HIGHEST POINT OF THE ROOF ELEVATION,  
 OR ANY VENT PIPE, ANTENNA, OR OTHER  
 PROJECTION SHALL NOT EXCEED 2'-0\"/>



Prepared By:  
 Ricardo Torres  
 Golba Architecture  
 856 Nash Avenue  
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 (cell) 231-4208

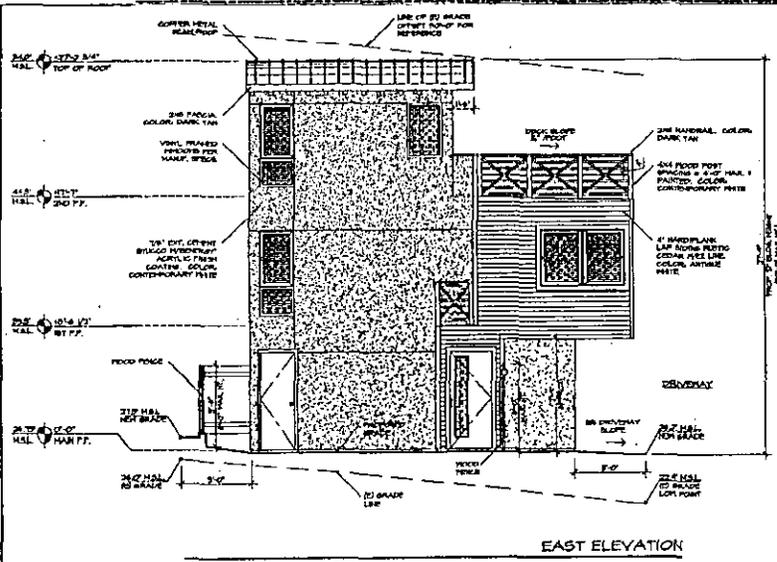
Project Address:  
 4824 PL. POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA  
 92107

Project Name:  
 WEST POINT LOMA

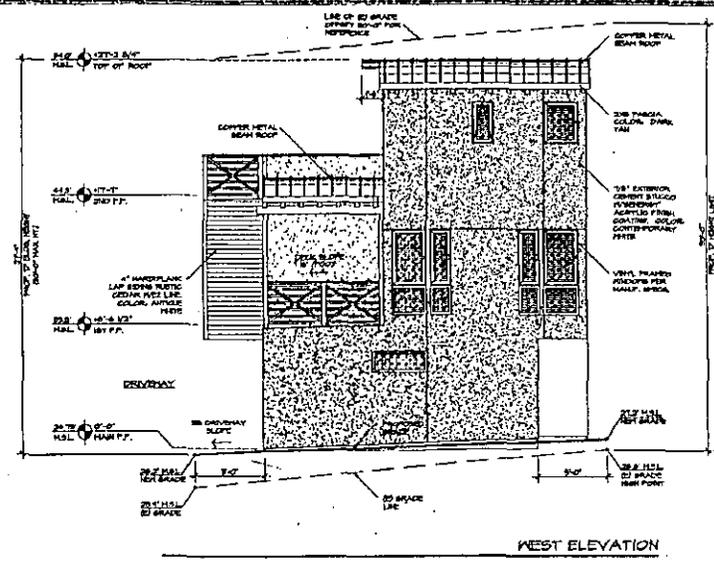
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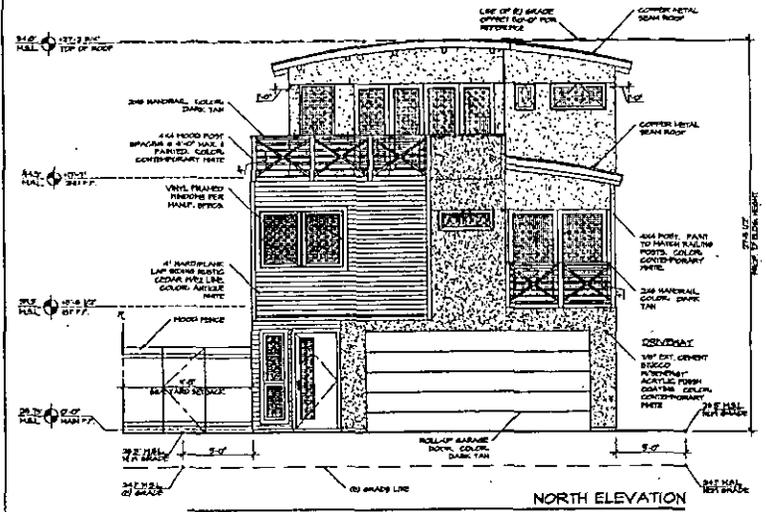
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 Sheet 12 of 26



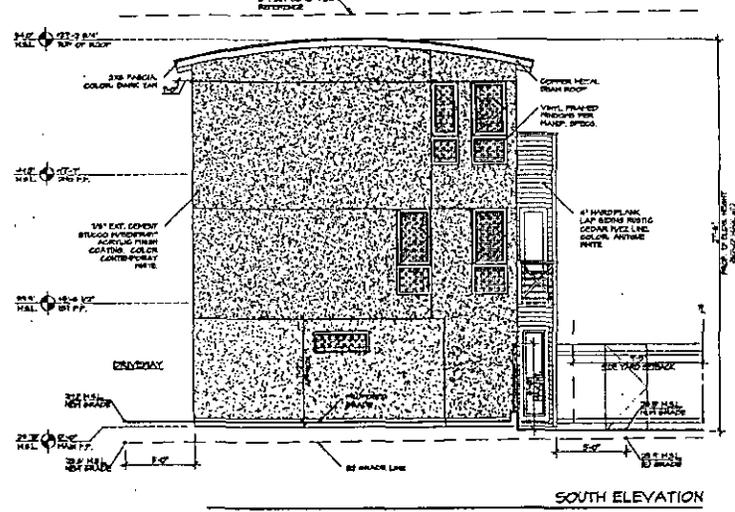
EAST ELEVATION



WEST ELEVATION

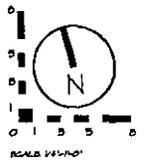


NORTH ELEVATION



SOUTH ELEVATION

NOTE:  
THE HIGHEST POINT OF THE ROOF EQUIPMENT,  
OR ANY VENT PIPE, ANTENNA, OR OTHER  
PROJECTION SHALL NOT EXCEED 3'-0\"/>



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Ricardo Torres  
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(619) 231-4400  
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Project Address:  
4824 N. POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA  
92107

Project Name:  
WEST POINT LOMA

Sheet Title:  
**BUILDING A.3  
ELEVATIONS**

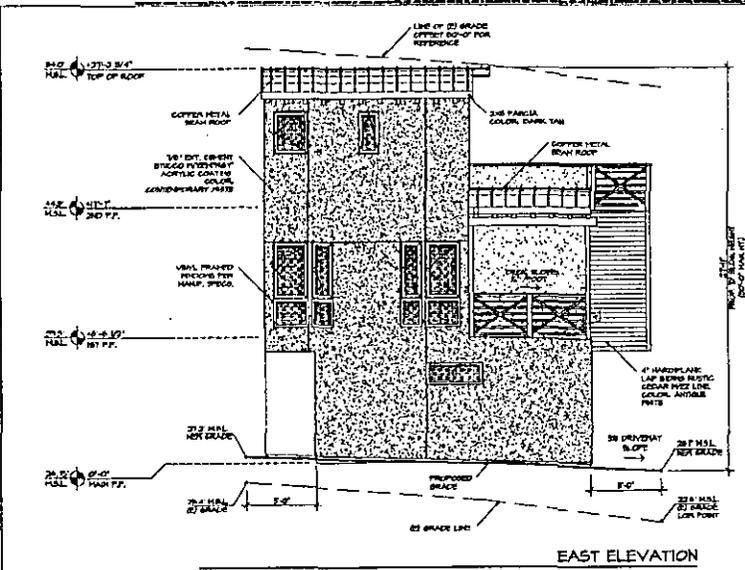
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  - Revision 5:
  - Revision 4:
  - Revision 3:
  - Revision 2: 03-05-07
  - Revision 1: 10-02-06
- Original Date: 02-06-06  
Sheet 15 of 26

**GOLBA ARCHITECTURE**  
Architects  
1026 West Laurel St., #106  
San Diego, CA 92101  
Phone: (619) 231-7995  
Fax: (619) 231-4298

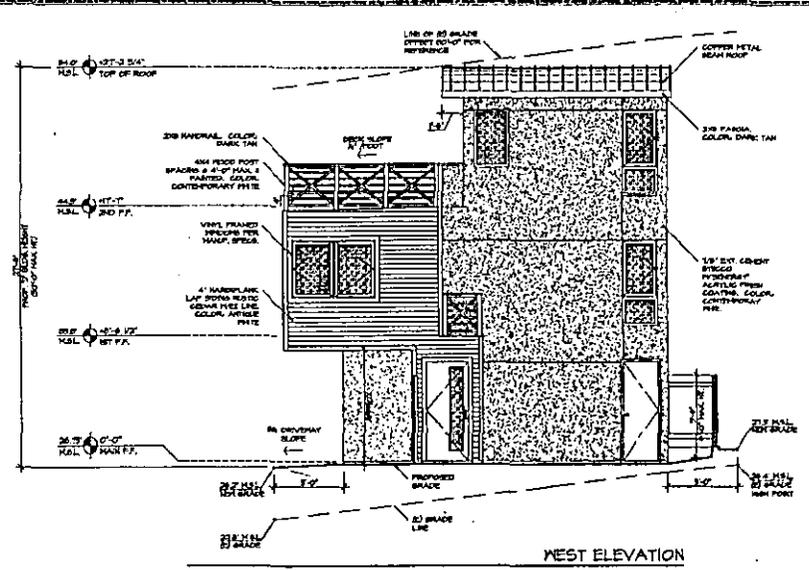
**WEST OLB PARK UNITS**  
144 WEST POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA



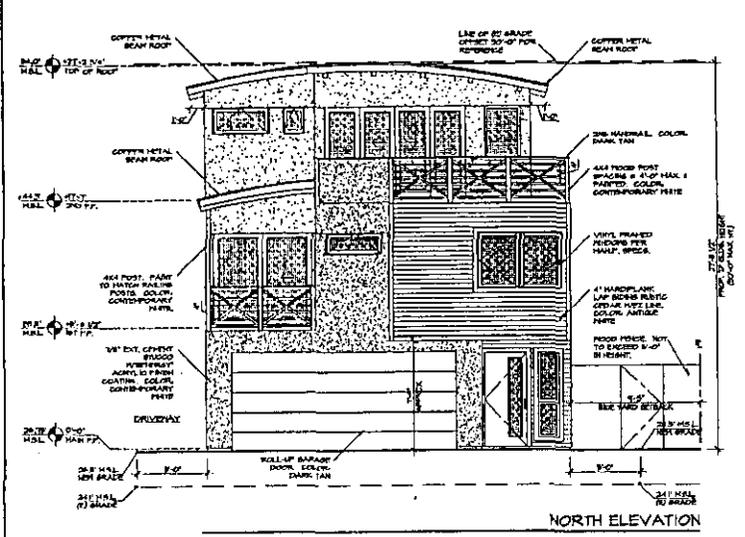
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A22



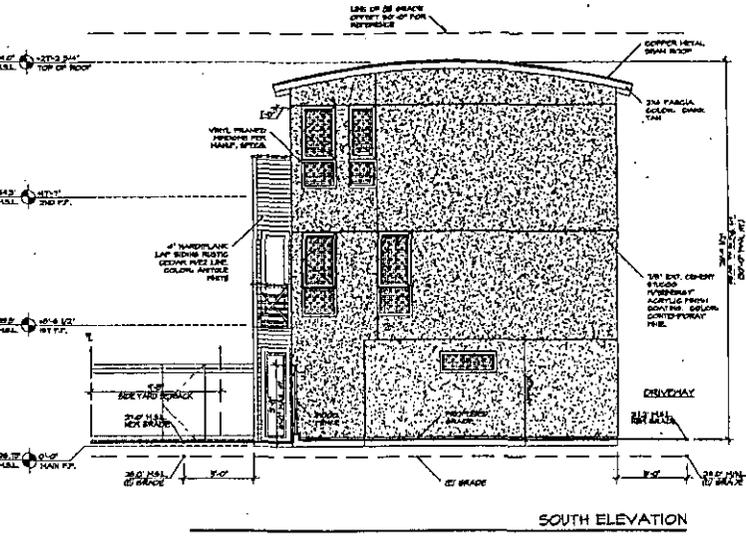
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WEST ELEVATION

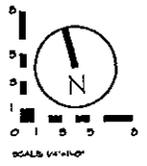


NORTH ELEVATION



SOUTH ELEVATION

NOTE:  
THE HIGHEST POINT OF THE ROOF SILLMENT,  
OR ANY VENT, PIPE, ANTENNA, OR OTHER  
PROJECTION SHALL NOT EXCEED 30'-0"  
ABOVE THE GRADE (DASH 10'-0" IN 11)



Prepared By:  
Ricardo Torres  
Golba Architecture  
656 Ninth Avenue  
San Diego, CA 92101  
(619) 251-4103  
fax: 231-4288

Project Address:  
4824 PL. POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA  
92107

Project Name:  
WEST POINT LOMA

Sheet Title:  
**BUILDING A.4  
ELEVATIONS**

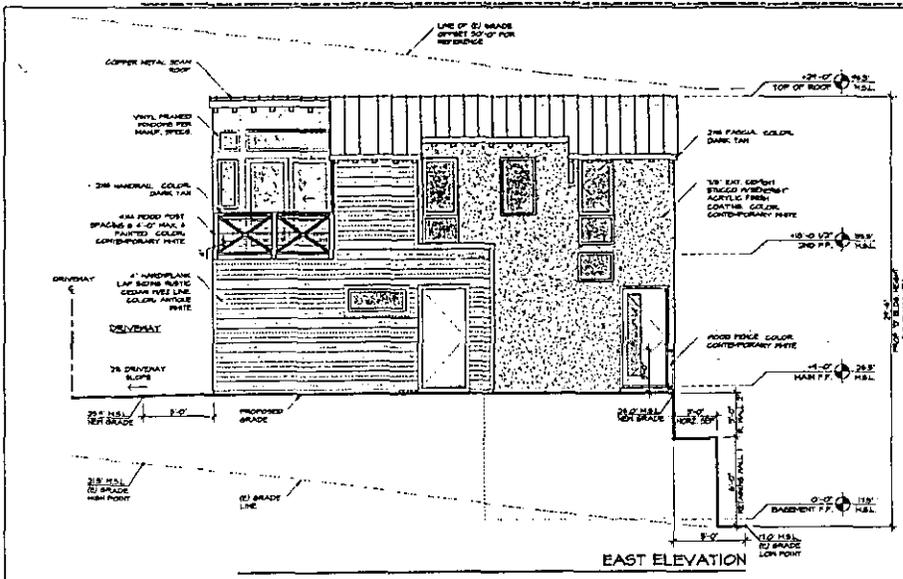
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  - Revision 5:
  - Revision 4:
  - Revision 3:
  - Revision 2:
  - Revision 1:
- Original Date: 02-06-06  
Sheet 14 of 26

**GOLBA ARCHITECTURE**  
Architects  
1026 West La Jolla Village Drive, Suite 100  
San Diego, California 92161  
Phone: (619) 231-9906 Fax: (619) 231-4288

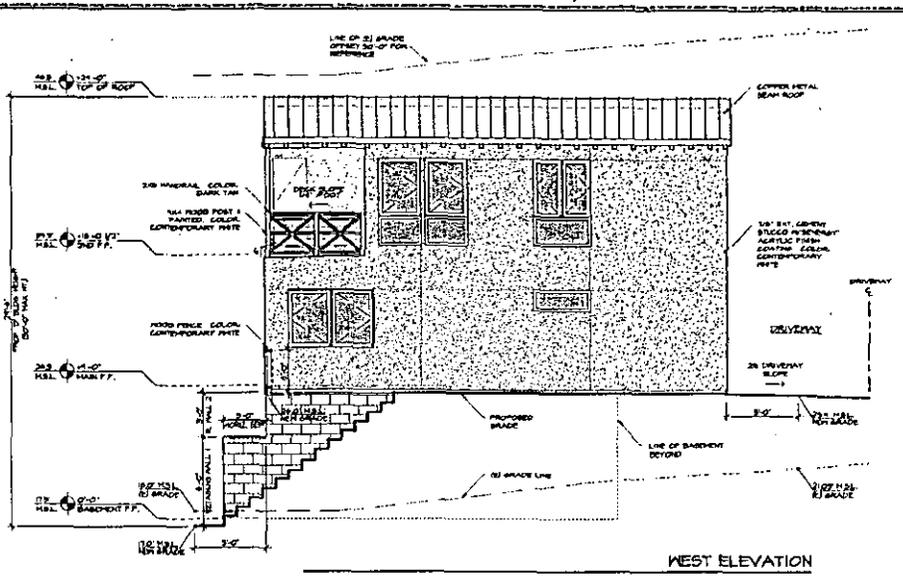
**WEST OLB PARK UNITS**  
4824 WEST POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA



**WOLB**  
ATTACHMENT 05-  
A23

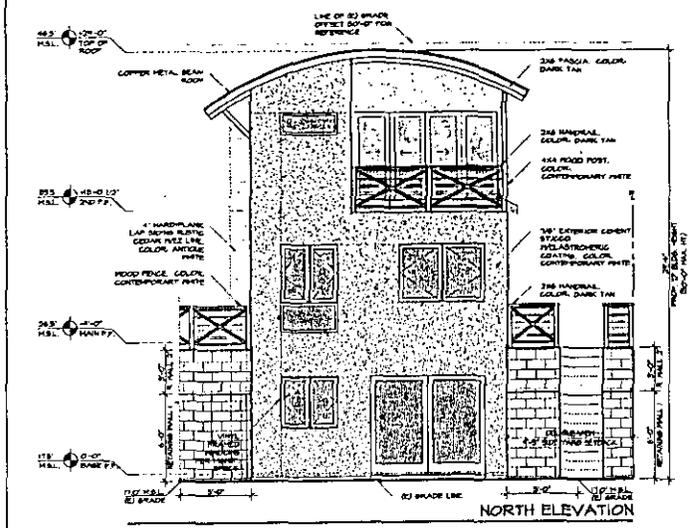


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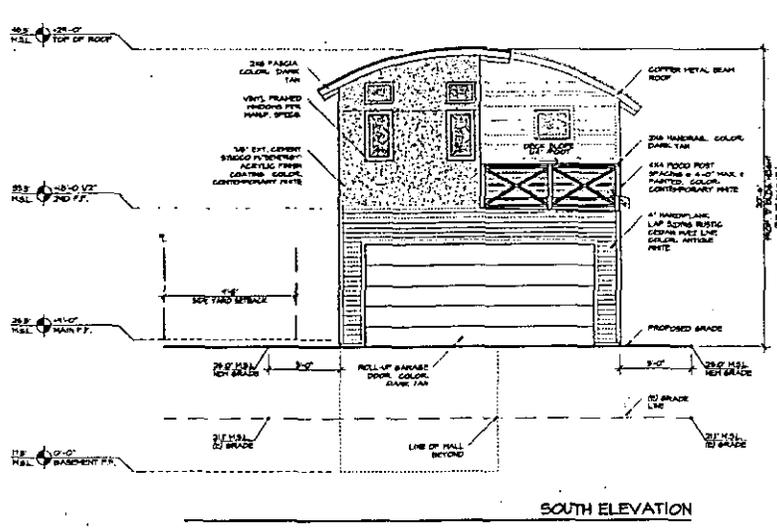


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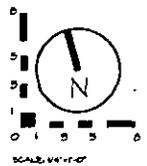
NOTE:  
THE HIGHEST POINT OF THE ROOF EQUIPMENT,  
OR ANY VENT, PIPE, ANTENNA, OR OTHER  
PROJECTION SHALL NOT EXCEED 30'-0"  
ABOVE THE GRADE (SDMG 105.0926.02)



NORTH ELEVATION



SOUTH ELEVATION



Prepared By:  
Ricardo Torres  
Golba Architecture  
636 North Avenue  
San Diego, CA 92101  
(619) 231-4405  
fax: 231-4288

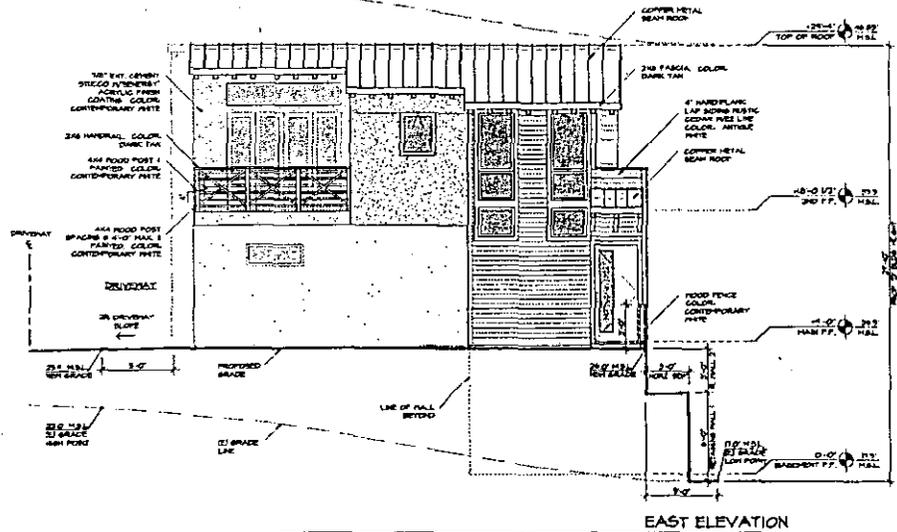
Project Address:  
4824 W. POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA  
92101

Project Name:  
WEST POINT LOMA

Sheet Title:  
**BUILDING B  
ELEVATIONS**

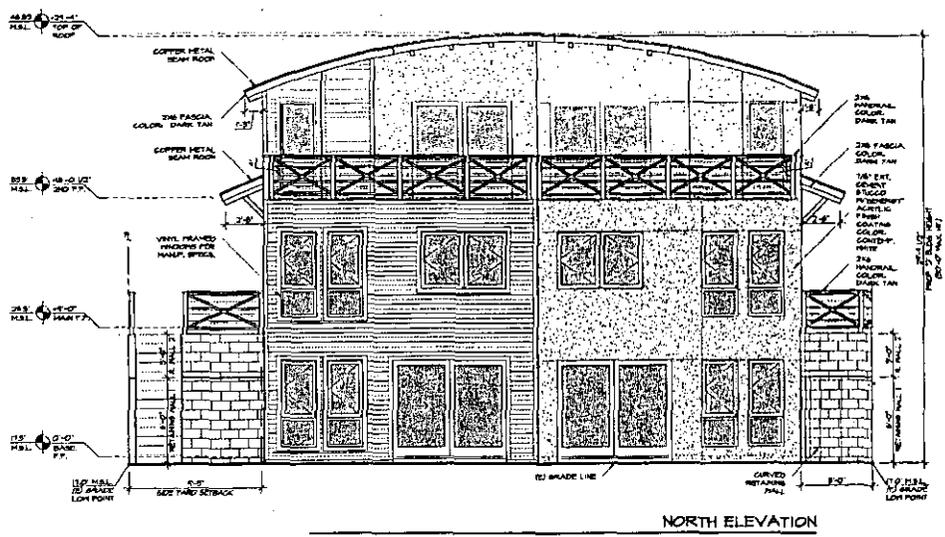
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- Revision 7:
- Revision 6:
- Revision 5:
- Revision 4:
- Revision 3: 10-25-07
- Revision 2: 08-05-07
- Revision 1: 10-02-06

Original Date: 02-06-06  
Sheet 15 of 28

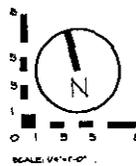


EAST ELEVATION

NOTE:  
THE HIGHEST POINT OF THE ROOF EQUIPMENT,  
OR ANY VENT PIPE, ANTENNA, OR OTHER  
PROJECTION SHALL NOT EXCEED 30'-0"  
ABOVE THE GRADE (EONG 105.0936, 12)



NORTH ELEVATION



Prepared By:  
Ricardo Torres  
Golba Architecture  
656 North Avenue  
San Diego, CA 92101  
(619) 231-4205  
Fax: 231-4205

Project Address:  
4524 N. POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA  
92101

Project Name:  
NEST POINT LOMA

Sheet Title:  
**BUILDING C  
ELEVATIONS**

Revision 14:  
Revision 13:  
Revision 12:  
Revision 11:  
Revision 10:  
Revision 9:  
Revision 8:  
Revision 7:  
Revision 6:  
Revision 5:  
Revision 4:  
Revision 3: 10-25-07  
Revision 2: 08-05-07  
Revision 1: 10-02-06  
Original Date: 02-06-06  
Sheet 16 of 26

**GOLBA ARCHITECTURE**  
Architecture ■ Space Planning ■ Interior Design  
1025 West La Jolla St., #106 San Diego California 92101  
Phone: (619) 231-9905 Fax: (619) 231-4288

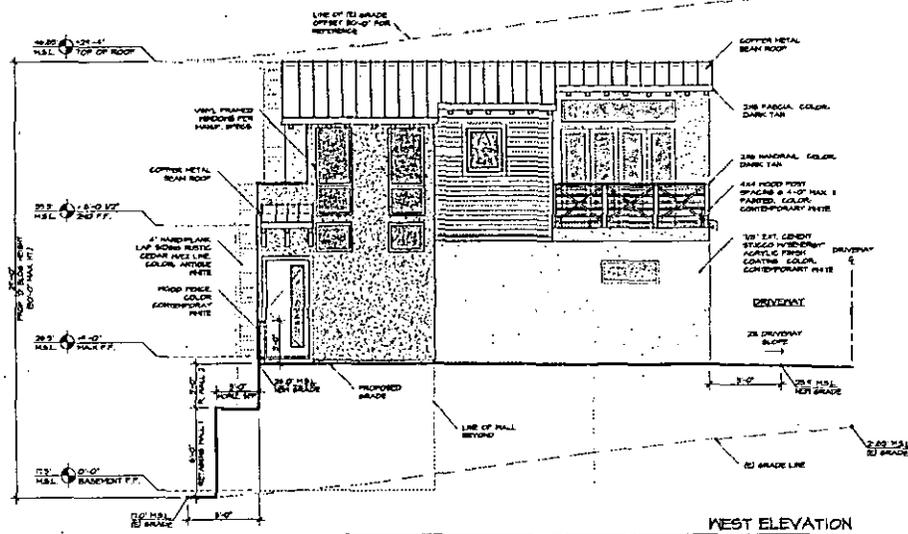
**WEST O.B. PARK UNITS**  
4524 WEST POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA



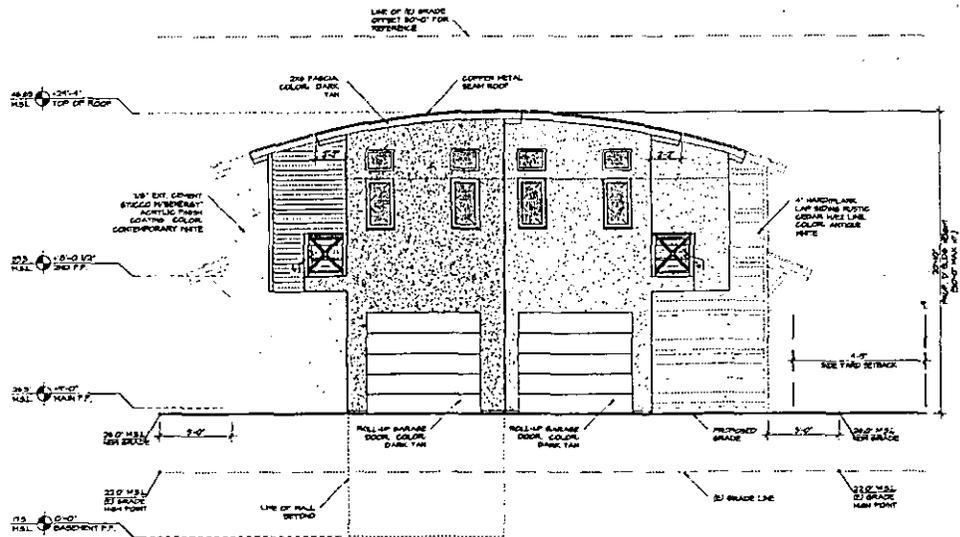
**A25**

001206

05

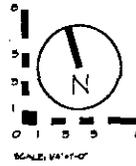


WEST ELEVATION



SOUTH ELEVATION

NOTE:  
THE HIGHEST POINT OF THE ROOF EQUIPMENT,  
OR ANY VENT PIPE, ANTENNA, AIR DIVER,  
PROJECTION SHALL NOT EXCEED 50'-0"  
ABOVE THE GRADE (ELEV. 109.028+1.2)



Prepared By:  
Ricardo Torres  
Golba Architecture  
656 Ninth Avenue  
San Diego, CA 92101  
(619) 251-9905  
f.c.n. 251-4288

Project Address:  
4824 W. POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA  
92101

Project Name:  
WEST POINT LOMA

Sheet Title:  
**BUILDING C  
ELEVATIONS**

- Revision 14:
  - Revision 13:
  - Revision 12:
  - Revision 11:
  - Revision 10:
  - Revision 9:
  - Revision 8:
  - Revision 7:
  - Revision 6:
  - Revision 5:
  - Revision 4:
  - Revision 3: 10-25-07
  - Revision 2: 03-05-07
  - Revision 1: 10-02-06
- Original Date: 02-06-06  
Sheet 17 of 28

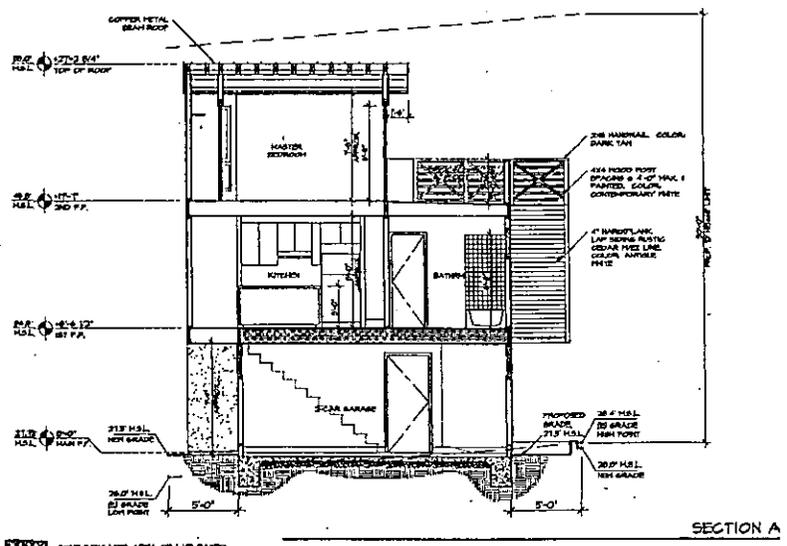
**GOLBA ARCHITECTURE**  
Architecture • Space Planning • Interior Design  
1025 West Laurel St. #106 San Diego, California 92101  
Phone: (619) 231-9905 Fax: (619) 231-4288

**WEST O.B. PARK UNITS**  
4824 WEST POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA



**ATTACHMENT**  
**A2.6**

205100



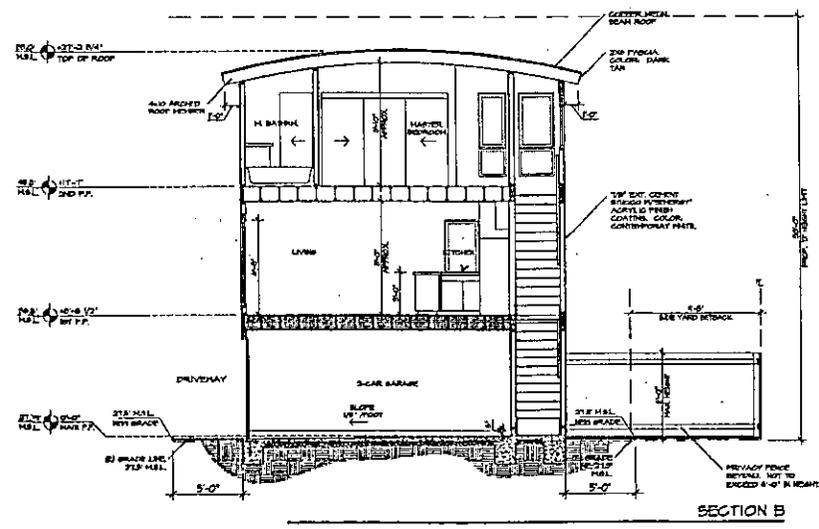
SECTION A

**NOTE:** TONE INDICATES AREA OF FIRE RATED CONSTRUCTION.

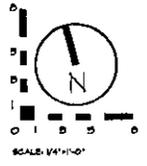
**SPECIAL PLAN NOTE:**  
 5/8" TYPE 'X' STP. DO. & ALL BARRAGE WALLS THAT ADJOIN THE ROOMS & 2 LAYERS OF 5/8" TYPE 'X' STP. DO. & BARRAGE CEILING TYP.

**NOTE:** THE HIGHEST POINT OF THE ROOF, BELLEVUE, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 18" ABOVE THE GRADE (20" IN 2004 IBC).

**NOTE:** REFER SECTIONS FOR VIEW OF BUILDING AS SHOWN. SEE WEST ADD FOR MORE INFORMATION & COORDINATION.



SECTION B



Prepared By:  
 Ricardo Torres  
 Golba Architecture  
 256 Ninth Avenue  
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 Fax: 251-4288

Project Address:  
 4221 K POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA  
 92107

Project Name:  
 WEST POINT LOMA

Sheet Title:  
**BLDG A.1 & A.2 SECTIONS**

Revision 14:  
 Revision 13:  
 Revision 12:  
 Revision 11:  
 Revision 10:  
 Revision 9:  
 Revision 8:  
 Revision 7:  
 Revision 6:  
 Revision 5:  
 Revision 4:  
 Revision 3:  
 Revision 2: 09-09-07  
 Revision 1: 10-02-06

Original Date: 02-06-06  
 Sheet 18 of 26

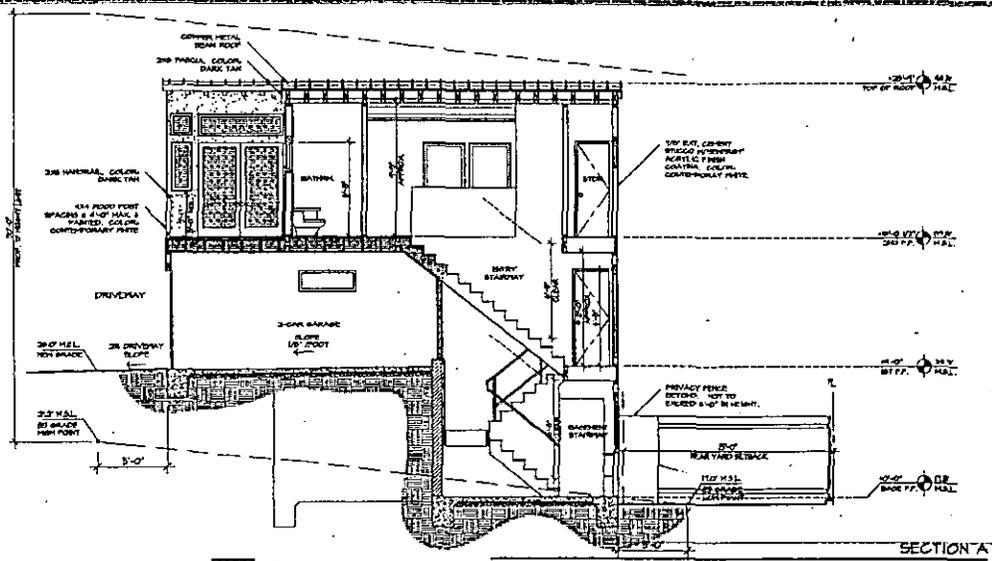
**GOLBA ARCHITECTURE**  
 ARCHITECTURE & INTERIOR DESIGN  
 1028 West Loma St., #100 • San Diego, California 92101  
 Phone: (619) 231-9905 Fax: (619) 231-4288

**WEST OLB PARK UNITS**  
 184 WEST POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA



**WOLGA**  
**A 30**

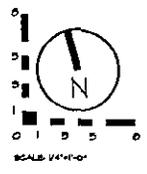
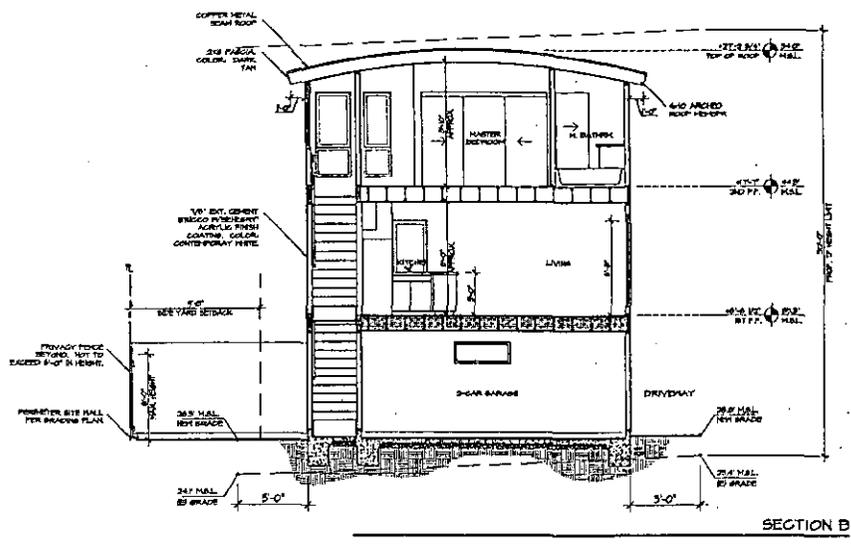




TO BE INDICATED AREA OF FIRE RATED CONSTRUCTION

**SPECIAL PLAN NOTE:**  
 S-1 TYPE 'C' SFR, SFR & ALL BARRAGE WALLS THAT ADJOIN THE RESIDENCE & 2 LAYERS OF S-1 TYPE 'C' SFR, SFR & BARRAGE COLAND TYPE.

**NOTE:**  
 THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 50'-0" ABOVE THE GRADE (SEE 10/10/04)



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Project Address:  
 4024 N. POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA  
 92101

Project Name:  
 WEST POINT LOMA

Sheet Title:  
**BUILDING B  
 SECTIONS**

- Revision 14:
- Revision 13:
- Revision 12:
- Revision 11:
- Revision 10:
- Revision 9:
- Revision 8:
- Revision 7:
- Revision 6:
- Revision 5:
- Revision 4:
- Revision 3:
- Revision 2: 05-09-01
- Revision 1: 10-02-06

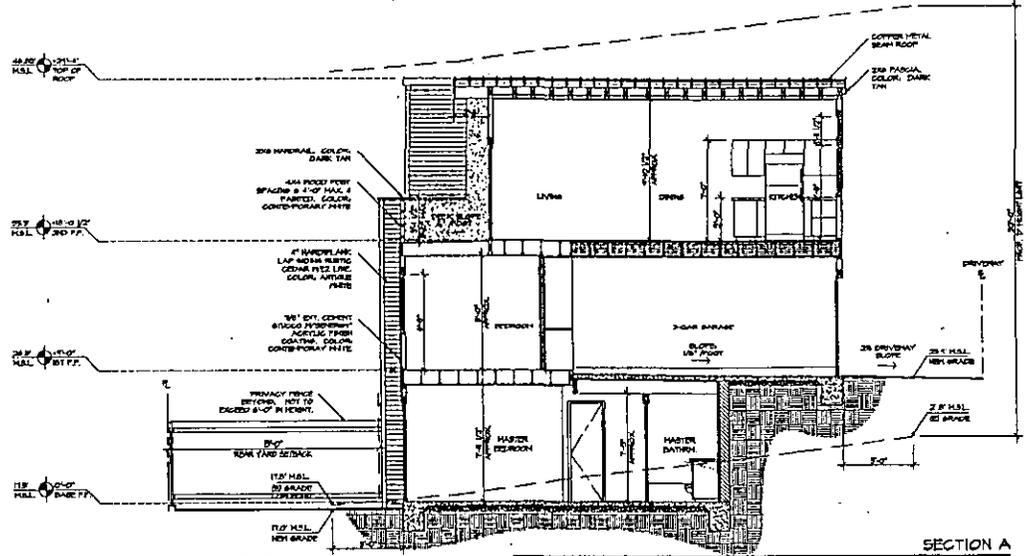
Original Date: 03-06-06  
 Sheet: 20 of 26

**GO!BA ARCHITECTURE**  
 Architecture & Space Planning & Interior Design  
 1095 Westland St., #108, San Diego, California 92101  
 Phone: (619) 291-4405 Fax: (619) 291-4288

**WEST O.B. PARK UNITS**  
 2845 WEST POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA



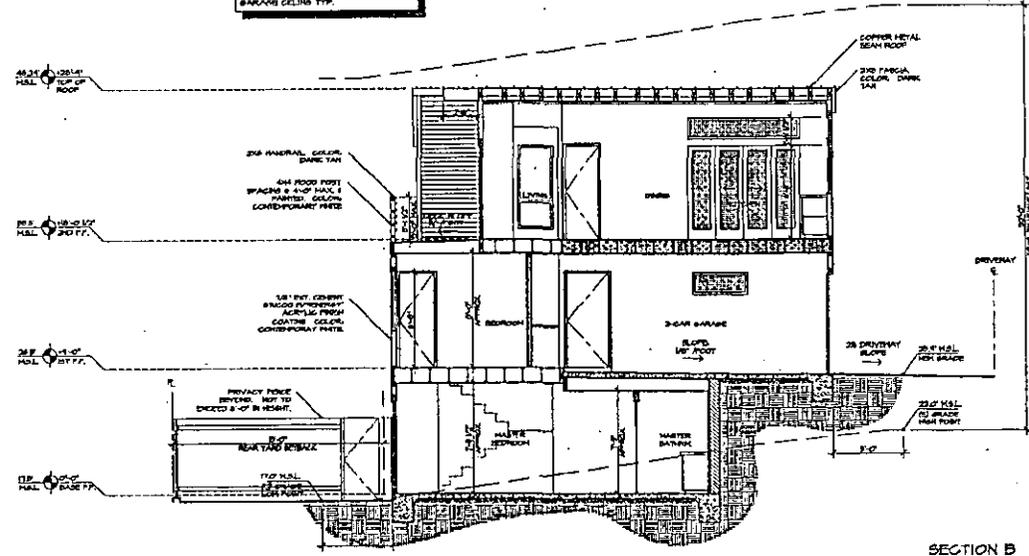
**ATTACHMENT**  
**A 32**



SECTION A

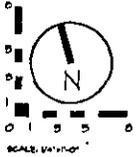
THIS SHADING INDICATES AREA OF 1-HR RATED CONSTRUCTION

**SPECIAL PLAN NOTE:**  
 2x4 TYPE "X" GYP. BO. & ALL FINISHES SHALL BE APPLIED TO THE INTERIOR & EXTERIOR SURFACES OF ALL 1-HR RATED WALLS & PARTITIONS.  
 2 LAYERS OF 5/8" TYPE "X" GYP. BO. & FINISHES SHALL BE APPLIED TO THE INTERIOR SURFACE OF ALL 1-HR RATED CEILING.



SECTION B

**NOTE:**  
 THE HIGHEST POINT OF THE ROOF EAVES, OR AIR VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE THE FINISH GRADE. SEE 03-01-01



Prepared By:  
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 Golo Architecture  
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 Fax: 231-4288

- Revision 14:
- Revision 13:
- Revision 12:
- Revision 11:
- Revision 10:
- Revision 9:
- Revision 8:
- Revision 7:
- Revision 6:
- Revision 5:
- Revision 4:
- Revision 3:
- Revision 2: 05-05-07
- Revision 1: 10-02-06

Project Address:  
 4824 N. POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA  
 92101

Project Name:  
 WEST POINT LOMA

Original Date: 02-06-06  
 Sheet 21 of 26

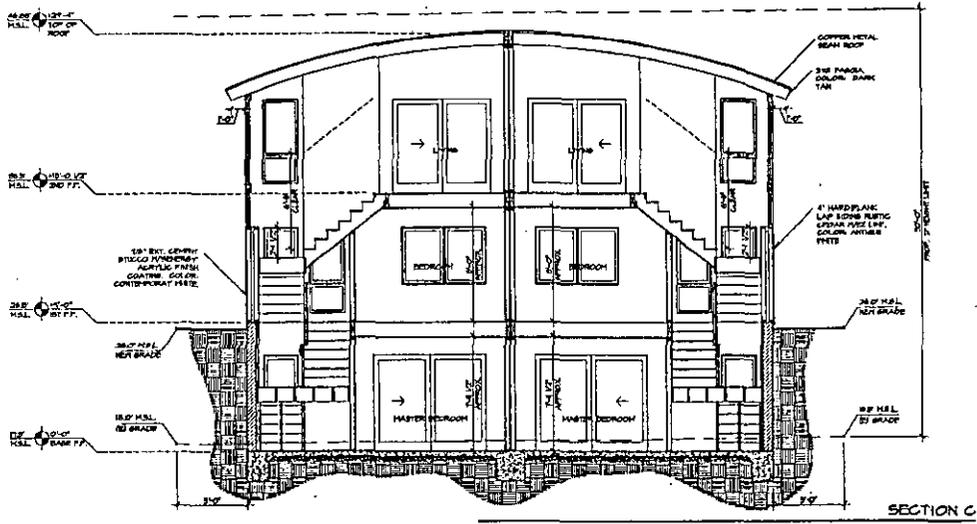
Sheet Title:  
**BUILDING C  
 SECTIONS**

**GOLBA ARCHITECTURE**  
 Architecture • Space Planning • Interior Design  
 1025 West Laurel St., #104 • San Diego, California • 92101  
 Phone: (619) 231-9905 • Fax: (619) 231-4288

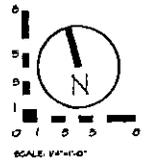
**WEST O.B. PARK UNITS**  
 4824 N. POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA



A 33



NOTE:  
THE HIGHEST POINT OF THE ROOF EAVES,  
OR ANY VENT, PIPE, ANTENNA, OR OTHER  
PROJECTION SHALL NOT EXCEED 20" OF  
ABOVE THE GRADE (SEE 42-03-06)



Prepared By:  
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Golba Architecture  
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San Diego, CA 92101  
(619) 231-4225  
Fax: 231-4288

Project Address:  
4024 N. POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA  
92107

Project Name:  
WEST POINT LOMA

Sheet Title:  
**BUILDING C  
SECTION**

- Revision 14:
- Revision 13:
- Revision 12:
- Revision 11:
- Revision 10:
- Revision 9:
- Revision 8:
- Revision 7:
- Revision 6:
- Revision 5:
- Revision 4:
- Revision 3:
- Revision 2:
- Revision 1:

Original Date: 02-06-06  
Sheet 22 of 26

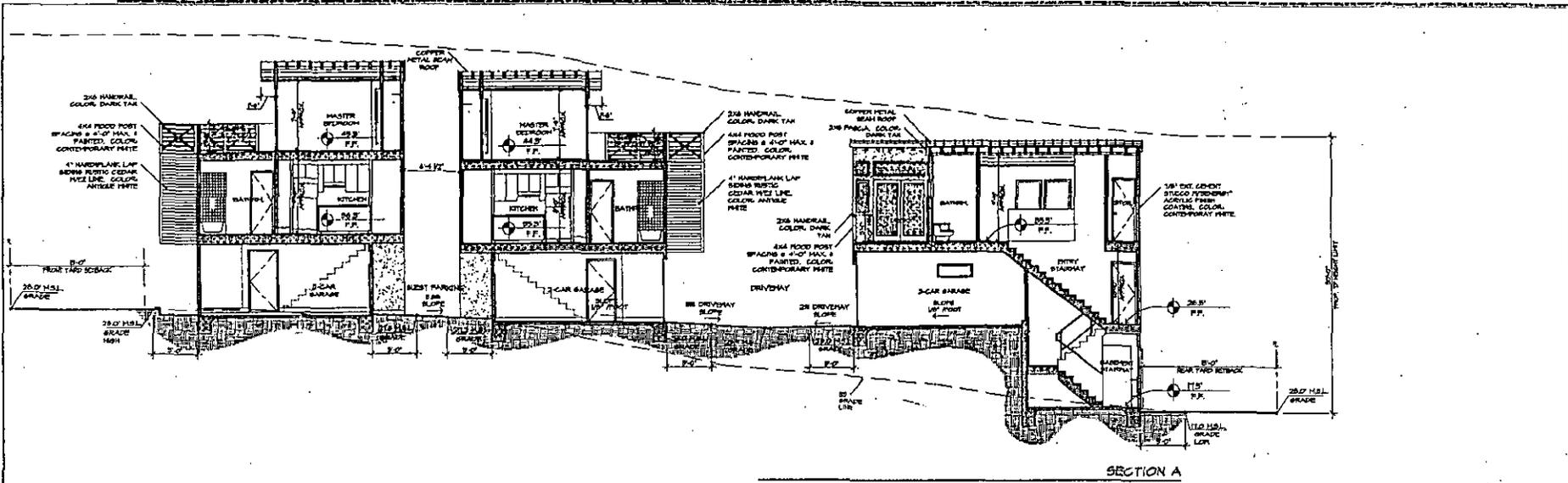
**GOLBA ARCHITECTURE**  
Architecture, Space Planning, Interior Design  
1026 West Laurel St., #106, San Diego, California 92101  
Phone: (619) 231-4225 Fax: (619) 231-4288

**WEST OLB PARK UNITS**  
1624 WEST POINT LOMA BLVD  
SAN DIEGO, CALIFORNIA 92107

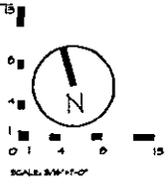
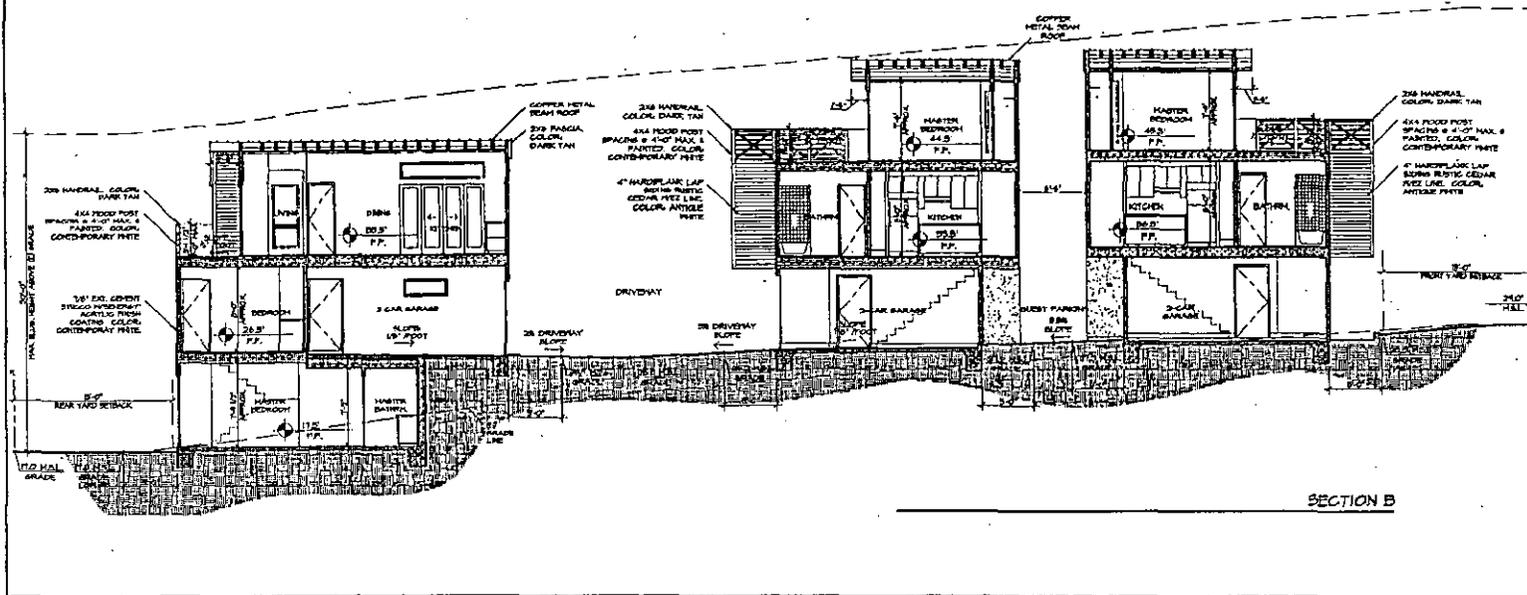


**GOLBA ARCHITECTURE**

A 3.4



NOTE:  
THE HIGHEST POINT OF THE ROOF EQUIPMENT,  
OR ANY VENT, PIPE, ANTENNA, OR OTHER  
PROJECTION SHALL NOT EXCEED 20'-0"  
ABOVE THE GRADE (FINISH) FOR 2006 IBC.



Prepared By:  
Ricardo Torres  
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San Diego, CA 92101  
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Fax: 251-4266

Project Address:  
4824 N. POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA  
92101

Project Name:  
WEST POINT LOMA

Sheet Title:  
**SITE  
SECTIONS**

- Revision 14.
  - Revision 15.
  - Revision 12.
  - Revision 11.
  - Revision 10.
  - Revision 4.
  - Revision 3.
  - Revision 2.
  - Revision 1.
  - Revision 6.
  - Revision 5.
  - Revision 4.
  - Revision 3.
  - Revision 2.
  - Revision 1.
- 03-09-07  
10-02-06
- Original Date: 02-06-06  
Sheet 23 of 26

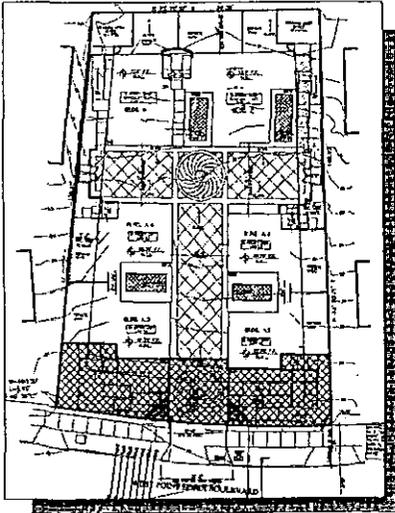
**GOLBA ARCHITECTURE**  
ARCHITECTURE • INTERIOR DESIGN  
11025 West Loma St., #106 • San Diego, California 92101  
Phone: (619) 231-4266 • Fax: (619) 231-4266

**WEST OLB PARK UNITS**  
1424 WEST POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA



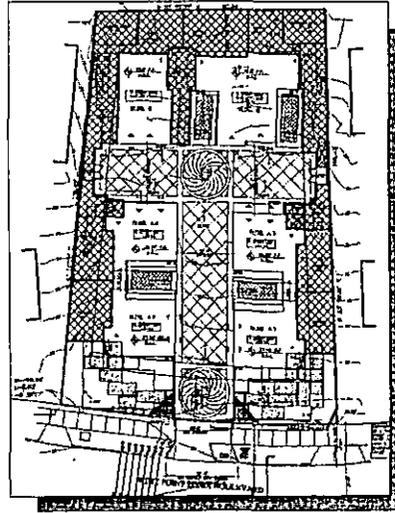
**ATTACHMENT**  
**A 35**

YARD EXHIBIT PLAN



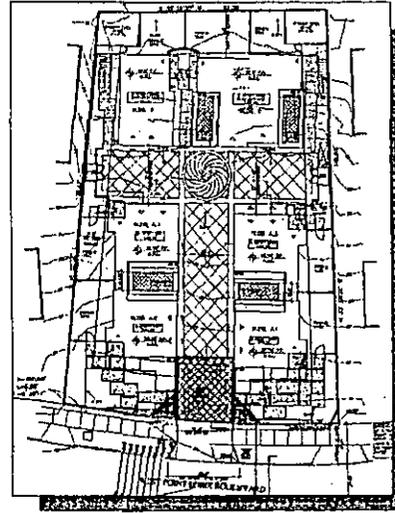
A. STREET YARD (2,215 SQUARE FEET)

Scale: 1" = 20'-0"



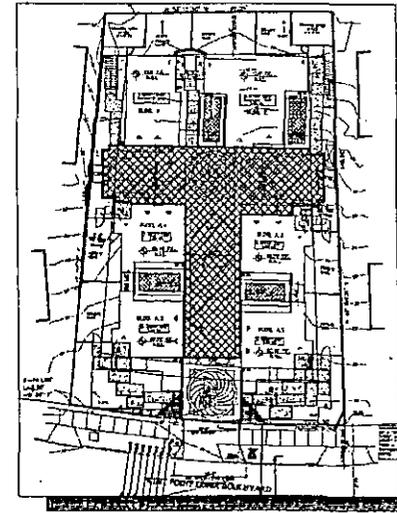
B. REMAINING YARD (3,759 SQUARE FEET)

Scale: 1" = 20'-0"



C. VEHICULAR USE AREA IN STREET YARD (452 SQUARE FEET)

Scale: 1" = 20'-0"



D. VEHICULAR USE AREA OUTSIDE STREET YARD (2,733 SQUARE FEET)

Scale: 1" = 20'-0"

YARD EXHIBIT LEGEND



Yard Area



Plant Point Area\*

\* REFER TO LDC (42.0405)(C): "If plants and planting area are provided within a street yard or remaining yard in most other requirements of this division, including vehicular use area and irrigation requirements, they may be used to satisfy the planting area and plant points required by Table 142.04C."

\* REFER TO LDC (42.0407)(b): "For vehicular use area that is less than 6,000 square feet in area, the required plant points may be provided within 5 feet of the edge of the vehicular use area."



**TōPIA**

Landscape Architecture, Planning

9444 Waples Street, Suite 470, San Diego, California 92123  
Tel: (619) 456-8111 | Fax: (619) 456-8124

A California Corporation

NOTE:  
ALL ON-SITE INFORMATION FOR REFERENCE ONLY.  
SEPARATE BUILDING PERMIT IS REQUIRED.

1674  
8544 WAPLES STREET, SUITE 470  
SAN DIEGO, CALIFORNIA 92123  
TEL: (619) 456-8111  
FAX: (619) 456-8124  
WWW.TOPIA.COM

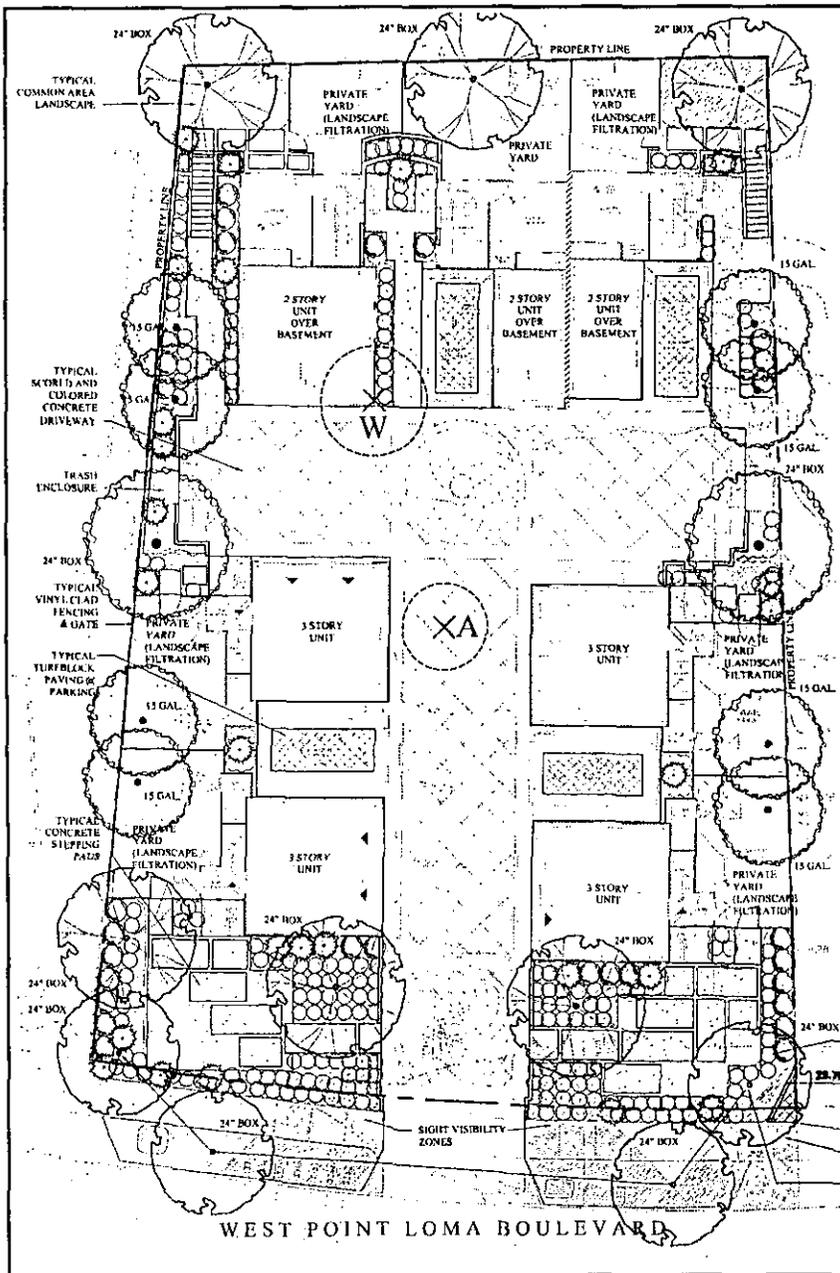


DATE: 02/17/07

YARD LIGHTING PLANS FOR:  
**WEST POINT LOMA RESIDENTIAL**  
4628 WEST POINT LOMA BOULEVARD, SAN DIEGO, CALIFORNIA

CITY OF SAN DIEGO, CALIFORNIA  
DEVELOPMENT SERVICES DEPARTMENT  
247774.0 00212

FOR CITY USE ONLY	DATE	FILE #
REVISION	BY	DATE
1	AS SHOWN	02/17/07
2	REVISED	02/17/07
3	REVISED	02/17/07
4	REVISED	02/17/07
5	REVISED	02/17/07
6	REVISED	02/17/07
7	REVISED	02/17/07
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98	REVISED	02/17/07
99	REVISED	02/17/07
100	REVISED	02/17/07



**PLANTING LEGEND:**

**TREES**

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	QUANTITY	NOTES
(Circle with crosshairs)	24" BOX	PODOCARPUS MACROPHYLLUS	Yew Pine	4	Street Tree
(Circle with vertical lines)	24" BOX	CASSIA LEPTOPHYLLA	Gold Medallion Tree	4	Side Yard Tree
(Circle with horizontal lines)	15 GAL	PRUNUS CERASIFERA	Purple Leaf Plum	6	
(Circle with diagonal lines)	24" BOX	PRUNUS CALLERYANA	Ornamental Pear		
(Circle with dots)	24" BOX	MAGNOLIA GRANDIFLORA	Dwarf Southern Magnolia	6	Shaded
(Circle with 'X')		EXISTING 12" CALIFEA ARCHONTOPHOENIX CUNNINGHAMIANA / KING PALM, HEIGHT 30', SPREAD 12', TO BE REMOVED			
(Circle with 'W')		EXISTING 18" CALIFEA WASHINGTONIA ROBUSTA / MEXICAN FAN PALM, 15' HEIGHT, 15' SPREAD, TO BE REMOVED			

**SHRUBS**

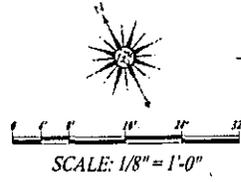
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	NOTES
(Circle with dots)	5 GAL	AZALEA 'OMNOSA'	Azalea	
(Circle with dots)	5 GAL	RUKUS MICROPHYLLA 'Japanica'	Boxwood	
(Circle with dots)	5 GAL	BOLEA INVILIPA SPECTABILIS 'LAVENDER QUEEN'	Flanagania	
(Circle with dots)	5 GAL	CLIVIA MINIATA	Kaffir Lily	
(Circle with dots)	5 GAL	CYATHIA CORPORA	Australian Tree Fern	
(Circle with dots)	5 GAL	CAMELLIA SASANQUA 'Soflegria'	Camellia	
(Circle with dots)	5 GAL	CYCAS REVOLUTA	Sago Palm	Multi-Trunk
(Circle with dots)	5 GAL	FATSIA JAPONICA	Fatsia Amiba	
(Circle with dots)	5 GAL	HEMIROCALLIS SPECIES	Daylily	Mix 50% Yellow, 50% Orange
(Circle with dots)	5 GAL	LIRIOPE MUSCARI	Big Blue Lily Turf	
(Circle with dots)	5 GAL	LANTANA CARMARA 'Rastation'	Lantana	
(Circle with dots)	5 GAL	PITISPORUM TORUKA	Mock Orange	
(Circle with dots)	5 GAL	RHAPHOLEPIS INDICA 'Clara'	Nick Hawthorn	
(Circle with dots)	5 GAL	STRELITZIA NICOLAII	Giant Bird of Paradise	
(Circle with dots)	5 GAL	STREPTICARPA RYDMAN	Bird of Paradise	
(Circle with dots)	5 GAL	TRACHELOSPERMUM JASMINIFLORUM	Star Jasmine	
(Circle with dots)	5 GAL	TUMDANTHUS CALYPERATUS	Umbrella Plant	

**GROUND COVER**

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	NOTES
(Stippled pattern)	PLATS	GAZANIA SPECIES	Cactusia	@ 12" OC
(Horizontal lines)	SOD	TURFGRASS - MARATHON II	Hybrid Bermuda Turfgrass	
(Cross-hatched pattern)	SOD	TURFBLOCK PARKING AREA	Hybrid Bermuda Turfgrass	

AREA CALCULATIONS:  
 TOTAL AREA OF LOT = 13,244 S.F.  
 TOTAL LANDSCAPE AREA = 2,987 S.F.  
 LANDSCAPE AREA PERCENTAGE = 22.5%

NOTE:  
 ALL PLANTING AREAS AND PLANTS, WITH THE EXCEPTION OF TURF BLOCK AREAS, IN OR ADJACENT TO A VEHICULAR USE AREA SHALL BE PROTECTED FROM VEHICULAR DAMAGE BY PROVIDING A RAISED CURB OR WHEEL STOP OF AT LEAST SIX INCHES IN HEIGHT. WHERE THE END OF PARKING SPACES ADJUT A PLANTING AREA THAT IS LESS THAN 3 FEET IN WIDTH, A ONE INCH HIGH WHEEL STOP OR CURBS SHALL BE PLACED WITHIN THE PARKING SPACES, 2 FEET FROM THE EDGE OF THE PLANTING AREA.



**LANDSCAPE DEVELOPMENT PLAN**

**LANDSCAPE DEVELOPMENT NOTES:**

- ALL PLANTING, IRRIGATION, AND LANDSCAPE RELATED IMPROVEMENTS WILL COMPLY WITH THE CITY OF SAN DIEGO'S LANDSCAPE REGULATIONS AND THE LAND DEVELOPMENT MANUAL. ALL REQUIRED PLANTING AREAS SHALL BE MAINTAINED FREE OF WEEDS, DEBRIS AND LITTER. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND DISEASE-FREE GROWING CONDITION AT ALL TIMES.
- TRIFOLIATE ROOTS BARRIERS SHALL BE INSTALLED WITHIN 18 INCHES PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS, INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES.
- A MINIMUM AIR AND WATER PERMEABLE ROOT ZONE OF 40 SQUARE FEET IN AREA WITH A MINIMUM DIMENSION OF 3 FEET SHALL BE PROVIDED FOR ALL TREES. TREES SHALL BE SELECTED AND LOCATED SO THAT AT MATURITY THEY DO NOT CAUSE DAMAGE OR CONFLICT WITH OVERHEAD UTILITY LINES.
- ALL REQUIRED PLANT MATERIAL SHALL BE IRRIGATED WITH A PERMANENT, BELOW-GRADE IRRIGATION SYSTEM UNLESS SPECIFIED OTHERWISE BY THE LANDSCAPE DESIGN. ALL REQUIRED IRRIGATION SYSTEMS SHALL BE AUTOMATIC, ELECTRICALLY CONTROLLED, AND DESIGNED TO PROVIDE WATER TO ALL REQUIRED PLANTINGS TO MAINTAIN THEM IN A HEALTHY, DISEASE-RESISTANT CONDITION. NO IRRIGATION SCHEDULING OR OVERSPLAY SHALL CROSS PROPERTY LINES OR PAVED AREAS.
- STREET TREES SHALL BE SEPARATED FROM PUBLIC IMPROVEMENTS BY THE MINIMUM DISTANCE LISTED:  
 TRAFFIC SIGNAL OR STOP SIGN - 20 FEET  
 UNDERGROUND UTILITY LINES - 5 FEET  
 ABOVE GROUND UTILITY STRUCTURES - 10 FEET  
 DRIVEWAYS - 10 FEET  
 INTERSECTIONS - 25 FEET
- THE PERMITTEE OR SUBSEQUENT OWNER(S) SHALL BE RESPONSIBLE FOR THE LONG-TERM MAINTENANCE OF ALL REQUIRED LANDSCAPE IMPROVEMENTS IN ACCORDANCE WITH THE LAND DEVELOPMENT CODE, LANDSCAPE REGULATIONS AND THE LAND DEVELOPMENT MANUAL'S LANDSCAPE STANDARDS.
- LAWN AREA REQUIREMENTS: LAWN AREAS SHALL NOT EXCEED 10% OF THE PLANTING AREA ON A PREMISES, EXCLUDING REQUIRED SYMMON AREAS, ACTIVE RECREATION AREAS, AND AREAS LOCATED WITHIN THE PUBLIC RIGHT OF WAY BETWEEN THE CURB AND THE SIDEWALK.
- ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2".

Topia  
 8444 WAPLES STREET, SUITE 470  
 SAN DIEGO, CALIFORNIA 92121  
 TEL: (619) 438-0555  
 FAX: (619) 438-0554  
 topia@topia.net  
 04/23/07  
 DATE

PROJECT CONTRACT  
**LANDSCAPE DEVELOPMENT PLAN FOR:**  
**WEST POINT LOMA RESIDENTIAL**  
 1538 WEST POINT LOMA BOULEVARD, SAN DIEGO, CALIFORNIA

CITY OF SAN DIEGO, CALIFORNIA DEPARTMENT OF PUBLIC WORKS STREET 26 OF 26 SHEETS		NO. 100 SHEETS P. 13 OF 100 SHEETS
FOR CITY CHECKS		
REVISION	BY	DATE
1	AW	07/22/06
2	AW	08/21/06
3	AW	09/07/07
4	AW	09/21/07
5	AW	09/21/07
CONTRACTOR DATE SUBMITTED		DATE COMPLETED

**TOPIA**  
 Landscape Architecture - Planning  
 8444 Waples Street, Suite 470, San Diego, California 92121  
 Tel: 619 438 0555 Fax: 619 438 0554  
 A California Corporation

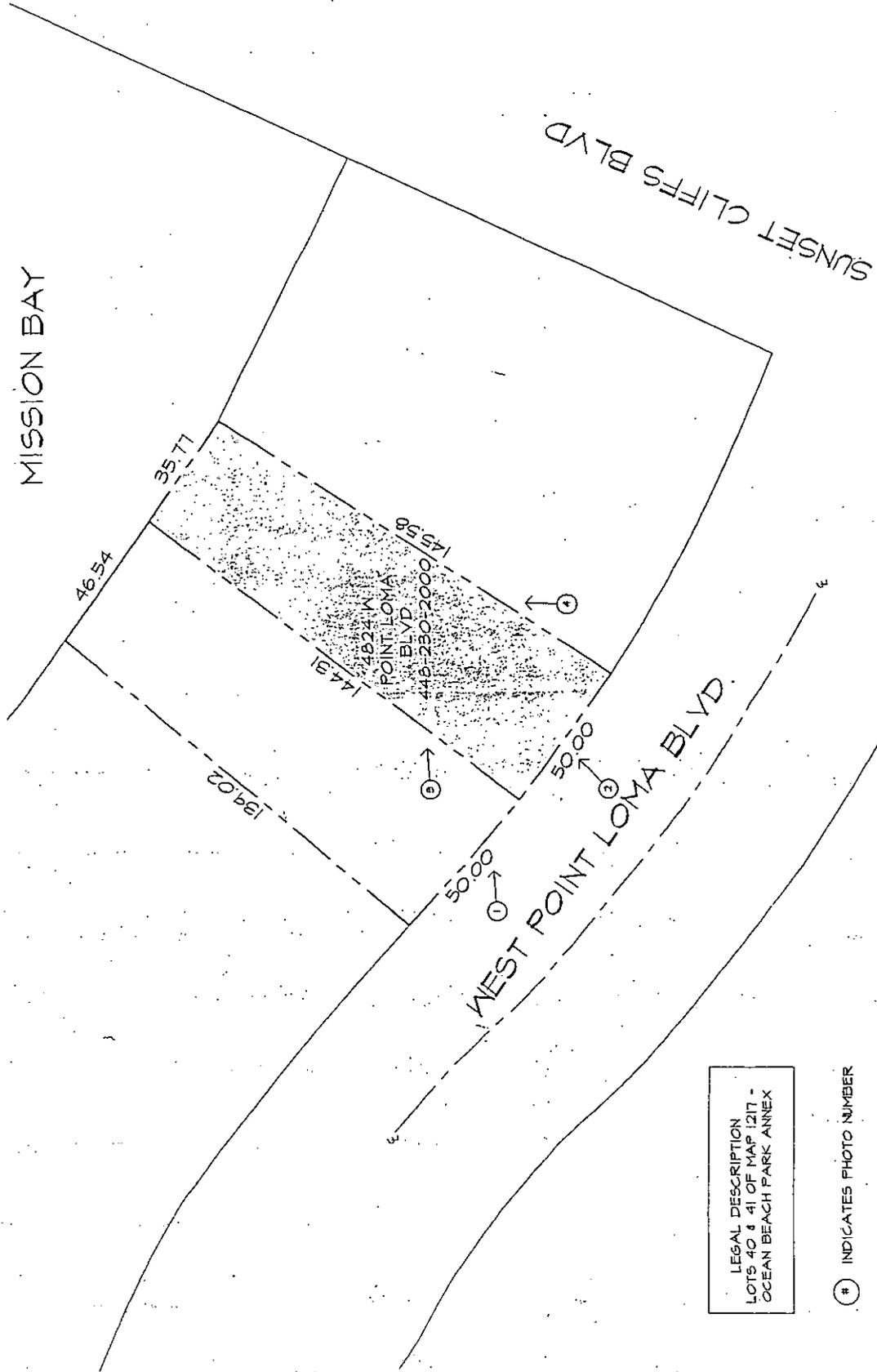
NOTE:  
 ALL ON-SITE INFORMATION FOR REFERENCE ONLY.  
 SEPARATE BUILDING PERMIT IS REQUIRED.

ATTACHMENT



MISSION BAY

SUNSET CLIFFS BLVD.



LEGAL DESCRIPTION  
 LOTS 40 & 41 OF MAP 1217 -  
 OCEAN BEACH PARK ANNEX

(#) INDICATES PHOTO NUMBER

PLOT PLAN

SCALE: 1/32" = 1'-0"

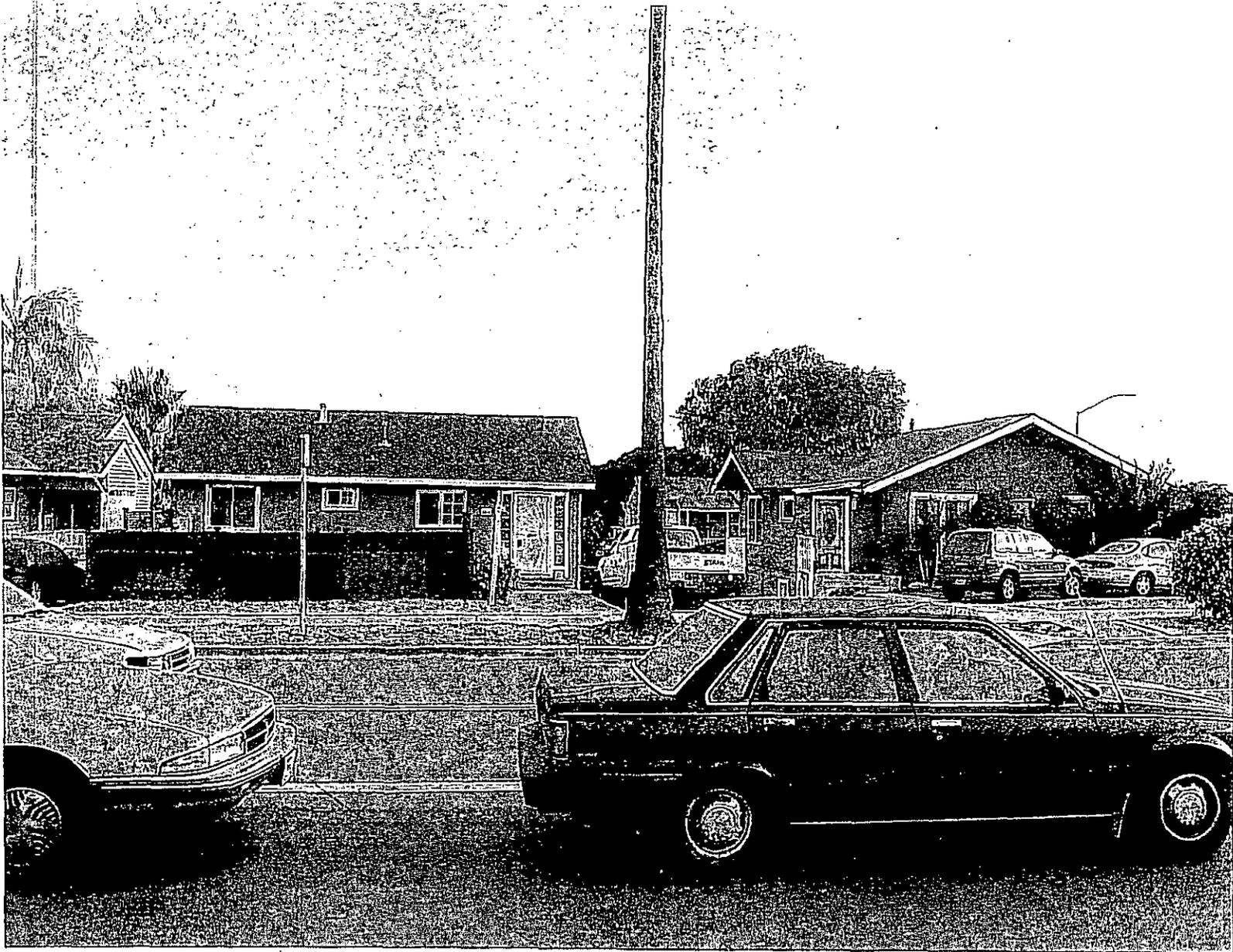
4824 N. POINT LOMA BLVD.





4824 W. Point Loma Blvd. Photo Survey - view 4  
11/30/05

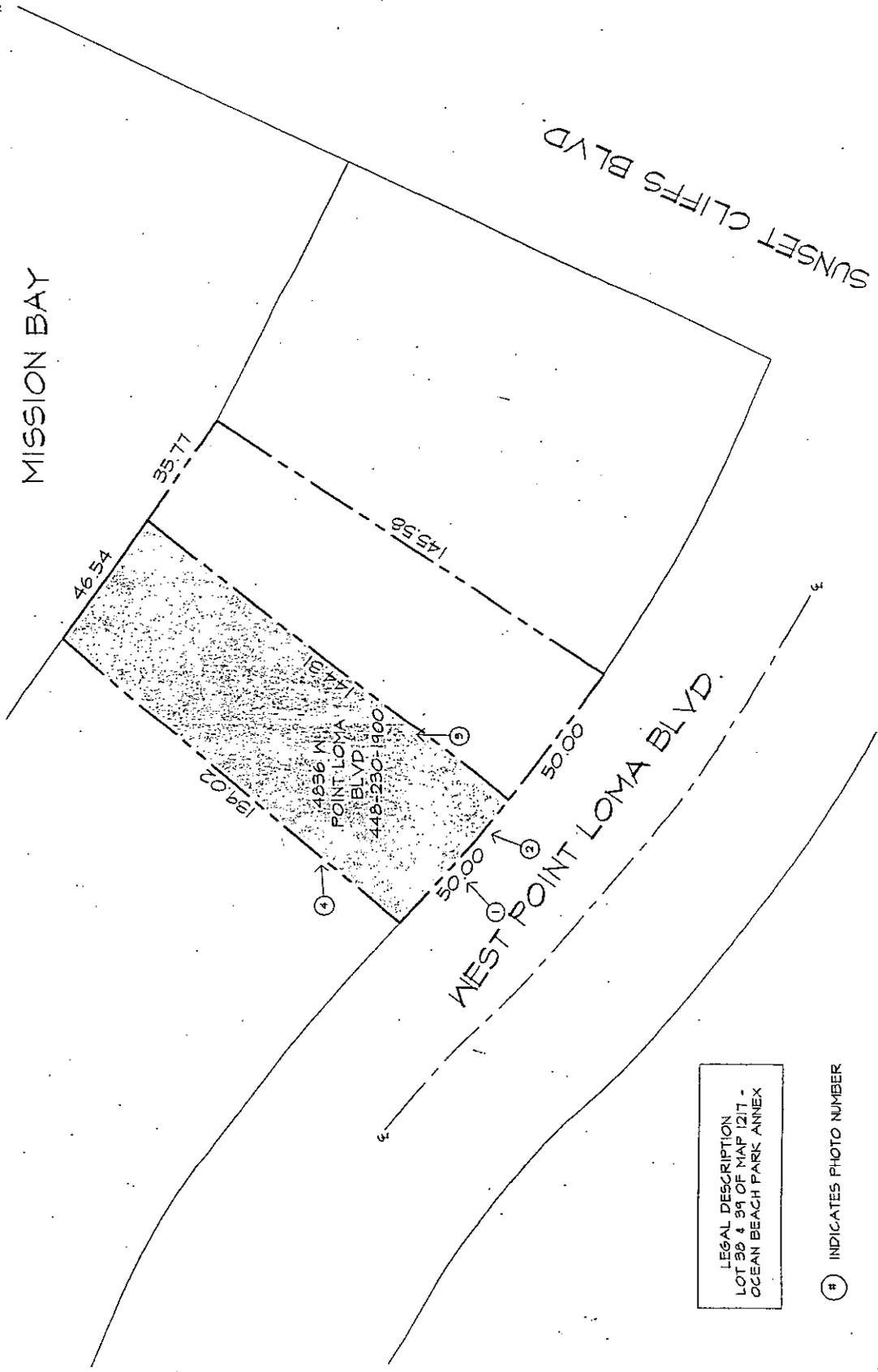
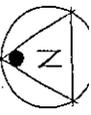




4824 W. Point Loma Blvd. Photo Survey - view 2

11/30/05





LEGAL DESCRIPTION  
 LOT 38 & 39 OF MAP 1217 -  
 OCEAN BEACH PARK ANNEX

Ⓢ INDICATES PHOTO NUMBER

PLOT PLAN  
 SCALE: 1/32" = 1'-0"

4836 W. POINT LOMA BLVD.





4836 W. Point Loma Blvd. Photo Survey - view 3  
11/30/05



001222



4836 W. Point Loma Blvd. Photo Survey - view 2

11/30/05



ATTACHMENT 6



PLANNING COMMISSION  
 RESOLUTION NO. 4320-PC  
 PLANNED DEVELOPMENT PERMIT NO. 456171  
 COASTAL DEVELOPMENT PERMIT NO. 310804  
**WEST OCEAN BEACH PARK UNITS**  
**PROJECT NO. 95894 (MMRP)**

WHEREAS, ERIC OTTERSON, BENEDICTE OTTERSON AND GEORGE VANO, Owners/Permittees, filed an application with the City of San Diego to demolish two residential units to allow for construction of seven rental units in six buildings on four lots, with at-grade resident parking, and surface guest parking, as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Planned Development Permit 456171, and Coastal Development Permit 310804; and

WHEREAS, the project site is located at 4824 - 4836 West Point Loma Boulevard in the RM-2-4 zone of the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan; and

WHEREAS, the project site is legally described as Lots 38 – 41, inclusive, in Block 29, Map 1217 of Ocean Beach Park Annex, City and County of San Diego; and a portion of Lot 37, Block 29, Map 1217; and

WHEREAS, on September 27, 2007, the Planning Commission of the City of San Diego considered Planned Development Permit (PDP) 456171, and Coastal Development Permit (CDP) 310804, pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, as follows, that the Planning Commission adopts the following written findings with respect to Planned Development Permit (PDP) 456171, and Coastal Development Permit (CDP) 310804:

**Coastal Development Permit - Section 126.0708 - Findings**

**1. The proposed *coastal development* will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a *Local Coastal Program land use plan*; and the proposed *coastal development* will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the *Local Coastal Program land use plan*.**

The project would demolish two existing residential units to allow for construction of seven rental units in six buildings. The subject site is located approximately one-quarter block from the intersection of Sunset Cliffs Boulevard and West Point Loma Boulevard; and approximately one-half mile from the Pacific Ocean. The proposed development is situated on a deep lot that runs its entire length adjacent to existing residential lots, West Point Loma Boulevard at the front of the site, and Robb Field at the rear of the site. Gaining access to the ocean or any coastal body of water in this area is not accomplished through this lot. As such, adequate access exists in the area and is not affected by this project.

**2. The proposed *coastal development* will not adversely affect *environmentally sensitive lands*.**

The project proposes to demolish two existing residential units and construct a new seven rental units in six buildings. A Mitigated Negative Declaration has been prepared for the project and no Environmentally Sensitive Lands have been identified on the project site. In addition, the project is located within an existing urbanized area, surrounded by a fully developed residential neighborhood; therefore the project would not adversely affect these resources. The project is located outside and is not within or adjacent to the Multiple Species Conservation Program, Multiple Habitat Planning Area. The proposed construction will not conflict with the Multiple Species Conservation Plan, and will not adversely affect environmentally sensitive lands.

**3. The proposed *coastal development* is in conformity with the certified *Local Coastal Program land use plan* and complies with all regulations of the certified *Implementation Program*.**

The project would demolish two existing residential units to allow for construction of seven rental units in six buildings. The project location is within the North Ocean Beach area of the Ocean Beach Precise Plan and Local Coastal Program Plan in an area with a density recommendation of 25 dwelling units per acre (du/ac). The project does not exceed the density of the zone which allows for one dwelling unit for each 1,750 square feet. The 13,078 square foot project site therefore allows eight units where seven are proposed. Likewise, the Ocean Beach Precise Plan and Local Coastal Program Plan recommend a density of 25 dwelling units per acre (du/ac) for this location in the North Ocean Beach neighborhood. The project proposes seven units on a 0.30 acre site for a density of 23 dwelling units per acre which meets the community plan recommendation.

The project location is within an area designated by the San Diego Association of Governments (SANDAG) as a Smart Growth site. The increase in density at this site is consistent with the SANDAG long-range vision for the area.

The block where the subject site is located contains predominately residential development, with much of the surrounding development at single-story. However, there is a general mixture of both single and multi-family residential development, both single and multi-stories in height within a 300 foot radius of the subject site.

The Ocean Beach Community Plan calls for small-scale residential building types and styles. While the proposed cottages are greater in number than the existing residences to be demolished, individually, each detached unit is small-scale residential building type consisting of units of only approximately 1,000 square feet. The project was designed to minimize the footprint. The small footprints and detached structures, combined with staggering of the structures and allowing the structures to follow the natural contours of the parcel, present a small mass and profile to the neighborhood. The project also includes open space at the front and rear yards, along with substantial landscaping around all the units.

The project meets the requirements of the Municipal Code and recommendations of the community plan with respect to floor area ratio, density, building height and setbacks. While the zone could allow up to 40 feet [SDMC 131.0444(f)], the Coastal Height Overlay Zone restricts to 30 feet. The highest building height would be 29' 4" in Building C at the rear (northerly end) of the site.

**4. For every Coastal Development Permit issued for any *coastal development* between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the *coastal development* is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project would demolish two existing residential units to allow for construction of seven rental units in six buildings. Because the project is located within the First Public Roadway, the Coastal Act Findings are substantiated as follows.

The proposed development is to demolish an existing one-story, two existing residential units and construct a new seven rental units in six buildings. The subject property is designated as being between the first public road and the Pacific Ocean within the Coastal Overlay Zone.

The proposed project site is adjacent to the Ocean Beach Park, designated in the Local Coastal Program as a public park and recreational area. Public access to the park area is available at the end of Bacon Street and Sunset Cliffs Boulevard. All development would occur on private property; therefore, the proposed project will not encroach upon the existing physical access way used by the public. Adequate off-street parking spaces will be provided on-site, thereby, eliminating any impacts to public parking. The proposed coastal development will conform to the public access and public recreation policies of Chapter 3 of the California Coastal Act.

**Planned Development Permit - Section 126.0604 - Findings**

**1. The proposed development will not adversely affect the applicable land use plan;**

The project would demolish two existing residential units to allow for construction of seven new rental units in six buildings. The project location is within the North Ocean Beach area of the Ocean Beach Precise Plan and Local Coastal Program Plan, in an area with a density recommendation of 25 dwelling units per acre (du/ac). The project does not exceed the density of the zone which allows for one dwelling unit for each 1,750 square feet. The 13,078 square foot project site therefore allows eight units where seven are proposed. Likewise, the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan recommend a density of 25 dwelling units per acre (du/ac) for this location in the North Ocean Beach neighborhood. The project proposes seven units on a 0.30 acre site for a density of 23 dwelling units per acre which meets the community plan recommendation.

The project location is within an area designated by the San Diego Association of Governments (SANDAG) as a Smart Growth site. The increase in density at this site is consistent with the SANDAG long-range vision for the area.

The block where the subject site is located contains predominately residential development, with much of the surrounding development at single-story. However, there is a general mixture of both single and multi-family residential development, both single and multi-stories in height within a 300 foot radius of the subject site.

The Ocean Beach Community Plan calls for small-scale residential building types and styles. While the proposed cottages are greater in number than the existing residences to be demolished, individually, each detached unit is small-scale residential building type consisting of units of only approximately 1,000 square feet. The project was designed to minimize the footprint. The small footprints and detached structures, combined with staggering of the structures and allowing the structures to follow the natural contours of the parcel, present a small mass and profile to the neighborhood. The project also includes open space at the front and rear yards, along with substantial landscaping around all units.

At the recommendation of the community plan, the SDMC establishes a maximum Floor Area Ratio (FAR) of 0.7, or 9,222 square feet. The project proposes 6,891 square feet of living area, whereas up to 6,893 square feet is allowed; and provides 9,222 square feet total floor area, where 9,222 is allowed.

The project meets the requirements of the Municipal Code and recommendations of the community plan with respect to floor area ratio, density, building height and setbacks. While the zone could allow up to 40 feet [SDMC 131.0444(f)], the Coastal Height Overlay Zone restricts to 30 feet.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The project would demolish two existing residential units to allow for construction of seven rental units in six buildings. The development of the five single family detached units and duplex unit will not pose any risk or danger to the public health, safety and welfare. While portions of the subject site are identified as low seismic risk due to potential liquefaction, the development will incorporate all recommendations from the Geotechnical engineer to mitigate the potential impacts. Furthermore, the development will incorporate all recommendations and sizes for proper sized foundation and building components from a licensed structural engineer. The subject site is located within private property and is neither located on or near any bluff or cliff. The development would mitigate interior noise to 45 decibels (dB) or less. Exterior usable open space would meet 65 dB.

**3. The proposed development will comply with the applicable regulations of the Land Development Code.**

The project would demolish two existing residential units to allow for construction of seven rental units in six buildings. The proposed development complies with all applicable regulations, as allowed by the approval of a Planned Development Permit.

The project meets the requirements of the Municipal Code and recommendations of the community plan with respect to floor area ratio, density, building height and setbacks. While the zone could allow up to 40 feet [SDMC 131.0444(f)], the Coastal Height Overlay Zone restricts to 30 feet. The highest building height would be below the 30 foot height limit.

**4. The proposed development, when considered as a whole, will be beneficial to the community.**

*The project would demolish two existing residential units to allow for construction of seven rental units in six buildings. The project was designed to provide the smallest possible massing and footprints to respect the single family portion of the neighborhood. These small footprints and detached structures, combined with staggering of the structures and allowing the structures to follow the natural contours of the parcel, will present a small mass and profile to the neighborhood. Currently there are multiple examples of this building type around the subject site and community. The proposed development helps reduce the bulk and scale as compared to the alternative of construction of one single large structure. This project also includes the required open space at the front and rear yards, along with the required landscaping around all units. The landscaping provided will visually buffer the proposed development and soften the appearance of the street frontage. The density at this site is consistent with the SANDAG long-range vision for the area. When considered in a cumulative manner, the proposed development will benefit the community.*

**5. Any proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.**

*The project would demolish two existing residential units to allow for construction of seven rental units in six buildings. The requested deviation pertains to SDMC 131.0464(e)(2), stating that at least 50% of the length of the building façade on the ground floor must enclose habitable area, applies to the front two cottage units facing West Point Loma Boulevard. In order to provide a project with the proposed small footprints and detached structures, the driveway configuration bisects the parcel to allow for vehicular access to all the detached cottages in the rear of the parcel. Thus, in order to provide this detached small scale design approach, the front two structures do not meet the above stated requirement and exceed the 50% maximum by approximately six feet. This is based on the footprints of these detached structures being so small that the bottom floor footprint in question is approximately on 480 square feet in total and thus, once parking is provided it is impossible to meet the maximum 50% requirement as the required parking makes up the majority of the first level footprints of these detached structures. Without this deviation, and keeping the project at the density as proposed, the design could be a "box-like" form with more bulk, increased scale, and mass which would be detrimental to the neighborhood appearance and character. The minor deviations are appropriate for this site.*

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 456171, and Coastal Development Permit

No. 310804 are hereby GRANTED by the Planning Commission to the referenced Owners/Permittees, in the form, exhibits, terms and conditions as set forth in Planned Development Permit No. 456171, and Coastal Development Permit No. 310804, a copy of which is attached hereto and made a part hereof.



---

Laila Iskandar  
Development Project Manager  
Development Services

Adopted on: September 27, 2007

Job Order No. 42-6042

cc: Legislative Recorder, Planning Department

**RECORDING REQUESTED BY**  
 CITY OF SAN DIEGO  
 DEVELOPMENT SERVICES  
 PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
 CITY CLERK  
 MAIL STATION 2A

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 42-6042

PLANNED DEVELOPMENT PERMIT NO. 456171  
 COASTAL DEVELOPMENT PERMIT NO. 310804  
**WEST OCEAN BEACH PARK UNITS [MMRP] - PROJECT NO. 95894**  
 CITY COUNCIL

This Planned Development Permit No. 456171 and Coastal Development Permit No. 310804 are granted by the City Council of the City of San Diego to ERIC OTTERSON, BENEDICTE OTTERSON AND GEORGE VANO, INDIVIDUALS, Owners/Permittees, pursuant to San Diego Municipal Code [SDMC] sections 126.0603 and 126.0707.

The project site is located at 4824 - 4836 West Point Loma Boulevard in the RM-2-4 zone of the Ocean Beach Precise Plan and Local Coastal Program Plan, Coastal Overlay Zone (appealable), Coastal Height Limit Overlay Zone, Airport Approach Overlay Zone, Airport Environs Overlay Zone, and Ocean Beach Emerging Historic District. The project site is legally described as Lots 38 - 41, inclusive, in Block 29, Map 1217 of Ocean Beach Park Annex, City and County of San Diego; and a portion of Lot 37, Block 29, Map No. 1217.

*Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to demolish two residential units and construct seven rental units, as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 20, 2007, on file in the Development Services Department.*

The project shall include:

- a. Demolition of two non-historic, residential units at 4836 and 4824 West Point Loma Boulevard built in 1912 - 1914;

- b. Construction of a new seven rental units consists of five detached two-story structures over parking, and one duplex over parking;
- c. Provide 16 off-street parking spaces;
- d. Deviate from the Municipal Code to allow less than 50% of the length of the building façade on the ground floor to enclose habitable area per SDMC 131.0464(e)(3);
- e. Landscaping (planting, irrigation and landscape related improvements); and
- f. Accessory improvements determined by the City Manager to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

**STANDARD REQUIREMENTS:**

1. *This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in affect at the time the extension is considered by the appropriate decision maker.*
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.
5. This Permit is a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.

6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.
9. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.
11. In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.
12. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, including, but not limited to, any to any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement

between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

#### **ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

13. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program (MMRP). These MMRP conditions are incorporated into the permit by reference or authorization for the project
14. The mitigation measures specified in the Mitigation Monitoring and Reporting Program, and outlined in Mitigated Negative Declaration No. 95894 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL/MITIGATION REQUIREMENTS.
15. The Owner/Permittee shall comply with the Mitigation, Monitoring, and Reporting Program (MMRP) as specified in Mitigated Negative Declaration, satisfactory to the Development Services Department and the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:  
**Archaeological Resources and Noise.**
16. Prior to issuance of any construction permit, the Owner/Permittee shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.
17. Prior to demolition of the existing buildings, the applicant shall obtain approval from the Air Pollution Control District.

#### **AFFORDABLE HOUSING REQUIREMENTS**

18. Prior to the issuance of any building perm, the applicant shall comply with the Affordable Housing Requirements of the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code). The applicant has elected to pay an in-lieu fee to meet these requirements. Prior to receiving building permit, the applicant must enter into an agreement with the San Diego Housing Commission to assure the payment of the in-lieu fee.

#### **ENGINEERING REQUIREMENTS:**

19. Prior to the building occupancy, the applicant shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance.
20. Prior to the issuance of any construction permit, the applicant shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2,

Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

21. Prior to the issuance of any construction permit the applicant shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

22. Prior to the issuance of any construction permits, the applicant shall incorporate and show the type and location of all post-construction Best Management Practices (BMP's) on the final construction drawings, in accordance with the approved Water Quality Technical Report.

23. Prior to the issuance of a building permit the applicant shall obtain a grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

24. The drainage system proposed for this development is private and subject to approval by the City Engineer.

25. The applicant shall remove the existing driveway and construct a new City Standard 20' wide driveway, adjacent to the site on West Point Loma Boulevard. All work shall be completed and accepted by the City Engineer, prior to building occupancy.

26. The applicant shall replace the curb with City standard curb and gutter, adjacent to the site on West Point Loma Boulevard, satisfactory to the City Engineer, prior to building occupancy.

#### **LANDSCAPE REQUIREMENTS:**

27. Prior to issuance of any construction permits for grading, landscape construction documents for the revegetation and hydroseeding of all disturbed land shall be submitted in accordance with the Land Development Manual Landscape Standards and to the satisfaction of the City Manager. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Office of the Development Services Department.

28. Prior to issuance of any construction permits for buildings, complete landscape and irrigation construction documents consistent with the Land Development Manual Landscape Standards shall be submitted to the City Manager for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.

29. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Owner/ Permittee to install all required landscape and obtain all required landscape inspections.

A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees

30. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

31. *The Owner/Permittee shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. In this case, a Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.*

32. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the City Manager within 30 days of damage or prior to a Certificate of Occupancy or a Final Landscape Inspection.

**PLANNING/DESIGN REQUIREMENTS:**

33. No fewer than 16 off-street parking spaces, and one motorcycle parking space, shall be maintained on the property at all times in the approximate locations shown on the approved Exhibits "A," on file in the Office of the Development Services Department. Parking spaces shall comply at all times with requirements of the Land Development Code and shall not be converted for any other use unless otherwise authorized by the City Manager.

34. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

35. Prior to issuance of building permits, the applicant must demonstrate that indoor noise levels that are attributable to airport operations shall not exceed 45db. The applicant will be required to spend no more than 10% of construction costs to meet noise attenuation requirements.

36. Prior to the issuance of any building permits, the Owner/Permittee shall grant to the San Diego County Regional Airport Authority, an aviation easement for the purpose of maintaining all aircraft approach paths to the San Diego International Airport. This easement shall permit the unconditioned right of flight of aircraft in the federally controlled airspace above the subject property. This easement shall identify the easement's elevation above the property and shall include prohibitions regarding use of and activity on the property that would interfere with the

intended use of the easement. This easement may require the grantor of the easement to waive any right of action arising out of noise associated with the flight of aircraft within the easement.

37. Prior to submitting building plans to the City for review, the Owner/Permittee shall place a note on all building plans indicating that an aviation easement has been granted across the property. The note shall include the County Recorder's recording number for the aviation easement.

38. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

#### **WASTEWATER REQUIREMENTS:**

39. The Owner/Permittee shall design and construct all proposed public sewer facilities to the most current edition of the City of San Diego's Sewer Design Guide.

40. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the building permit plan check.

#### **GEOLOGY REQUIREMENTS:**

41. An updated geotechnical report will be required as grading plans are developed for the project. The geotechnical consultant must review, sign and stamp the grading plans as part of the plan review and grading permit issuance process. A Final As-Built Report is required within 15 days of completion of grading operations. Additional geotechnical information such as verification of as-graded or existing soil conditions needed for design of structure foundations will be subject to approval by Building Development Review prior to issuance of building permits.

#### **WATER REQUIREMENTS:**

42. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s) and the removal of all existing unused services, within the right-of-way adjacent to the project site, in a manner satisfactory to the Water Department Director and the City Engineer.

43. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Water Department Director and the City Engineer.

44. Prior to the issuance of any certificates of occupancy, all public water facilities shall be complete and operational in a manner the Water Department Director and the City Engineer.

45. The Owner/Permittee agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Public water facilities, and associated easements, as shown on approved Exhibit "A" shall be modified at final engineering to comply with standards.

**INFORMATION ONLY:**

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on November 20, 2007 by Resolution No. XXXX

Permit Type/PTS Approval No.: CDP 310804, PDP 456171

Date of Approval: November 20, 2007

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Laila Iskandar  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1180 et seq.**

\_\_\_\_\_  
The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**[Eric Otterson]**  
Owner/Permittee

By \_\_\_\_\_

**[Benedicte Otterson]**  
Owner/Permittee

By \_\_\_\_\_

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1180 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

[George Vano]  
Owner/Permittee

By \_\_\_\_\_

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1180 et seq.**

TO:  Recorder/County Clerk  
 P.O. Box 1750, MS A33  
 1600 Pacific Hwy, Room 260  
 San Diego, CA 92101-2422

FROM: City of San Diego  
 Development Services Department  
 1222 First Avenue, MS 501  
 San Diego, CA 92101

Office of Planning and Research  
 1400 Tenth Street, Room 121  
 Sacramento, CA 95814

Project Number: 95894

State Clearinghouse Number: N/A

Permit Number: Planned Development Permit (PDP) 456171 and Coastal Development Permit (CDP) 310804

Project Title West Ocean Beach Park Units

Project Location: 4824 - 4836 West Point Loma Boulevard, San Diego CA

Project Description:

A PLANNED DEVELOPMENT PERMIT (PDP), COASTAL DEVELOPMENT PERMIT (CDP) to allow the demolition of two single-family units and the construction of seven rental units in six buildings on two lots with at-grade residential parking. The project site is located at 4824-4836 West Point Loma Boulevard within the Ocean Beach Planning Area, Coastal Overlay Zone (appealable), Coastal Height Limitation Overlay Zone, Airport Approach Overlay Zone, Parking Impact Overlay Zone, Ocean Beach Emerging Historical District and Council District 2. Legal Description: the project site is legally described as Lots 38 - 41, inclusive, in Block 915, Map 1217 of Ocean Beach Park Annex, City and County of San Diego; and a portion of Lot 37, Block 29, Map 1217.

Project Contact: Eric Otterson, 4945 Crystal Drive, San Diego CA 92109—858-274-7931.

This is to advise that the City of San Diego City Council on November 20, 2007, approved the above described project and made the following determinations:

1. The project in its approved form  will,  will not, have a significant effect on the environment.
2.  An Environmental Impact Report was prepared for this project and certified pursuant to the provisions of CEQA.  
 A Mitigated Negative Declaration was prepared for this project pursuant to the provisions of CEQA.  
 An addendum to was prepared for this project pursuant to the provisions of CEQA.

Record of project approval may be examined at the address above.

3. Mitigation measures  were,  were not, made a condition of the approval of the project.
4. (EIR only) Findings  were,  were not, made pursuant to CEQA Guidelines Section 15091.
5. (EIR only) A Statement of Overriding Considerations  was,  was not, adopted for this project.

It is hereby certified that the final environmental report, including comments and responses, is available to the general public at the office of the Land Development Review Division, Fifth Floor, City Operations Building, 1222 First Avenue, San Diego, CA 92101.

Analyst: Marc Cass

Telephone: (619) 446-5379

Filed by: \_\_\_\_\_  
 Signature

\_\_\_\_\_ Title

RESOLUTION NUMBER R-\_\_\_\_\_

ADOPTED ON November 20, 2007

WHEREAS, on March 4, 2006, Eric Otterson submitted an application to the Development Services Department for a Planned Development Permit (PDP) and Coastal Development Permit (CDP)

WHEREAS, the permit was set for a public hearing to be conducted by the City Council of the City of San Diego; and

WHEREAS, the issue was heard by the City Council on November 20, 2007; and

WHEREAS, the City Council of the City of San Diego considered the issues discussed in Mitigated Negative Declaration No. 95894 NOW THEREFORE,

BE IT RESOLVED, by the City Council of the City of San Diego, that it is hereby certified that Mitigated Negative Declaration No. 95894 has been completed in compliance with the California Environmental Quality Act of 1970 (California Public Resources Code Section 21000 et seq.) as amended, and the State guidelines thereto (California Administration Code Section 15000 et seq.), that the report reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said report, together with any comments received during the public review process, has been reviewed and considered by the City Council.

BE IT FURTHER RESOLVED that the City Council finds that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study and therefore, that said Mitigated Negative Declaration, a copy of which is attached hereto and incorporated by reference, is hereby approved.

BE IT FURTHER RESOLVED that pursuant to California Public Resources Code, Section 21081.6, the Planning Commission hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the project as required by this body in order to mitigate or avoid significant effects on the environment, a copy of which is attached hereto and incorporated herein by reference.

APPROVED: Michael Aguirre, City Attorney

By: \_\_\_\_\_  
Deputy City Attorney

ATTACHMENT: Exhibit A, Mitigation Monitoring and Reporting Program

## EXHIBIT A

## MITIGATION MONITORING AND REPORTING PROGRAM

**Planned Development Permit; Coastal Development Permit**

Project No. 95894

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Land Development Review Division, 1222 First Avenue, Fifth Floor, San Diego, CA 92101. All mitigation measures contained in the Mitigated Negative Declaration (Project No. 95894) shall be made conditions of Planned Development Permit and Coastal Development Permit as may be further described below.

A. General

1. Prior to the issuance of a Notice to Proceed (NTP) or any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the Assistant Deputy Director (ADD) environmental designee of the City's Land Development Review Division (LDR) shall verify that the following statement is shown on the grading and/or construction plans as a note under the heading Environmental Requirements: "West Ocean Beach Park Units is subject to Mitigation, Monitoring and Reporting Program (MMRP) and shall conform to the mitigation conditions as contained in the Mitigated Negative Declaration (Project 95894)."
2. The owner/permittee shall make arrangements to schedule a pre-construction meeting to ensure implementation of the MMRP. The meeting shall include the Resident Engineer, the Qualified Archaeologist, a Native American Monitor and the City's Mitigation Monitoring Coordination (MMC) Section.
3. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas: **Historical Resources (Archaeology) and Noise.**

I. **HISTORICAL RESOURCES (ARCHAEOLOGY-DATA RECOVERY)**Historical Resources

As a condition of project approval, the applicant is required to conduct an Archaeological Data Recovery Program (ADRP) to mitigate impacts to archaeological site (CA-SDI-46) as follows:

**Prior to Preconstruction (Precon) Meeting**

1. Land Development Review (LDR) Plan Check

- a. Prior to the preconstruction meeting, or issuance of a Notice to Proceed (NTP) or any permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the Assistant Deputy Director (ADD) Environmental Designee shall verify that the requirements for the **ARCHAEOLOGICAL DATA RECOVERY PROGRAM (ADRP) have been noted on the appropriate construction documents.**
2. Letters of Qualification submitted to Mitigation Monitoring Coordination (MMC) Prior to the preconstruction meeting, recordation of the first final map, NTP, and/or, including but not limited to, issuance of a Grading Permit, Demolition Permit or Building Permit, the applicant shall provide a letter of verification to the ADD Environmental Designee stating that a qualified Archaeologist, as defined in the City of San Diego Historical Resources Guidelines (HRG), has been retained to implement the ADRP. **If applicable, individuals involved in the archaeological program must have completed the 40-hour HAZWOPER training with certification documentation. ALL PERSONS INVOLVED IN THE ADRP AND MONITORING OF THIS PROJECT SHALL BE APPROVED BY ADD ENVIRONMENTAL DESIGNEE PRIOR TO THE START OF THE PROJECT.**

A Native American Monitor shall be present during the ADRP and initial excavation/grading of undisturbed ground in the event that cultural features or human remains are found and the procedures set forth in Section 5 shall be implemented.

### **Precon Meeting**

1. Qualified Archaeologist Shall Attend Precon Meetings
  - a. Prior to beginning any work that requires monitoring, the Applicant shall arrange a Precon Meeting that shall include the Archaeologist, a Native American Monitor Construction Manager and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist shall attend any grading related Precon Meetings to make comments and/or suggestions concerning the ADRP with the Construction Manager and/or Grading Contractor.
  - b. If the Monitor is not able to attend the Precon Meeting, the RE or BI, if appropriate, will schedule a focused Precon Meeting for MMC, EAS staff, as appropriate, Monitors, Construction Manager and appropriate Contractor's representatives to meet and review the job on-site prior to start of any work that requires monitoring.
2. Identify Areas involved in ADRP
 

At the Precon Meeting, the Archaeologist shall submit to MMC a copy of the site/grading plan (reduced to 11x17) that identifies areas involved in the ADRP as well as areas that may require delineation of grading limits.

Prior to the issuance of grading permits or NTP, the area involved in the ADRP shall be surveyed, staked and flagged by the qualified archaeologist as defined above.

3. When ADRP Will Occur
  - a. Prior to the start of work, the Archaeologist shall also submit a construction schedule to MMC through the RE or BI, as appropriate, indicating when and where the ADRP is to begin and shall notify MMC of the start date for work.
4. ADRP Implementation

Prior to the issuance of grading permits or NTP, the owner/permittee shall implement the ADRP detailed in the Data Recovery Plan prepared by Laguna Mountain Environmental, Inc. (July, 2006), satisfactory to the ADD Environmental Designee. The ADRP shall include a three-phased excavation program in which the sample size to be excavated shall be determined in consultation with City staff and shall vary with the nature and size of the archaeological site.

Following the data recovery excavations, the areas to be impacted shall be mechanically excavated under the direction of the qualified archaeologist to recover any additional cultural features and/or artifact concentrations using standard archaeological procedures.
5. Human Remains
  - a. If human remains are discovered, work shall halt in that area and the following procedures set forth in the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) will be taken:
  - b. Notification
    - (1) Archaeological Monitor shall notify the RE or BI as appropriate, MMC and the PI if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS).
    - (2) The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.
  - c. Isolate discovery site
    - (1) Work will be redirected from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenience of the remains.
    - (2) The Medical Examiner, in consultation with the PI, shall determine the need for a field examination to determine the provenience.
    - (3) If a field examination is not warranted, the Medical Examiner shall determine, with input from the PI, if the remains are or are most likely to be of Native American origin.
  - d. If Human Remains are determined to be Native American
    - (1) The Medical Examiner shall notify the Native American Historic Commission (NAHC). By law, **ONLY** the Medical Examiner can make this call.
    - (2) The NAHC will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination.
    - (3) NAHC will identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
    - (4) The PI will coordinate with the MLD for additional coordination.
    - (5) Disposition of Native American human remains will be determined between the MLD and the PI, IF:

- (a) The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 24 hours after being notified by the Commission; OR;
- (b) The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, the landowner or their authorized representative shall re-inter the human remains and all associated grave goods with appropriate dignity, on the property in a location not subject to subsurface disturbance. Information on this process will be provided to the NAHC.
- e. If Human Remains are **NOT** Native American
  - (1) The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
  - (2) The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
  - (3) If the remains are of historic origin, they shall be appropriately removed and conveyed to the Museum of Man for analysis. The decision for reinterment of the human remains shall be made in consultation with MMC, EAS, the land owner and the Museum of Man.
- 6. Notification of Completion of ADRP
  - a. The Archaeologist shall notify MMC and the RE or the BI, as appropriate, in writing of the end date of the ADRP.

### Post Construction

- 1. Handling and Curation of Artifacts and Letter of Acceptance
 

The Archaeologist shall be responsible for ensuring that all cultural remains collected are cleaned, catalogued, and permanently curated with an appropriate institution; the original collection that falls within the applicant's site will be obtained from Brian F. Smith and Associates, brought up to current standards and curated along with any materials collected during implementation of the Archaeological Data Recovery Program and monitoring for this project; that a letter of acceptance from the curation institution has been submitted to MMC; that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate. Curation of artifacts associated with the survey, testing and/or data recovery for this project shall be completed in consultation with LDR and the Native American representative, as applicable.
- 2. ADRP Draft Results Report
  - a. Prior to the release of the grading bond, two copies of the Draft Results Report (even if negative) and/or evaluation report, if applicable, which describes the results, analysis, and conclusions of the ADRP (with appropriate graphics) shall be submitted to MMC for approval by the ADD of LDR.
  - b. MMC shall notify the RE or BI, as appropriate, of receipt of the Final Results Report.
- 3. Recording Sites with State of California Department of Park and Recreation
 

The Archaeologist shall be responsible for updating the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B associated with the ADRP in

accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Results Report.

Handling and curation of artifacts and Letter of Acceptance

The archaeologist shall be responsible for ensuring that all cultural materials and associated records collected during the initial archaeological survey and evaluation phase, implementation of the ADRP and as a result of construction related excavation shall be cleaned, catalogued and permanently curated with an appropriate institution; that a letter of acceptance from the curation institution has been submitted to MMC; that all artifacts are analyzed to identify function and chronology as they relate to the history of the area and to allow a comparison with previous nearby studies; that faunal material is identified as to species, and that specialty studies shall be completed, as appropriate, including obsidian hydration and sourcing analysis, protein residue studies and radiocarbon dating.

Curation of artifacts associated with this program shall be completed in consultation with LDR and the Native American representative, as appropriate.

Upon completion of the ADRP and prior to issuance of grading permits, the qualified archaeologist and Native American Monitor shall attend a second preconstruction meeting to make comments and/or suggestions concerning the proposed grading process.

## **II. HISTORICAL RESOURCES (ARCHAEOLOGY-MONITORING)**

### **I. Prior to Permit Issuance**

#### **A. Land Development Review (LDR) Plan Check**

1. Prior to Notice to Proceed (NTP) for any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the appropriate construction documents.

#### **B. Letters of Qualification have been submitted to ADD**

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological and monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project.
3. Prior to the start of work, the applicant must obtain approval from MMC for any personnel changes associated with the monitoring program.

## II. Prior to Start of Construction

### A. Verification of Records Search

1. The PI shall provide verification to MMC that a site specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coast Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
3. The PI may submit a detailed letter to MMC requesting a reduction to the 1/4 mile radius.

### B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring, the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.

- a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.

2. Identify Areas to be Monitored

Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.

The AME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).

3. When Monitoring Will Occur

- a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
- b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

## III. During Construction

### A. Monitors Shall be Present During Grading/Excavation/Trenching

1. The monitors shall be present full-time during grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities.**

2. The monitors shall document field activity via the Consultant Site Visit Record (CSVSR). The CSVSR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
  3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered may reduce or increase the potential for resources to be present.
- B. Discovery Notification Process
1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
  2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
  3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- C. Determination of Significance
1. The PI and Native American monitor shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
    - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
    - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
    - c. If resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

#### **IV. Discovery of Human Remains**

If human remains are discovered, work shall halt in that area and the following procedures as set forth in the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

##### **A. Notification**

1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS).
2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.

##### **B. Isolate discovery site**

1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a

determination can be made by the Medical Examiner in consultation with the PI concerning the provenience of the remains.

2. The Medical Examiner, in consultation with the PI will determine the need for a field examination to determine the provenience.
  3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.
- C. If Human Remains **ARE** determined to be Native American
1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, **ONLY** the Medical Examiner can make this call.
  2. The NAHC will contact the PI within 24 hours or sooner, after Medical Examiner has completed coordination.
  3. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information..
  4. The PI shall coordinate with the MLD for additional consultation.
  5. The MLD has 48 hours to make recommendations to the property owner or representative for the treatment or disposition, with proper dignity, of the human remains and associated grave goods.
  6. Disposition of Native American Human Remains shall be determined between the MLD and the PI, IF:
    - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the Commission; OR;
    - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner.
    - c. To protect these sites, the landowner shall do one or more of the following:
      1. Record the site with the NAHC
      2. Record an open space or conservation easement
      3. Record a document with the County.
    - d. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and buried with Native American human remains shall be handles with appropriate dignity, pursuant to Section 6.c., above.
- D. If Human Remains are **NOT** Native American
1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
  2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
  3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the Museum of Man for analysis. The decision for interment of the

human remains shall be made in consultation with MMC, EAS, the applicant/landowner and the Museum of Man.

**V. Night Work and/or weekend work**

- A. If night work and/or weekend work is included in the contract
1. When night work and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
  2. The following procedures shall be followed.
    - a. No Discoveries  
In the event that no discoveries were encountered during night work and/or weekend work, The PI shall record the information on the CSVR and submit to MMC via fax by 9am the following morning of the next business day.
    - b. Discoveries  
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV - Discovery of Human Remains.
    - c. Potentially Significant Discoveries  
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
    - d. The PI shall immediately contact MMC, or by 8AM the following morning to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night and/or weekend work becomes necessary during the course of construction
1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
  2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

**VI. Post Construction**

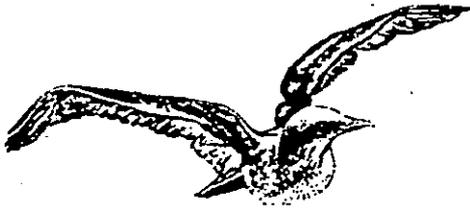
- A. *Submittal of Draft Monitoring Report*
1. The PI shall submit two copies of the Draft Monitoring Report (even if negative) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,
    - a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
    - b. Recording Sites with State of California Department of Parks and Recreation  
The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
  2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
  3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
  4. MMC shall provide written verification to the PI of the approved report.

5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Artifacts
1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
  2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
- C. Curation of artifacts: Accession Agreement and Acceptance Verification
1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project, including the original collection that falls within the applicant's site which shall be obtained from Brian F. Smith and Associates, brought up to current standards and curated along with any materials collected during implementation of the Archaeological Data Recovery Program and monitoring for this project. are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
  2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
  2. The RE shall, in no case, issue the Notice of Completion or release the performance bond for grading until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

### III. NOISE

- A. Prior to the issuance of any building permits, the applicant shall incorporate sound attenuation measures as described in the following report "Acoustical Assessment Report fro 4824 West Point Loma Boulevard" dated August 8, 2006 to the satisfaction of the City Manager. Specifically, all sliding glass doors and the swing doors in the habitable rooms shall be required to sound-rate with a minimum STC ratings ranging from 31 to 34. All windows shall have a minimum STC rating of 36, except for the sliding windows which shall have an STC 35 rating. The exterior doors shall have a minimum STC 26 RATING.
- B. All dwelling units shall provide either mechanical ventilation or air conditioning.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.



**Ocean Beach Planning Board, Inc.**  
**P.O. Box 70184**  
**Ocean Beach, California 92167**

**May 2, 2007 General Meeting Minutes**  
**(Approved)**

**Meeting Date:** Wednesday, May 2, 2007

**Meeting Called to Order:** Landry Watson called the meeting to order at 6:01pm.

**Board Members Present:** Giovanni Ingolia, George Murphy, Bill Bushe, Tom Gawronski, Shane Finneran, Nancy Taylor, Joshua Richman, Landry Watson, Michael Taylor, Jane Gawronski

**Agenda Modification:**

With no suggested changes to the agenda, George Murphy moved to approve the agenda as submitted.  
 Moved: George Murphy. Seconded: Giovanni Ingolia. Motion carried 9-0-0.

**Approval of Minutes:**

While the minutes from the general meeting on April 4 were being reviewed, George Murphy asked audience member Pat James, owner of an Ocean Beach business, if he could update the board on the situation involving vacant storefronts on Newport Avenue. At the April 4 meeting, board members had noted that one person or one group of people with unclear intentions had purchased several storefronts and had raised the rents to levels that seem unusually high. Pat James noted that some OB businesspeople had sent the buyer a letter asking for insight into the situation but had not received a response.

After correcting one typo, the board voted to approve the minutes from the general meeting on April 4, 2007.  
 Moved: Michael Taylor. Seconded: Bill Bushe. Motion passed: 8-0-1.  
 One board member abstained due to lack of attendance at the April 4 meeting.

The board also voted to approve the minutes from the land use subcommittee meeting on April 18, 2007.  
 Moved: Jane Gawronski. Seconded: Michael Taylor. Motion carried: 7-0-2.  
 Two board members abstained due to lack of attendance at the April 18 meeting.

**Treasurer's Report:**

Jane Gawronski reported that the Board had accepted a \$400 check from the OB Town Council, bringing the Board's bank account balance to \$897.02. Jane suggested that the Board send a thank you letter to the Council, and Landry Watson agreed to draft the letter.

Jane noted that she, as the Board's new treasurer, was working with the bank to certify herself and Landry Watson, the Board's new chair, as the bank account's overseers. Jane also noted that she planned on updating the Board's checks to reflect the new name of its bank, which might require a small fee.

**Board Member Announcements Reports & Comments:**

Bill Bushe reported that Donna Frye and Kevin Faulconer spoke to the Mission Bay Park Committee regarding lease issues related to the park. Bill also noted that electronics could be taken to Sea World for recycling on May 5.

Jane Gawronski reported that, at its most recent meeting, the OB Town Council presented the OB Planning Board with a check for \$400.

Giovanni Ingolia reported that COMPAC's April meeting was cancelled.

Noting that the OB Planning Board had discussed the issue of street lights in the past, Giovanni provided the Board with a handout entitled *Illuminating San Diego*, published by WalkSanDiego.org. The handout explains that San Diego neighborhoods can self-fund their own lighting via designation of a Maintenance Assessment District, or MAD. Giovanni suggested that the Board investigate the potential of an OB MAD. Landry suggested that it would be an ideal issue for an executive subcommittee of the Board, which he planned to propose shortly. Tom Gawronski said that any executive subcommittee would be subject to the Brown Act, which requires public noticing and publication of agendas, among other things.

Tom Gawronski reported that he attended an enjoyable meeting of the OB Historical Society, which featured author and Peninsula resident Joseph Wambaugh as a speaker.

George Murphy reported that the San Diego River Coalition was holding San Diego River Days, which features events from Julian to the San Diego River mouth at Dog Beach, on the weekend of May 19 and 20.

Bill Bushe suggested that the Board re-nominate him to serve as its representative to the Mission Bay Park Committee, and the Board approved.

Motion: Giovanni Ingolia. Second: Jane Gawronski. Motion carried 9-0-0.

Landry Watson reported that the Community Planners Committee on April 24 focused on the city's proposed changes to Council Policy 600-24 and to the bylaws of the 42 community planning boards across San Diego. Landry provided board members with copies of a City of San Diego memo to the CPC regarding the changes. Landry also noted that, under the new strong mayor policy, community planning boards technically report to the Mayor, not the City Council.

Landry noted that the OBPB would be able to customize its bylaws if it desired, but any changes would require city approval. Landry suggested that the Board soon consider updating its bylaws. Tom Gawronski suggested that the Board wait until it gets a template from the city, noting that the Board had updated the bylaws in the past, only to have the updates invalidated by broader changes made by the city.

Landry said he would soon organize a meeting of an executive committee of the OB Planning Board, which would focus primarily on evaluating the city's changes and their implications for the OBPB. Landry encouraged all Board members to consider joining the executive committee, and also encouraged members to familiarize themselves with the city's draft of the General Plan Update.

**Public Comments & Announcements:**

No members of the public asked to speak on non-agenda items.

**Projects:**

1466 Pescadero Ave. (Project No. 86511) **Cory Wilkinson**

*GEOLOGICAL REVIEW Coastal Site Development to demo existing multifamily dwelling units to construct 2 units in a two-story, 5203 sf building (one 3BR, one 2BR) w/two attached at-grade 2-car garages and one open parking spaces (5 spaces total) on 7436 sf site. (Process 3)*

This project was last reviewed by the board at a general meeting in late 2006.

Board member Michael Taylor recused himself from the discussion of the property, noting that he is the owner of the property.

An owner's representative noted that the city had completed its geological review of the project, and that the plans had been updated to move the project's underground foundation further away from the edge of the nearby cliff. The project's parking had also been moved underground.

Some board members noted that, because the geological issues surrounding the property had been addressed, they were comfortable approving the project as submitted. One board member noted that he had previously had concerns regarding the project's encroachment on public views, but that he had since decided that the concerns were not substantial enough to warrant a vote for denying the project.

A member of the audience who identified himself as a neighbor said that he believed the project would represent a substantial aesthetic improvement over the property's current residences.

One board member moved to approve the project as submitted.

Moved: Bill Bushe. Seconded: Tom Gawronski. Motion carried 9-0-0.

4812 Coronado Ave. (Project No. 112388) **Laila Iskander**

*Coastal Development Permit and Map Waiver application to waive the requirements of a Tentative Map and under-grounding overhead utilities to create 3 residential condominiums (under construction) on a 0.145 acre site. (Process 3)*

The OBPB's land use subcommittee voted 9-0-0 to recommend approval of the project as submitted.

No one was present to speak on behalf of the project.

One board member noted that she lived on the same block as the property, and that the buildings in question are aesthetically pleasing.

One board member moved to approve the project as submitted.

Moved: Giovanni Ingolia. Seconded: Jane Gawronski. Motion carried 9-0-0.

One of the 10 board members at the meeting was not in the room for vote.

1711 Sunset Cliffs Blvd. (Project No. 118164) **Simon Tse**

*RESUBMITTAL Process 2 for a wireless communication facility consisting of 6 existing panel antennas mounted to the façade of an existing building, two outdoor BTS cabinets on the east side of the building and associated equipment located within a CMU and chainlink enclosure. Previous expired permit 95-0350-148 (Process 2)*

The OBPB's land use subcommittee voted 9-0-0 to recommend support of T-Mobile's improvements to the site.

A representative of T-Mobile explained that the project involved two elements: the addition of casings to some antennas, and an upgrade of the chain link fence surrounding T-Mobile's equipment on the site.

One board member pointed out that the project, as submitted, involved approving a renewal of T-Mobile's permit as well as the improvements mentioned above. The board member noted that, at the land use subcommittee meeting, some board members questioned whether the permit in question was within the OBPB's jurisdiction. Others noted that they believed it was.

One board member moved to approve the project as submitted.  
 Moved: Michael Taylor. Seconded: Giovanni Ingolia. Motion carried 10-0-0.

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**4836 W. Pt Loma Blvd. (Project No. 95894) Cory Wilkinson**  
*Site Development Permit (Historical-archy), Coastal Development Permit to demo 2 residences to construct 7 for-rent units (2 story over basement) (14 BR) (14 pkg + 2 guest parking) on a 13,175 sq ft site. (Process 4)*

The OBPB's land use subcommittee voted 6-3-0 to recommend denial of the project based on its bulk and scale.

The owner's representative, who is also the project's architect, provided several details regarding the project:

- Features an 8- to 10-foot downhill slope from front to rear
- In the RM2-4 zone, which allows for a maximum of 8 units
- Would demolish the two existing units
- Would construct four 950 sq ft single-family units, each with 2BR/2BA; one 1030 sq ft single-family unit with 2BR/2BA; and a duplex of two 1016 sq ft units, each with 2BR/2BA
- Each of the five single-family units would include a 2-car garage
- Each half of the duplex would include a 1-car garage and a 1-car carport.
- In addition to the parking above, the project would include two surface spots.
- Includes one variance, to allow for less street frontage than is typically required.

The project's landscape architect noted that, in response to the objections of some members of the land use subcommittee, the project no longer called for Washingtonian palms, but would instead incorporate Queen palms or small canopy trees, such as fern palms.

A board member expressed support for the project, pointing to its contemporary design. The board member also noted that the issue was one of property rights, and that owners should be allowed to develop their property as they see fit.

A different board member noted that, when viewed from the rear of the property, the single-family units would appear to have heights of 40 ft. The board member was strongly opposed to the project because of its bulk and scale, particularly in light of its position near one of the main entrances to Ocean Beach. Another board member agreed, noting that the lack of front-to-back articulation of the project's height contrasted with existing developments in the area and with the stated preferences of the OBPB.

When audience members were asked to share comments, Pat James said that the cottages on the property and on surrounding properties are significant contributors to OB's character. Pat also noted that the project's proximity to the busy intersection of Sunset Cliffs Blvd and West Point Loma Blvd might present traffic issues.

In response to Pat's comment on cottages, a board member said that the cottages on the property in question were not deemed historical by the city.

One board member moved to approve the project as submitted.

Moved: Jane Gawronski. Seconded: Bill Bushe. Motion failed 5-5-0.

One board member moved to deny the project based on its bulk and scale.

Moved: Shane Finneran. Seconded: Tom Gawronski. Motion failed 5-5-0.

Meeting Adjourned at 7:55 pm by consensus.

Minutes Respectfully Submitted by: Shane Finneran, Secretary



Ocean Beach Planning Board, Inc.  
P.O. Box 70184  
Ocean Beach, California 92167

**April 18, 2007 Land Use Minutes**  
**(approved by the OBPB on May 2, 2007)**

**Meeting Date:** Wednesday, April 18, 2007

**Meeting Called to Order:** Michael Taylor called the meeting to order at 6:01pm.

**Board Members Present:** Giovanni Ingolia, Tom Gawronski, Shane Finneran, Nancy Taylor, Mandy Lopez, Landry Watson, Michael Taylor, Jane Gawronski, Craig Klein

**Agenda Modification:**  
none

**Public Comments & Announcements:**  
none

**Board Member Announcements Reports & Comments:**

Jane Gawronski noted that the Ocean Beach Town Council, at its April 25<sup>th</sup> meeting, would provide a \$400 grant to the Ocean Beach Planning Board. OBPB Chairman Landry Watson said he would attend and accept the grant.

Shane Finneran reminded OBPB members that the board's committee assignments at its next general meeting on May 2.

Craig Klein arrived at 6:15pm.

**Agenda Items:**

4836 W. Pt Loma Blvd. (Project No. 95894) **Cory Wilkinson**  
*Site Development Permit (Historical-archy), Coastal Development Permit to demo 2 residences to construct 7 for-rent units (2 story over basement) (14 BR) (14 pkg + 2 guest parking) on a 13,175 sq ft site. (Process 4)*

The owner's representative, who is also the project's architect, provided several details regarding the project:

- Features an 8- to 10-foot downhill slope from front to rear
- In the RM2-4 zone, which allows for a maximum of 8 units
- Would demolish the two existing units
- Would construct four 950 sq ft single-family units, each with 2BR/2BA; one 1030 sq ft single-family unit with 2BR/2BA; and a duplex of two 1016 sq ft units, each with 2BR/2BA
- Each of the five single-family units would include a 2-car garage
- Each half of the duplex would include a 1-car garage and a 1-car carport.
- In addition to the parking above, the project would include two surface spots.
- Includes one variance, to allow for less street frontage than is typically required.

The owner's representative also noted that the project aimed to offer more "pride of ownership" than the "standard box-type" units that are somewhat common in Ocean Beach.

The project's landscape architect explained landscaping details to the board, noting that the City had requested the planting of six Washingtonian palms. A board member noted that Washingtonians were on the City's "do not plant" list, and wondered why the City would request them in this case.

No members of the audience spoke up during the public comment period.

One board member noted that, when viewed from the rear of the property, the single-family units would appear to have heights of 40 ft. The board member explained that he was strongly opposed to the project because of its bulk and scale, particularly in light of its position near one of the main entrances to Ocean Beach.

When one board member noted that the property is one of the first properties visible when entering Ocean Beach from the north via Sunset Cliffs Blvd – and could soon be the very first – another board member said that he wouldn't support the proposal because of its sharp contrast with the existing character of the neighborhood.

Another board member expressed support for the project, pointing to its contemporary design.

In response to the board's comments, the property owner said that, in his opinion, the unique standalone design of the single-family units reduced the visual impact of their height.

Tom Gawronski moved to recommend denial of the project based on its bulk and scale. Craig Klein seconded the motion. The motion carried 6-3-0.

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4812 Coronado Ave. (Project No. 112388) **Laila Iskander**

*Coastal Development Permit and Map Waiver application to waive the requirements of a Tentative Map and under ground overhead utilities to create 3 residential condominiums (under construction) on a 0.145 acre site. (Process 3)*

Owner Brian Checkal was present and explained that project involved "condo-izing" 3 apartments.

Jane Gawronski motioned to recommend approval of the project. Craig Klein seconded the motion. The motion carried 9-0-0.

1711 Sunset Cliffs Blvd. (Project No. 118164) **Simon Tse**

*RESUBMITTAL Process 2 for a wireless communication facility consisting of 6 existing panel antennas mounted to the façade of an existing building, two outdoor BTS cabinets on the east side of the building and associated equipment located within a CMU and chainlink enclosure. Previous expired permit 95-0350-148 (Process 2)*

A representative of T-Mobile explained that the project involved two elements: the addition of casings to some antennas, and an upgrade of the chain link fence surrounding T-Mobile's equipment on the site.

Some board members questioned whether the permit in question was within the OBPB's jurisdiction. Others noted that they believed it was, as it pertains to use of land within Ocean Beach; the T-Mobile representative agreed.

An audience member who identified himself as a neighbor to the east of the project expressed his disapproval, noting that the existing facilities create a significant amount of noise, particularly from externally mounted air

conditioning. He noted that he had attempted to contact the management of the Masonic Lodge, who referred him to the individual cell companies. The audience member explained that, in his opinion, the site is an industrial use of a commercial and/or residential zone. He also asked if a detailed study of the site's noise impact had been conducted.

In response, the T-Mobile representative said that the T-Mobile facilities do not have externally mounted air conditioning. She also said that the last cellular company to add facilities to the site had conducted a detailed study of the facilities' cumulative impact.

Landry Watson motioned to recommend approval of the project as submitted. Mandy Lopez seconded the motion. The motion failed 4-5-0.

Craig Klein motioned to recommend support of T-Mobile's improvements to the site. Landry Watson seconded the motion. The motion carried 9-0-0.

The meeting was adjourned by consensus at 7:10pm.

Minutes Respectfully Submitted by: Shane Finneran, Secretary



001261

ATTACHMENT 12

THE CITY OF SAN DIEGO

## REPORT TO THE PLANNING COMMISSION

**DATE ISSUED:** September 20, 2007

**REPORT NO. PC-07-142**

**ATTENTION:** Planning Commission, Agenda of September 27, 2007

**SUBJECT:** West Ocean Beach Park Units

**OWNER/** Eric Otterson, Benedicte Otterson and George Vano [Attachment 13]

**APPLICANT:** Ricardo Torres, Golba Architecture

### SUMMARY

**Issue:** Should the Planning Commission approve the demolition of two existing residential units, the construction of a new seven rental units in five detached buildings and one duplex with below-grade parking on a 13,078 square-foot site with two deviations from the Municipal Code?

#### Staff Recommendation:

1. **Certify Mitigated Negative Declaration No. 95894, and Adopt Mitigation Monitoring and Reporting Program;**
2. **Approve Coastal Development Permit No. 310804 and Planned Development Permit No. 456171.**

**Community Planning Group Recommendation:** The subject project was presented at the Ocean Beach Planning Board's General Meeting on May 2, 2007. There were two motions concerning this property and neither one passed. For a full discussion, see the Discussion section of this report.

**Environmental Review:** A Mitigated Negative Declaration Project No. 95894 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) guidelines. A Mitigation Monitoring and Reporting Program has been prepared and will be implemented for Archaeological Resources and Noise which will reduce any potential impacts to below a level of significance.

**Fiscal Impact Statement:** All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

**Code Enforcement Impact:** None with this action.

**Housing Impact Statement:** The project proposes to demolish two residences in order to construct seven for-rent dwelling units. The units consist of five cottages plus one duplex over a basement on a 0.30-acre site. The proposal would result in a net gain of five units to the Ocean Beach community plan area.

The proposed project is exempt from the Coastal Overlay Zone Affordable Housing Replacement Requirements division of the Land Development Code because the proposal for conversion or demolition of a residential structure contains less than three dwelling units. The project meets the requirements of the Affordable Inclusionary Housing Ordinance by agreeing to pay an in-lieu fee.

## **BACKGROUND**

The project is located at 4824 - 4836 West Point Loma Boulevard between Bacon Street and Sunset Cliffs Boulevard [Attachment 1] in the RM 2-4 Zone and is within the Coastal Overlay Zone; Coastal Height Limit Overlay Zone; Airport Approach Overlay Zone; Airport Environs Overlay Zone; the Ocean Beach Emerging Historic District; and the Parking Impact Overlay Zone [Attachment 2]. The 0.3-acre site is within the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan which designates the property and surrounding neighborhood for multi-family land use at a maximum density of 25 dwelling units per acre [Attachment 3].

The property is developed with two single-family houses constructed in 1912 and 1914. City staff determined that neither of the single-family homes is considered historically significant. The project site is surrounded by established single-family and multi-family residential developments to the west, east, south and open space park land to the north [Attachment 2].

The project site is adjoins open space park land to the north and is within the First Public Roadway. The property slopes downhill from West Point Loma Boulevard to the rear lot line along the park frontage with a grade difference of approximately 11 feet.

A Coastal Development Permit is required to allow the demolition of the existing one-story, single-family houses and the construction of the proposed new seven dwelling units.

A Planned Development Permit is required to allow for deviations to the regulations of the Municipal Code (SDMC Section 143.0403).

## **DISCUSSION**

### **Project Description:**

The project proposes the demolition of the two existing one-story, single-family houses [Attachment 4] and the construction of five detached structures and one duplex fronting West Point Loma Boulevard. The five detached structures would be two stories in height with tuck under parking. These units have identified in the plans as Buildings A and B. The duplex

structure is also two stories high with tuck under parking and is shown in the plans as Building C. Building A is repeated on the site four times, Building B and C is used only once each. Building A would provide 957 square feet of living area. Building B would provide 1,030 square feet of living area. Building C would provide 2,033 square feet of living area for two units [Attachment 5]. The project would also include 16 on-site parking spaces.

The exterior treatments of the detached cottages would include a stucco finish with glass blocks located on the north, south and west sides of the structures. The second and third levels would include a foam shaped cornice that would border each of those levels. Pipe railing would border the top of each level, along with a 2 ½ foot glass rail on both the second and third level decks on the west side of the structure. The eastern half of the roof would consist of downward sloping concrete flat tile roofing, while the west half of the roof would consist of a flat roof.

The project proposes to grade the entire site. The earthwork would total approximately 400 cubic feet of excavation and construct approximately 200 linear feet of retaining walls to a maximum height of nine feet. Landscaping is proposed which would exceed the code requirements, both in terms of area and plant points. The landscape plan would install four *Podocarpus* as the street trees and shade the site with 16 trees such as: Gold Medallion; Purple Leaf Plum; Ornamental Pear; and Dwarf Magnolia. The existing King and Fan Palms would be removed.

#### **Community Plan Analysis:**

The Ocean Beach Precise Plan identifies this site at 4836 West Point Loma Boulevard as an area designated for residential development at a density of between 15 to 25 dwelling units per net residential acre [Attachment 3]. This equates to a range of between four and seven dwelling units for this 13,175 square foot site. The Ocean Beach Precise Plan states; "That new residential construction be in the form of garden-type units, absent from excessive height and bulk and compatible in design with the existing community." This proposal would not adversely affect the stated plan policy and would provide ample landscaping. The Plan also states; "Maintain the existing residential character of Ocean Beach as exemplified by a mixture of small scale residential building types and styles." The project is well articulated and would not detract from existing neighborhood character.

Surrounding land uses include a mix of single-family and multi-family dwelling units and commercial development associated with the Voltaire commercial district. The proposal in north Ocean Beach would be consistent with the current mixture of single and multi-family dwellings of varying architectural styles plus commercial buildings in the Voltaire commercial district up to thirty feet in height.

The block where the subject site is located contains predominately residential development, with much of the surrounding development at single-story. However, there is a general mixture of both single and multi-family residential development, both single and multi-stories in height within a 300 foot radius of the subject site [Attachment 6].

The Ocean Beach Community Plan calls for small-scale residential building types and styles. While the proposed cottages are greater in number than the existing residences to be demolished, individually, each detached unit is a small-scale residential building type consisting of units of only approximately 1,000 square feet. The project was designed to minimize the footprint. The small footprints and detached structures, combined with staggering of the structures and allowing the structures to follow the natural contours of the parcel, present a small mass and profile to the neighborhood. The project also includes open space at the front and rear yards, along with substantial landscaping around all the units.

The project location is within an area designated by the San Diego Association of Governments (SANDAG) for increased density [Attachment 7]. In addition, the project site is served by bus route 35. The increase in density at this site is consistent with the SANDAG long-range vision for the area.

### **Zoning**

The project meets the density of the zone which allows for one dwelling unit for each 1,750 square feet of lot area. Therefore, the 13,078 square-foot project site would allow eight units where seven are proposed. The proposed density is within the allowable density of both the Ocean Beach Precise Plan and Local Coastal Program Plan, and the San Diego Municipal Code (SDMC) RM-2-4 zone.

The SDMC establishes a maximum Floor Area Ratio (FAR) of 0.7, or 9,222 square feet for this property. The project proposes 6,891 square feet of living area, where up to 6,893 square feet could be allowed and provides 9,222 square feet total floor area, where 9,222 is allowed.

The project meets the requirements of the Municipal Code and recommendations of the community plan with respect to building height and setbacks. While the zone could allow a maximum height of up to 40 feet [SDMC 131.0444(f)], the Coastal Height Overlay Zone restricts the height to 30 feet. The maximum building height would be 29' 4" in Building C at the rear of the site. All required setbacks are observed.

### **Environmental**

A Mitigated Negative Declaration Project No. 95894 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) guidelines. While the general project vicinity is known to contain archaeological resources, this specific project site is not designated as an "important archaeological site" within the meaning of the SDMC. However, Mitigation, Monitoring and Reporting Program is required for Archaeological Resources and Noise to reduce any potential impacts to below a level of significance should they exist. Under existing conditions, the project site discharges 1.01 cubic feet per second (cfs) whereas, under the proposed condition, the project discharge would be reduced to 0.91 cfs due to a decrease in the slope across the project site. This discharge would be treated by utilizing pervious paving for the surface guest parking areas, filtration strips and catch basins for runoff from roof surfaces.

### **Land Use Compatibility (Noise)**

The project site is within the 65 – 70 dB noise contour of the San Diego International Airport. A project-specific noise study indicates existing ambient noise conditions, due to traffic and aircraft, is 67 decibels (dB) at the front (southerly end) of the project site. Exterior usable spaces on the project site would be at 65 dB. Interior noise levels would be mitigated to 45 dB. The San Diego County Regional Airport Authority has found the project to be conditionally consistent with the San Diego international Airport Land Use Compatibility Plan.

### **Project-Related Issues:**

#### **Deviations**

The project is requesting approval of a Planned Development Permit for proposed two deviations from the Municipal Code.

- Deviate from the Municipal Code to allow less than 50% of the length of the building façade on the ground floor to enclose habitable area per SDMC 131.0464(e)(3). In order to provide a project with the proposed small footprints and detached structures, the driveway configuration bisects the parcel to allow for vehicular access to all the detached cottages in the rear of the parcel. The front two structures exceed the 50% maximum by approximately six feet. Without this deviation, the design alternative at the same density would be a “box-like” form, increasing visual bulk and scale. This form would be out of character with the surrounding neighborhood.
- Deviate from the Municipal Code to allow retaining walls that exceed the maximum required height of six feet by two feet, eight inches, for portions of a retaining wall that extend into the side and rear yard setbacks. The retaining walls allow the project to maintain level and usable common and private exterior open space in the rear of the project site.

Staff has considered the requested deviations and determined that they are minor in scope, provide a better overall project design and are consistent with the purpose and intent of the applicable regulations.

#### **Parking**

Per Land Development Code Section 142.0525 (LDC) Table 142-05C, the minimum parking requirement for this project is 16 automobile spaces (at a rate of 2.25 spaces per two-bedroom unit in the beach impact area), and 1 motorcycle space (at a rate of 0.1 per unit) must also be provided. The Land Development Code also requires at least 25% of the Floor Area Ratio (FAR) to be reserved for parking. The project reserves 2,329 square feet for parking, whereas 2,306 is required.

The new construction would provide seven residential units and 16 on-site parking spaces. The site contains two existing driveway connections to West Point Loma Boulevard. Upon

completion of the project, one 20 foot driveway would serve the project site. An adjacent driveway and curb cut on the easterly edge of the project site would be retained as this driveway provides access to the adjacent property, as recorded on February 2001.

### Community Group:

The Ocean Beach Planning Board met on May 2, 2007. During the meeting there were two motions presented concerning this property and neither one passed [Attachment 9].

- The first motion was to approve the project as presented. The motion failed by a vote of 5-5-0
- The subsequent motion was to deny the project as presented. This motion also failed by a vote of 5-5-0.

Various board members noted that the proposed design typified the modern interpretation of the Ocean Beach cottage and was appropriate for the RM-2-4 zone. Various board members also expressed a primary concern that the project could be viewed as too much bulk near the main entrances to Ocean Beach.

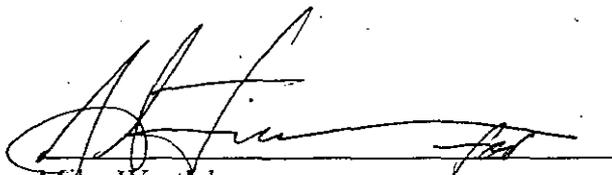
### CONCLUSION

Staff has reviewed the proposed project and determined the project is in conformance with all applicable sections of the San Diego Municipal Code regarding the RM-2-4 Zone, as allowed through the Planned Development Permit. Staff has determined the proposed deviation for a shorter length of the front façade and for over-height retaining walls will not adversely affect the General Plan, the Ocean Beach Precise Plan, and is appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone. The project is also consistent with the San Diego Association of Governments long-range plan for increased density in this vicinity. Staff has determined the required findings can be supported as substantiated in the resolution [Attachment 11] and recommends approval of the project as proposed.

### ALTERNATIVES

1. **Approve Coastal Development Permit No. 310804, and Planned Development Permit No. 456171, with modifications.**
2. **Deny Coastal Development Permit No. 310804, and Planned Development Permit No. 456171, if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



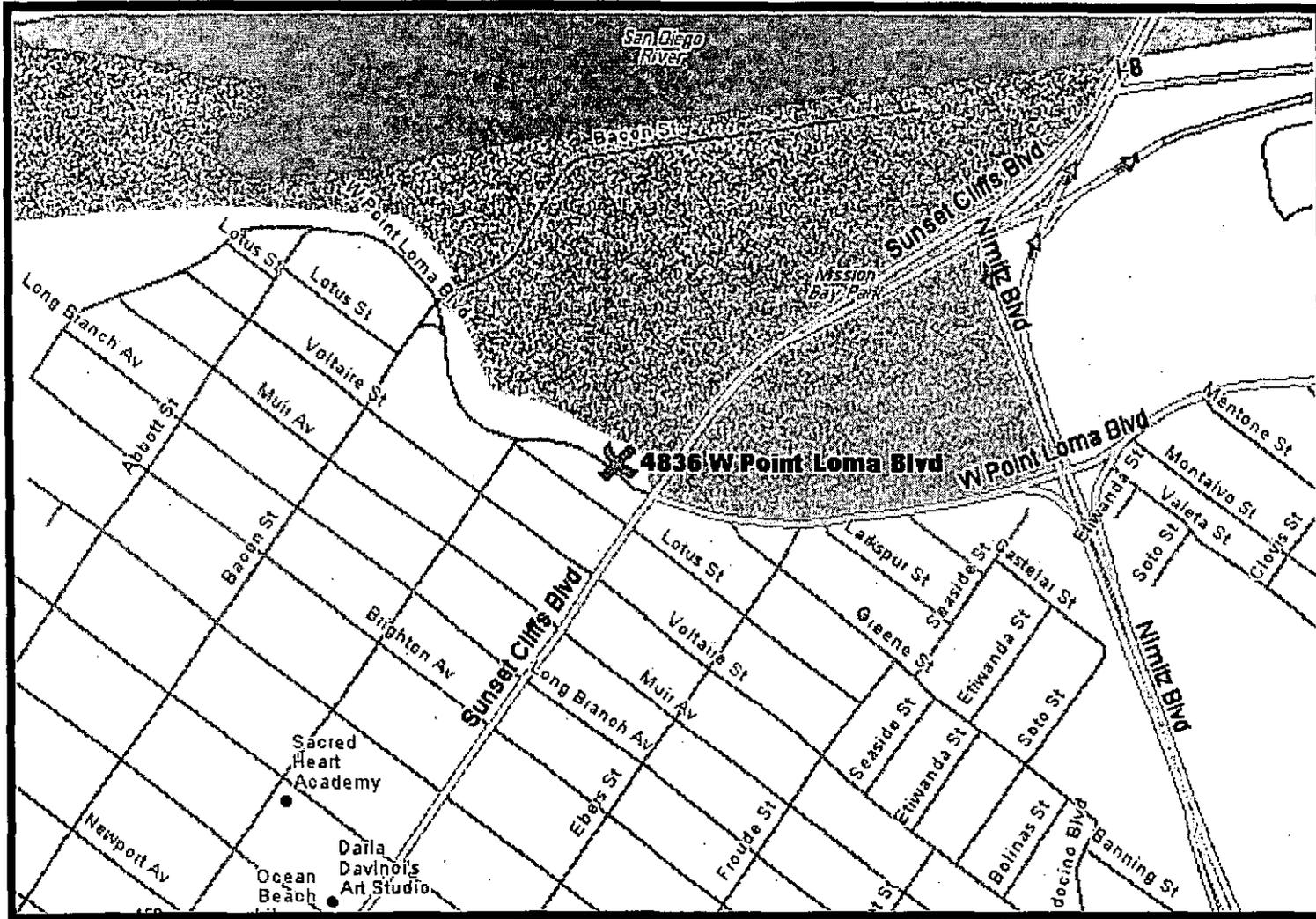
Mike Westlake  
Program Manager  
Development Services Department



Laila Iskandar  
Development Project Manager  
Development Services Department

**Attachments:**

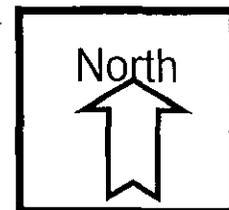
1. Site Location
2. Aerial Photo
3. Land Use Plan
4. Site Photos
5. Project Plans
6. Building Height Survey
7. SANDAG Smart Growth Concept Map
8. Project Data Sheet
9. Community Planning Group Recommendation
10. Permit
11. Permit Resolution
12. Airport Authority Consistency Determination
13. Ownership Disclosure
14. Project Chronology



# Project Location Map

**WEST OCEAN BEACH PARK UNITS - PROJECT NO. 95894**

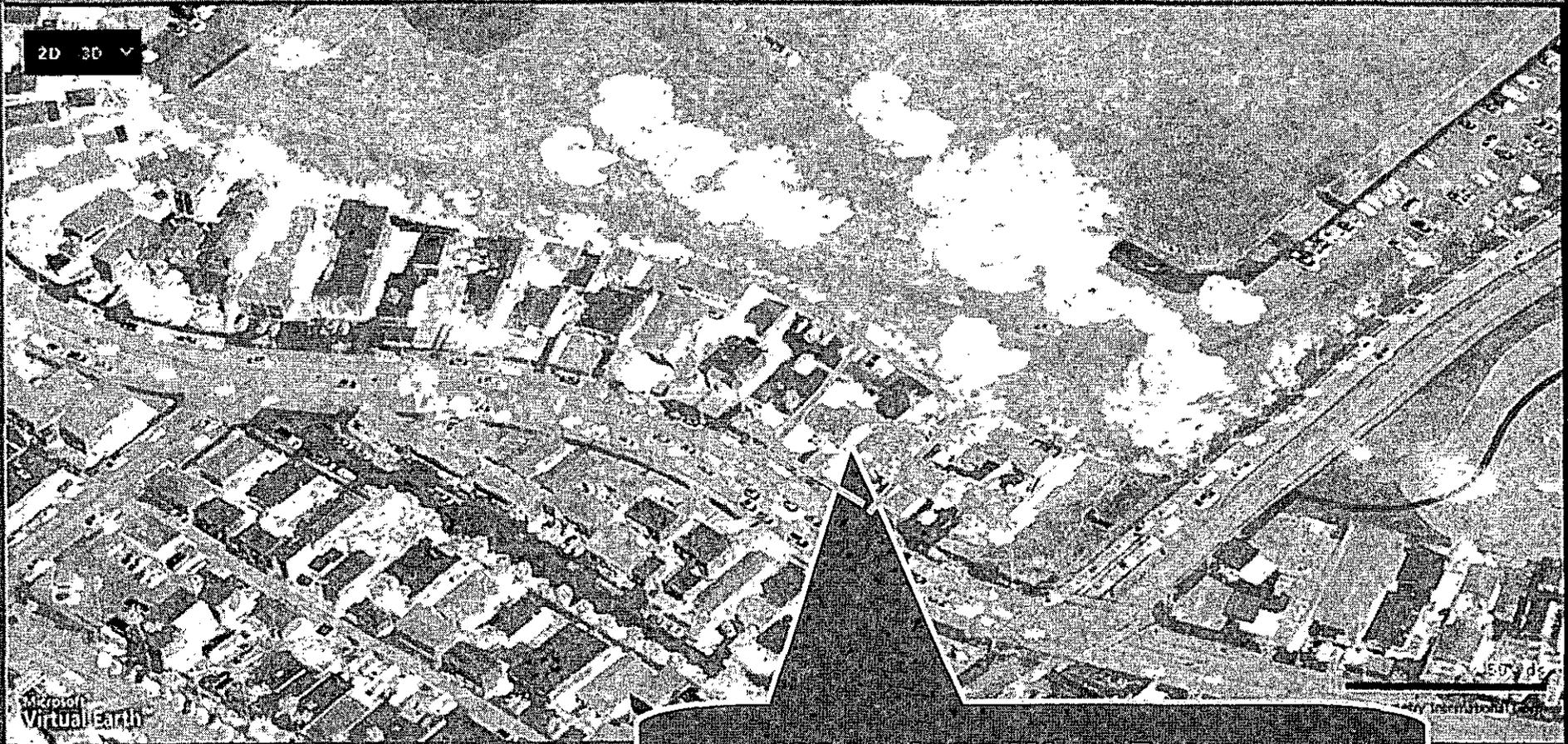
4824-4836 West Point Loma Blvd.



Development Services Department  
Project Management

001271

**Location**



**4824 - 4836 West Point Loma**

ATTACHMENT 0.2

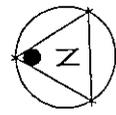
# North Ocean Beach

- 14 DU/AC
- 25 DU/AC\*

\*39 DU/AC ALLOWABLE  
ONLY THROUGH AMPLIFICATION  
UNDER SPECIAL CIRCUMSTANCES

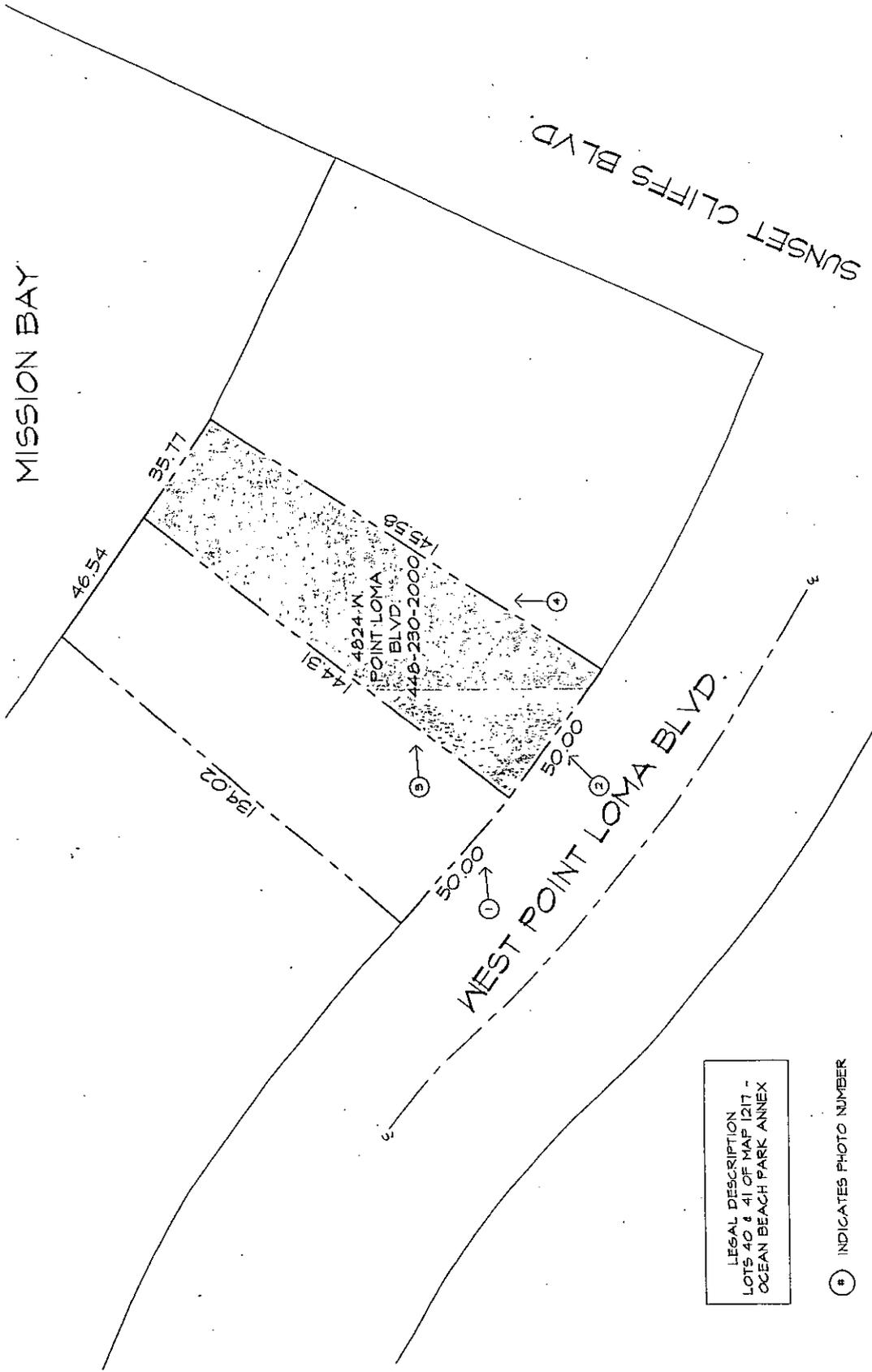


residential  
recommendations



PLOT PLAN

SCALE: 1/32" = 1'-0"



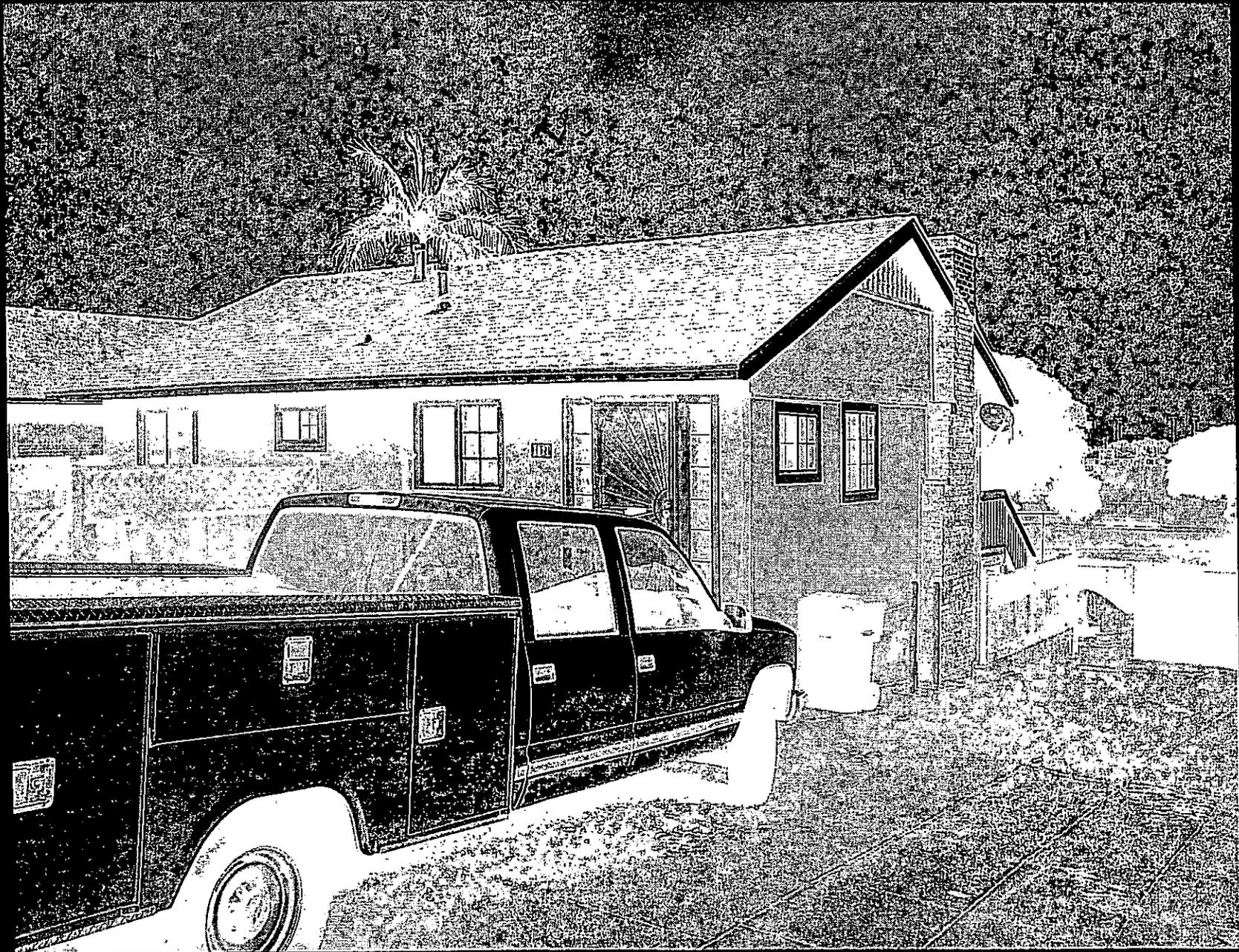
LEGAL DESCRIPTION  
 LOTS 40 & 41 OF MAP 1217 -  
 OCEAN BEACH PARK ANNEX

⊙ INDICATES PHOTO NUMBER

4824 W. POINT LOMA BLVD.



604.73



4824 W. Point Loma Blvd. Photo Survey - view 4

11/30/05



ATTACHMENT 04

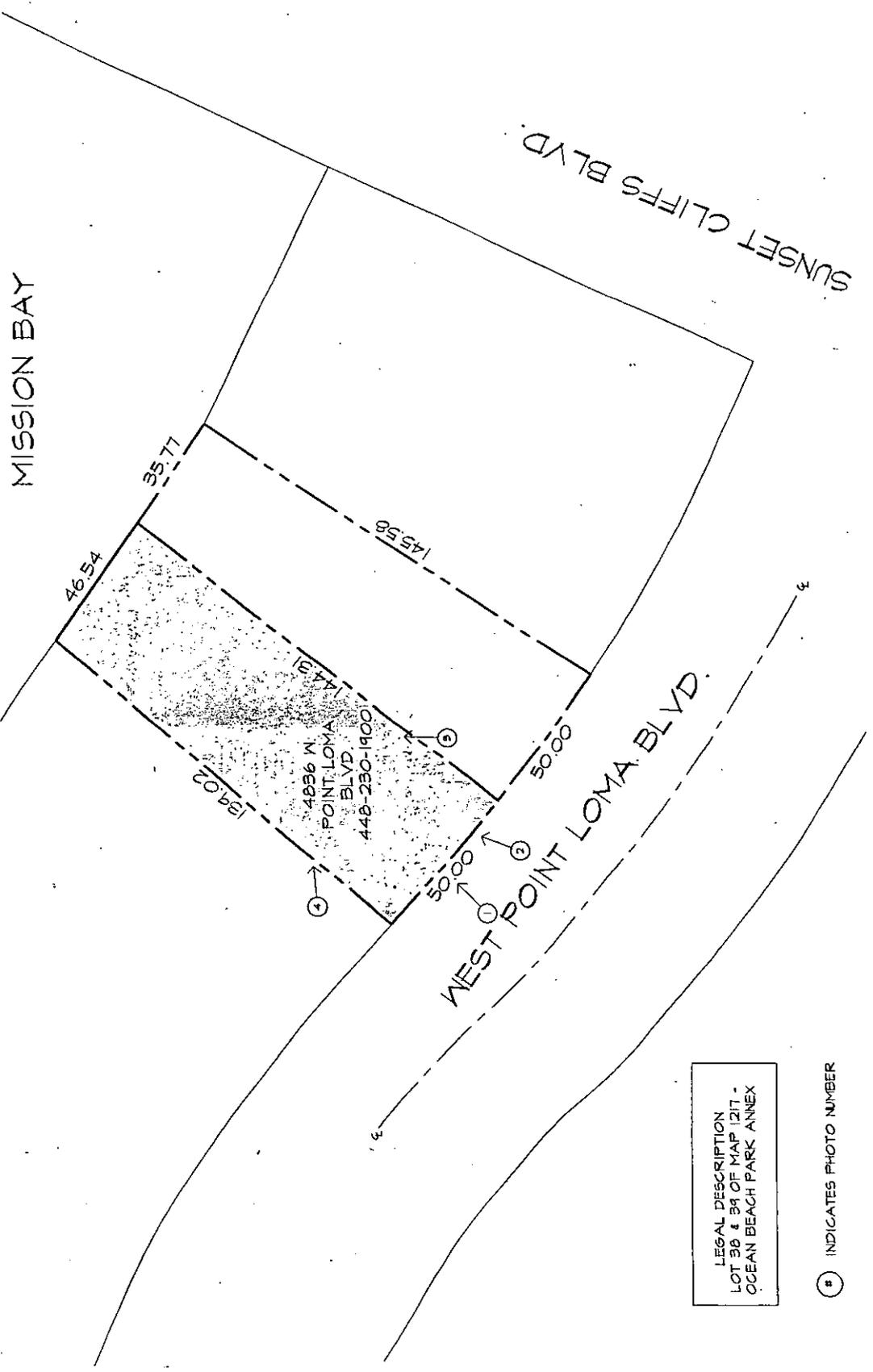
001276



4824 W. Point Loma Blvd. Photo Survey - view 2  
11/30/05

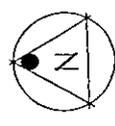


ATTACHMENT 04



LEGAL DESCRIPTION  
 LOT 38 & 39 OF MAP 1217 -  
 OCEAN BEACH PARK ANNEX

① INDICATES PHOTO NUMBER



PLOT PLAN

SCALE: 1/32" = 1'-0"

4836 W. POINT LOMA BLVD.



001278



4836 W. Point Loma Blvd. Photo Survey - view 2

11/30/05



ATTACHMENT 04



001279

4836 W. Point Loma Blvd. Photo Survey - view 3

11/30/05



ATTACHMENT 0 4

# WEST OCEAN BEACH PARK UNITS

03-05-07



## COASTAL DEVELOPEMENT PERMIT RESUBMITTAL SET

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SAN DIEGO, CALIFORNIA  
92107

Project Name:  
WEST POINT LOMA

Sheet Title:

COVER SHEET

Revision 14:  
Revision 13:  
Revision 12:  
Revision 11:  
Revision 10:  
Revision 9:  
Revision 8:  
Revision 7:  
Revision 6:  
Revision 5:  
Revision 4:  
Revision 3:  
Revision 2: 03-05-07  
Revision 1: 10-02-06

Original Date: 02-06-06  
Sheet 1 of 26

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WEST O.B. PARK UNITS  
ARCHITECTURAL SECTION  
SAN DIEGO, CALIFORNIA



110  
10  
10



## PLUMBING:

1. THE WORK CONSISTS OF A COMPLETE SYSTEM AS AN EXTENSION OF THE EXISTING SYSTEM INCLUDING SERVICE CONNECTIONS, DRAIN-WASTE-VENT, HOT AND COLD WATER, AND GAS LINES. EXCAVATION AND CONTRACTED BACK-FILL REQUIRED AND THE INSTALLATION OF ALL FIXTURES, AND TRIM AND APPLIANCES.
2. SERVICE CONNECTIONS SHALL BE MADE BY THE CONTRACTOR. THE CONTRACTOR SHALL DETERMINE DEPTH AND PROPER SLOPE FOR WASTE LINES PRIOR TO ESTABLISHING FLOOR HEIGHT.
3. MATERIALS SHALL BE STANDARD U.S. WATER LINES SHALL BE TYPE K COPPER BELOW GRADE AND TYPE M ABOVE GRADE. WASTE AND VENT SHALL BE ABBOVY.
4. FIXTURES, TRIM AND APPLIANCES.  
THE CONTRACTOR SHALL INSTALL ALL FIXTURES, TRIM AND APPLIANCES TO BE CONNECTED TO THE PLUMBING SYSTEM. THE CONTRACTOR SHALL CORRECT ALL UNITS WHEN DELIVERED TO THE JOB SITE AND REJECT ALL DAMAGED OR INCOMPLETE ITEMS. ALL ACCEPTED UNITS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL COMPLETION OF THE JOB.
5. PROVIDE 2" CLEAR TO TOILET FRONT & 1" CLEAR TO CENTERLINE OF TOILET TO TOILET SIDEWALLS.
6. ALL NEW TOILETS TO BE ULTRA-LOW FLUSH TYPE. (2 1/2 GAL FLUSH)
7. PROVIDE PERMANENT VACUUM BREAKERS AT AT ALL HOSE BIBBS NEW & EXISTING LOCATIONS TYP.
8. MAXIMUM FLOW AT ALL NEW FAUCETS: 2.2 GAL PER MINUTE (GPM).  
MAXIMUM FLOW AT ALL NEW SHOWER HEADS: 2.2 GAL PER MINUTE (GPM).
9. PROVIDE MIXING VALVES AT SHOWERS PER SEC. 400.0 CFC 2001.
10. GAS VENTS AND NON-CONDENSIBLE PIPING IN HALLS PASSING THROUGH THREE FLOORS OR LESS, SHALL BE EFFECTIVELY DRAINED STOPPED AT EACH FLOOR OR CEILING (SEE SECTION 1113)
11. WATER HEATERS SHALL COMPLY WITH SEC. 400.5 CFC 2001 FOR THERMAL EXPANSION REQUIREMENTS.
12. STATE HEALTH & SAFETY CODE SEC. 17014 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER-SUPPLY PIPING.

## ROOM REQUIREMENTS:

1. CEILING HEIGHT AT ALL HABITABLE ROOMS OTHER THAN KITCHENS AND BATHS) SHALL BE A MINIMUM OF 7'-0" (REFER TO PLANS FOR ACTUAL CEILING HEIGHTS).
2. CEILING HEIGHT AT ALL KITCHENS, HALLS, CORRIDORS, LAUNDRY ROOMS, AND BATHROOMS SHALL BE A MINIMUM OF 7'-0" CLEAR. (REFER TO PLANS FOR ACTUAL CEILING HEIGHTS).
3. GLAZING ADJACENT TO DOORS AND GLAZING IN PURD PANELS ADJACENT TO WALKING SURFACES MUST BE OF SAFETY GLAZING (TEMPERED GLASS) MATERIALS.
4. PROVIDE SMOKE DETECTORS AT ALL BEDROOMS PER IFC 2001, SECTION 907.4. HANDPICK ALL SMOKE DETECTORS TO BUILDING ELECTRICAL AT NEW CONSTRUCTION.

## MECHANICAL EQUIPMENT:

### HEATING:

- X  
INSTALLATION MUST COMPLY WITH SECTIONS 904.04, 904 AND 910 OF THE IFC.

### WATER HEATING:

X

## ELECTRICAL NOTES:

1. FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, SPECIALTIES, TRANSPORTATION INCLUDING THE OWNER'S, THEREOF, REQUIRED FOR OR INCIDENTAL TO PERFORM ALL OPERATIONS AND INSTALL THE WORK COMPLETE AS AN EXTENSION OF THE EXISTING SYSTEM.
2. MAKE DETAILED ARRANGEMENTS WITH UTILITY COMPANIES FOR SERVICES, AND PAY ALL FEES AND CHARGES LEVIED BY THEM. NOTIFY UTILITY COMPANIES RE: WORK UNDER THIS SECTION COMPLETES.
3. COMPLETE POWER AND LIGHTING BRANCH CIRCUIT PERMS, INCLUDING JUNCTION BOXES, PULL BOXES, OUTLET BOXES, DEVICES, MATERIALS, AND EQUIPMENT FOR A COMPLETE INSTALLATION.
4. COMPLETE LINE-VOLTAGE PERMS TO AND CONNECTION OF ELECTRICAL EQUIPMENT PROVIDED UNDER OTHER SECTIONS, INCLUDING APPLIANCES, PULL BOXES, OUTLET BOXES.
5. EXCAVATION, CONTRACTED BACK-FILL, AND CONCRETE WORK TO COMPLETE THE WORK UNDER THIS SECTION.
6. ALL OUTLETS AND SWITCHES TO BE DECORATIVE TYPE COLOR BY ARCHITECT.

1. FIELD VERIFY ALL EXISTING CONDITIONS

## SMOKE DETECTORS:

NOTES: DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT, SECTION 907.12.

IN NEW ADDITION PROVIDE PIPED IN SMOKE DETECTORS WITH BATTERY-POWERED BACK-UP POWER IN EACH SLEEPING ROOM AND IN A CENTRAL LOCATION TO PROTECT SLEEPING AREA WHERE EXISTING CONDITIONS DO NOT MEET CURRENT CODE PER SEC. 907.4

IN EXISTING CONSTRUCTION PROVIDE BATTERY OPERATED SMOKE DETECTORS IN EACH SLEEPING ROOM AND IN A CENTRAL LOCATION TO PROTECT SLEEPING AREA WHERE EXISTING CONDITIONS DO NOT MEET CURRENT CODE PER SEC. 907.4

## GENERAL NOTES:

21. ALL PRODUCTS AND MATERIALS REQUIRE SHOP DRAWINGS AND SAMPLE SUBMITTAL FOR ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.
22. THE CONTRACTOR AND THEIR SUBCONTRACTORS ARE RESPONSIBLE FOR REVIEWING THE CONTRACT DOCUMENTS IN DETAIL, INCLUDING DIMENSIONS FOR THE PURPOSE OF CONFIRMING THAT THE WORK CAN BE PERFORMED AS SHOWN PRIOR TO PROCEEDING WITH THE WORK. IF ANY CONFLICTS ARISE, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK IN QUESTION OR WITH RELATED WORK.
23. TYPICAL MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED. "SPECIAL" MEANS COMPATIBLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON THE PLANS.
24. DIMENSIONS ARE TO THE FACE OF STUDS AND/OR CONCRETE BLOCKS UNLESS OTHERWISE INDICATED TO BE TO FINISH DIMENSIONS.
25. OWNER TO OBTAIN A CONSTRUCTION PERMIT FROM THE ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO BEGINNING OF THE PUBLIC RIGHT-OF-WAY. FAILURE TO DO SO WILL RESULT IN A STOP WORK NOTICE AND DOUBLE PENALTY FEES. IT IS THE RESPONSIBILITY OF THE OWNER TO KNOW THESE VARIOUS PROPERTY LINE IS.
26. UTILITIES EXISTING OR TEMPORARY SHALL BE LOCATED AND MARKED BY THE CONTRACTOR TO AVOID DAMAGE OR PERSONAL INJURY. CONTRACTOR TO PROVIDE ALL TEMPORARY UTILITIES REQUIRED DURING CONSTRUCTION.
27. THE PROJECT AREA AND BUILDING SITE SHALL BE MAINTAINED IN A SAFE CONDITION FREE FROM THE ACCUMULATION OF DEBRIS AND SCRAP MATERIAL.
28. THE HIGHEST PROJECTION OF ANY PART OF THE BUILDING INCLUDING: CHIMNEYS, VENTS, TOWERS, ETC. SHALL NOT EXCEED 30' ABOVE GRADE (APPLIES TO PROJECTS WITH INTERSTATE 5 ONLY).
29. THE CONTRACTOR SHALL, UPON SUBSTANTIAL COMPLETION, FURNISH THE ARCHITECT AND NEW HEREON WITH A COPY OF THE FINISHED PERMITS.

## BIDDING NOTES:

1. THE CONTRACTOR SHALL INSPECT THE PREMISES DURING THE COURSE OF BIDDING AND PRIOR TO THE START OF CONSTRUCTION IN ORDER TO BE FAMILIAR WITH POSSIBLE FIELD CONDITIONS THAT MAY ARISE. SUCH CONDITIONS ARE TO BE REFLECTED AND QUANTIFIED IN THE BID.

## DEMOLITION NOTES:

1. CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT DAMAGE TO ADJACING AREAS, THESE APPLICABLE.
2. CONTRACTOR TO REFER TO NEW FLOOR PLANS AND SITE PLANS FOR PRECISE LIMITS OF CONSTRUCTION. CONSULT ARCHITECT IN AREAS OF UNCERTAINTY OR DISCREPANCY.
3. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY DRAGS, SHORING, AND SUPPORT NECESSARY TO ACHIEVE THE FINISHED STRUCTURE.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT AND ENGINEER SHALL BE NOTIFIED, IN WRITING, IMMEDIATELY OF ANY DISCREPANCIES. DIMENSIONS SHOULD NOT BE SCALED FROM PLANS AND ELEVATIONS, SECTIONS, OR DETAILS OF THESE DRAWINGS.

## FIRE DEPT. NOTES:

1. INTERIOR FINISH SHALL COMPLY WITH CODES AS FOLLOWS:  
USE CHAPTER 9
2. BUILDING MATERIALS SHALL BE EASILY VENTILATED AND REMOVED FROM THE STREET OR ROAD FRONTING PROPERTY. (I.F.C. SECTION 904.4)
3. THE CONTRACTOR SHALL VERIFY THE QUALITY OF A BUILDING SHALL COMPLY WITH IFC 2001, SECTION 907.1.

## VENTILATION NOTE:

EXHAUST FAN / VENTILATION SYSTEM TO PROVIDE A MINIMUM OF 8 AIR CHANGES PER HOUR - DISCHARGING TO THE EXTERIOR OF THE BUILDING NOT CLOSER THAN 8 FT. FROM ANY EXTERIOR OPENING.

## GENERAL NOTES:

1. THE SPECIFICATIONS, UNDER SEPARATE COVER, ARE AN INTEGRAL PART OF THESE CONSTRUCTION DOCUMENTS.
2. THE RECOMMENDATIONS CONTAINED IN THE BILLS REPORT FOR THE WORK AND DESIGNATION EDUCATION AREA PART OF THIS REPORT. A COPY OF THIS REPORT IS AVAILABLE AT THE OFFICE OF THE ARCHITECT.
3. THE CONTRACTOR SHALL, AS PART OF THIS CONTRACT, FURNISH ALL MATERIALS, LABOR, TRANSPORTATION AND EQUIPMENT AND PROPERLY INSTALL ALL WORK SPECIFIED HEREIN, AS SHOWN ON THE DRAWINGS, OR REASONABLY REQUIRED TO COMPLETE THE CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF HIS WORK IN THE MANNER AND FORM PRESUMED BY THE PLANS AND SPECIFICATIONS. REPORT DISCREPANCIES, OMISSIONS OR CONFLICTS IN THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING ANY FINAL BIDS OR COMMENCING WITH ANY WORK.
5. CONTRACTORS ARE TO PROTECT ALL PROPERTY AND THE WORK OF ALL OTHER TRADES AGAINST DAMAGE OR DELAY CAUSED BY ACTIVITY OF ANOTHER SUBCONTRACTOR OR SEPARATE CONTRACTOR. ANY DISCREPANCIES WITH OTHER TRADES WORK SHALL BE REPORTED TO THE GENERAL CONTRACTOR AND THE ARCHITECT PRIOR TO COMMENCING ANY WORK.
6. ALL CONSTRUCTION AND INSTALLATIONS SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND REGULATIONS WHICH GOVERN THIS TYPE OF CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE CURRENT ADOPTED EDITION OF THE UNIFORM BUILDING CODE PART EXISTING WORK, PLUMBING CODE, NATIONAL ELECTRICAL CODE AND TITLE 24.
7. CONTRACTORS SHALL INDIVIDUALLY MAINTAIN FOR ONE YEAR ALL MATERIALS AND WORKMANSHIP EXCEPT AS OTHERWISE NOTED.
8. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. DETAIL DRAWINGS SHALL TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. IN THE EVENT OF A CONFLICT, THE CONTRACTOR IS TO IMMEDIATELY NOTIFY THE ARCHITECT IN THE DRAWINGS PRIOR TO STARTING ANY PORTION OF WORK.
9. WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, DETAILS SHALL BE THE BANE AS FOR OTHER SIMILAR WORK OR FOR MANUFACTURER'S STANDARD DETAILS AND INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
10. ITEMS SPECIFIED ON PLANS AND SPECIFICATIONS REPRESENT THE TYPE AND QUALITY REQUIRED. SUBCONTRACTORS MAY SUBSTITUTE "EQUAL" ITEMS IN THEIR BID WHEN APPROVED IN WRITING BY THE OWNER AND ARCHITECT.
11. CONTRACTOR SHALL, UPON COMPLETION OF HIS WORK, CLEAN AND CLEAR THE ENTIRE AREA OF ALL DEBRIS OR ANY OTHER MATERIAL CAUSED BY HIS OPERATION.
12. THE OWNER RESERVES THE RIGHT TO INCREASE, DECREASE OR REDUCE THE SCOPE OF THIS WORK. ALL CHANGES TO THIS CONTRACT SHALL BE NOTED THROUGH THE ARCHITECT.
13. CONTRACTOR SHALL NOT MAKE CHANGES OR DO ANY EXTRA WORK WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR HIS AUTHORIZED REPRESENTATIVE.
14. THE ARCHITECT SHALL IN NO WAY BE RESPONSIBLE FOR HOW THE FIELD WORK IS PERFORMED IN OR ON AROUND THE JOB SITE OR FOR METHODS OR TECHNIQUES OF PERFORMANCE OF THE WORK.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OR REPAIR WITHOUT DAMAGE OF ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES ENCOUNTERED IN AREAS WHERE EXCAVATIONS ARE NECESSARY AND SHALL REPAIR ANY SUCH DAMAGE AT HIS OWN EXPENSE. UTILITY LINES SHALL BE PROPERLY PROTECTED WHERE THEY MUST BE MAINTAINED UNDER A BUILDING.
17. THESE DRAWINGS ARE ISSUED AS A SET AND ARE NOT TO BE SEPARATED.
18. ALL CONSTRUCTION SHALL CONFORM WITH THE BUILDING DEPARTMENT SHIPPED AND APPROVED SET OF DRAWINGS.
19. THE STANDARD CONDITIONS OF THE CONTRACT FOR CONSTRUCTION STANDARD FORM OF THE AMERICAN INSTITUTE OF ARCHITECTS, LATEST EDITION IS HEREBY MADE A PART OF THESE DRAWINGS.
20. THE CONTRACTOR IS TO MAINTAIN ALL EXISTING CONDITIONS IN A WATERPROOF AND PROTECTED STATE DURING THE COURSE OF DEMOLITION AND ALL REPAIR AND CONSTRUCTION WORK.
21. ALL PARTIERS ON THIS PROJECT ARE TO BE CORROSION RESISTANT, I.E. GALVANIZED STEEL, OR DUAL.
22. SMOKE DETECTORS SHALL BE INSTALLED PER THE REQUIREMENTS OF THE CURRENT EDITION OF THE UNIFORM BUILDING CODE IN ANY ROOM AS REQUIRED FOR THE CODE.
23. ALL SHEET METAL AND INTERIOR INSTALLATIONS SHALL COMPLY WITH THE LATEST EDITION OF THE S.M.A.G.A. PRACTICE MANUAL.
24. ALL SHEET METAL FLASHING MATERIALS ARE TO BE PREPARED (ETCHED) AND PRIMED ON ALL SURFACES PRIOR TO INSTALLATION. THE GRAIN OF THE METAL IS TO BE APPLIED TO ALL SURFACES. PROVIDE TOUGHENED PROTECTIVE INSTALLATION OF ANY METAL PIECES ON WHICH PRIMER IS APPLIED DUE TO TRANSPORTATION OR JOB CONDITIONS.
25. ALL SURFACES, JOINTS, EDGES AND PLANES ARE TO BE MAINTAINED AND COMPLETED IN A WATERPROOF MANNER. SHOULD THE CONTRACTOR DISCOVER OR HAVE KNOWLEDGE OF ANY DETAIL OR CONDITION THAT MAY NOT BE WATERPROOF OR CORROSION, THE CONDITION SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR REVIEW AND ANY RECOMMENDATIONS.
26. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCY OR VARIATION FROM THE USE OF THE ORIGINAL DRAWINGS OR THE ORIGINAL CONSTRUCTION DOCUMENTS THAT WOULD AFFECT THE PERFORMANCE OR INSTALLATION OF ANY TYPICAL OR SIMILAR CONSTRUCTION DETAIL.

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4824 N. POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA  
92121

Project Name:  
WEST POINT LOMA

Sheet Title:  
**GENERAL NOTES**

Revision 14:  
Revision 13:  
Revision 12:  
Revision 11:  
Revision 10:  
Revision 9:  
Revision 8:  
Revision 7:  
Revision 6:  
Revision 5:  
Revision 4:  
Revision 3:  
Revision 2:  
Revision 1: 02-03-07  
Revision 1: 10-02-06

Original Date: 02-06-06  
Sheet 5 of 26

**GOIBA ARCHITECTURE**  
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**WEST O.B. PARK UNITS**



**GOIBA**  
T 12

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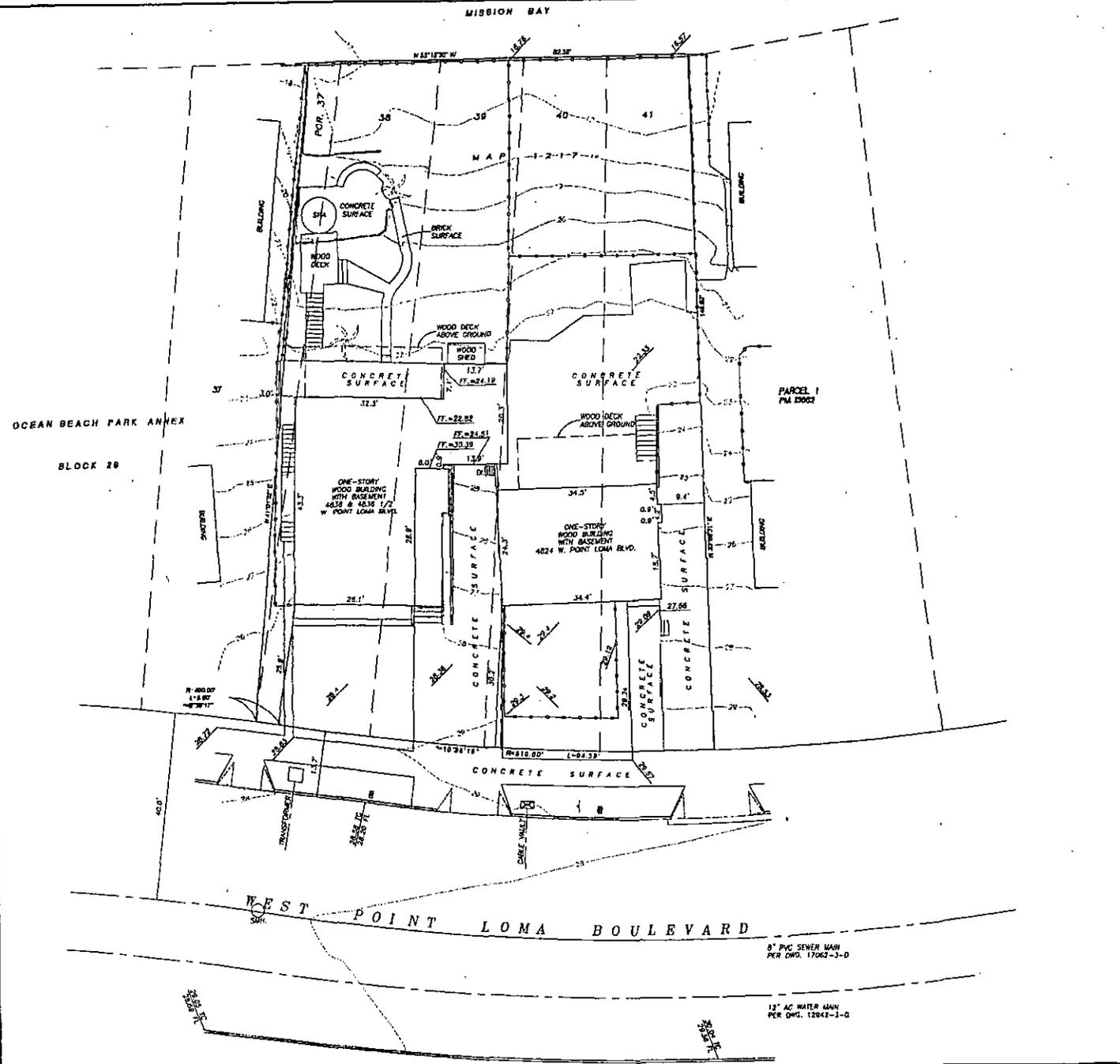
ATTACHMENT 05

001283



TOPOGRAPHIC SURVEY		
For the exclusive use of <b>MR. MARC CICHETTO</b> 4444 MISSION BOULEVARD SAN DIEGO, CALIFORNIA 92109		
San Diego Land Surveying & Engineering, Inc.		
9666 Chesapeake Drive, Suite 448, San Diego, California 92123-1554 (606) 565-8268 FAX (606) 565-4854		
Date: 2-14-00	Revised:	Revised:
Scale: 1"=10'-0"	Drawn by: N.S.S.	Sheet 4 of 25 Sheets
Drawing: WPL10000482415	A.P.N.:	448-230-19,20

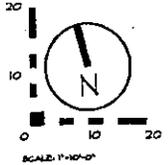
ROBERT J. BATEMAN, P.L.S. 7046



**LEGAL DESCRIPTION:**  
 LOTS 38, 39, 40 AND 41 OF OCEAN BEACH PARK BEACH AREA IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1217, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 23, 1909.  
 ALSO THAT PORTION OF LOT 37 IN BLOCK 28 OF OCEAN BEACH PARK ANNEX, DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE MOST SOUTHERLY CORNER OF SAID LOT 37, THENCE NORTH-EASTERLY ALONG THE SOUTHEASTERLY LINE OF SAID LOT 138.02 FEET TO THE NORTHEASTERLY CORNER THEREOF THENCE NORTH 55°30' WEST, ALONG THE NORTHERLY LINE OF SAID LOT 7.00 FEET, THENCE SOUTHEASTERLY TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PORTION IF ANY, HERETOFORE, NOW LYING BELOW THE MEAN HIGH TIDE LINE OF MISSION BAY, FORMERLY FALSE BAY.

**BENCH MARK:**  
 CITY OF SAN DIEGO BN. NORTHWEST BRASS PLUG WEST POINT LOMA BLVD. AND SUNSET CLIFFS BLVD. ELEVATION= 29.213 M.S.L.

- LEGEND:**
- I — INDICATES FINISH FLOOR
  - FT — INDICATES WATER METER
  - DI — INDICATES DRAIN INLET
  - S — INDICATES SIGN
  - — — — — INDICATES CHAIN LINK FENCE
  - — — — — INDICATES CHAIN LINK FENCE
  - — — — — INDICATES ROCK OR BLOCK WALL



Prepared By:  
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 4824 W. POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA 92101

Revision 14:  
 Revision 13:  
 Revision 12:  
 Revision 11:  
 Revision 10:  
 Revision 9:  
 Revision 8:  
 Revision 7:  
 Revision 6:  
 Revision 5:  
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 Revision 3:  
 Revision 2: 09-05-07  
 Revision 1: 10-02-06

Project Name:  
 WEST POINT LOMA

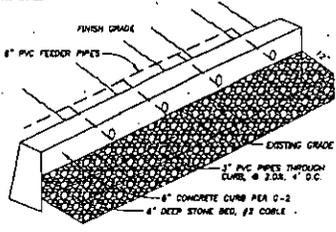
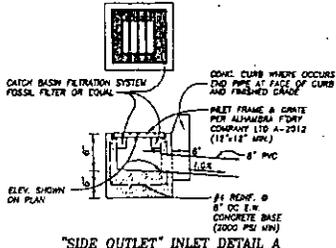
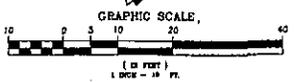
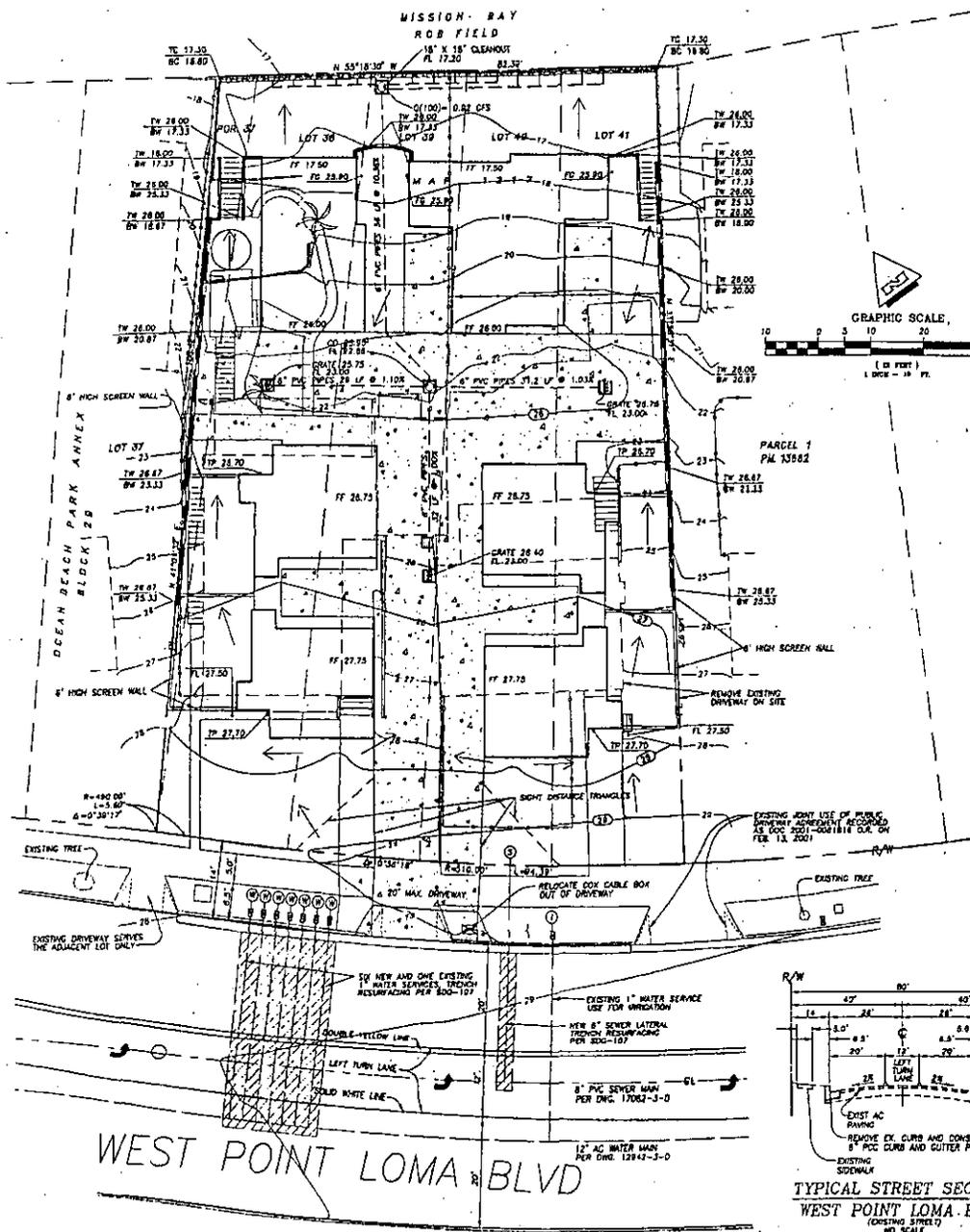
Original Date: 02-06-06  
 Sheet 4 of 26

Sheet Title:  
**TOPOGRAPHIC SURVEY**

ATTACHMENT 05



# 4824 WEST POINT LOMA BLVD. CONCEPTUAL GRADING PLAN



GRAZING TABULATION: TOTAL SITE AREA (3,002.02 AC.)

ITEM	AREA	%
TOTAL AMOUNT OF SITE TO BE GRADED	13,078 SF	0.02%
AMOUNT OF SITE WITH 25 PERCENT SLOPE OR >	0 SF	0.00%
AMOUNT OF SITE WITH SLOPES SUBJECT TO E.S.L.	0 SF	0.00%
AMOUNT OF FILL	743 CY	
AMOUNT OF CUT	336 CY	
MAX. DEPTH OF FILL	8 FT	
MAX. DEPTH OF CUT	5 FT	
MAX. HEIGHT OF FILL SLOPE	0 FT	
MAX. HEIGHT OF CUT SLOPE	0 FT	
REPORT SIDE	347 CY	
RETAINING WALLS	LENGTH 200'	
	MAX HEIGHT 9'	

- NOTE:
- NO PROPOSED OR EXISTING BUILDINGS/STOPS ARE ADJACENT TO THIS SITE.
  - PRIVATE IMPROVEMENTS CONSIST OF THE DEMOLITION OF ALL ON SITE EXISTING FACILITIES, WALLS, FOUNDATIONS, AND BUILDINGS, THE CONSTRUCTION OF A RESIDENTIAL UNIT, STORM DRAIN SYSTEM, HARDSCAPE, LANDSCAPING AND IRRIGATION.
  - PUBLIC IMPROVEMENTS CONSIST OF THE CONSTRUCTION OF A 20' WIDE DRIVEWAY PER G-148, CONSTRUCT FIVE (5) 1" WATER SERVICES, ONE EXISTING WATER SERVICE TO REMAIN IN PLACE, ONE EXISTING WATER SERVICE TO BE USED FOR IRRIGATION OF THE RIGHT-OF-WAY, A 6" SEWER LATERAL, REMOVE EXISTING CURB AND REPLACE WITH 8" TYPE C CURB AND GUTTER PER G-2.
  - DRAINAGE SYSTEM PROPOSED FOR THIS SITE: A SYSTEM OF GRADED INLETS EQUIPPED WITH POSSES, FILTERS, PVC STORM DRAIN PIPES AND A CENTRAL SYSTEM OF 12" PIPES AND ROCK FILLED TRUNK. STORM WATER TO SHEET FLOW ONTO THE ADJACENT PARK AS DOES THE EXISTING STORM WATER.
  - ALL EXISTING ON-SITE SURFACE IMPROVEMENT TO BE REMOVED INCLUDING THE EXISTING STRUCTURES AND FOUNDATIONS.
  - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE EXISTING PERMANENT PUBLIC IMPROVEMENTS.
  - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
  - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPP) WHICH SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.



LEGEND:

PROPERTY LINE	--- --
SETBACK LINE	--- --
BUILDING AND AC PAVING	--- --
PCC DRIVEWAY OPENING	--- --
PCC SIDEWALK	--- --
PCC CURB AND GUTTER	--- --
PCC CURB	--- --
DIRECTION OF DRAINAGE	--- --
PRIVATE STORM DRAIN	--- --
PRIVATE STORM DRAIN INLET	--- --
CURB OUTLET	--- --
SEWER UNDERDRAIN	--- --
SEWER LATERAL	--- --
WATER SERVICE	--- --
EXISTING POWER POLE	--- --
EXISTING FIRE HYDRANT	--- --
EXISTING WALL	--- --
EXISTING WATER METER	--- --

TC = TOP OF CURB  
TF = TOP OF FINISH FLOOR  
TW = TOP OF WALL  
BW = BOTTOM OF WALL  
NG = NATURAL GRADE  
FF = FINISH FLOOR  
FG = FINISH GRADE  
FL = FLOW LINE  
GT = GUTTER ELEVATION  
CE = CURB ELEVATION  
SC = SEWER CLEAN OUT  
SM = SEWER MANHOLE

ENGINEER OF WORK:

SAN DIEGO LAND SURVEYING & ENGINEERING, INC.  
8585 CHEVYCHASE DRIVE, SUITE 443  
SAN DIEGO, CALIFORNIA 92123 (619) 568-6342  
PROJECT NO. 442-233-20  
DWG. NO. WESTPOINTLOMA24-COP.DWG

APPROVED: MICHAEL J. WATTS, P.E., 35491 DATE: 02-20-2007  
REGISTRATION EXPIRES SEPTEMBER 30, 2007

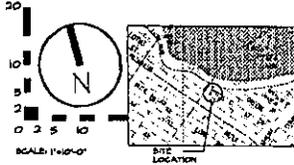


<p>Prepared By:</p> <p>SAN DIEGO LAND SURVEYING AND ENGINEERING, INC. 8585 CHEVYCHASE DRIVE, SUITE 443 SAN DIEGO, CA 92123 888-888-8882</p> <p>Consultants:</p> <p>COLLA ARCHITECTURE, INC. 1024 LAUREL STREET, SUITE 108 SAN DIEGO, CA 92101 619-251-8996 FAX: 619-251-4286</p> <p>Location Address:</p> <p>TCPA 8446 WEAVER STREET, SUITE 470 SAN DIEGO, CA 92121 662-628-0888 FAX: 619-488-6884</p> <p>San Engineer:</p> <p>NAME: ADDRESS: PHONE AND FAX:</p> <p>Inspector:</p> <p>City of San Diego 381 NORTHPOINT DRIVE PLUS WEST POINT LOMA BLVD AND BEACH BLVD ELEVATION: 2618 S.E.L.</p> <p>Project Log/Description:</p> <p>4824 W. POINT LOMA BLVD. IS A 1.5 AC. LOT IN THE WEST POINT LOMA AREA IN THE CITY OF SAN DIEGO, CO. THE PROPOSED PROJECT IS A RESIDENTIAL UNIT. THE CITY OF SAN DIEGO HAS REVIEWED THE CITY FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 18, 2006.</p> <p>ALSO THAT PORTION OF LOT 39 IN BLOCK 10 OF BEACH PARK PLAZA AREA, DISTRICT 12.</p> <p>Consideration of the fact that the proposed subdivision of this lot is a subdivision of a residential lot, the City of San Diego hereby certifies that the proposed subdivision is in compliance with the provisions of the Subdivision Map Act, Chapter 462 of the California Government Code, and the provisions of the Subdivision Map Act, Chapter 462 of the California Government Code, and the provisions of the Subdivision Map Act, Chapter 462 of the California Government Code.</p> <p>Landmark Contribution:</p>	<p>VICINITY MAP NO SCALE</p> <p>Project Bid Conditions: Existing developed site.</p> <p>Source of Topography: A 6" x 6" survey by San Diego Land Survey on 7-22-2008</p> <p>Project Permits Pending: County Development Permit Building Permit Grading Permit Public Improvement Permit</p> <p>Project Data: Construction Type: 0 Occupancy Classification: 0/0 Number of Stories: 1/1 Proposed Use: Single Family Res. Building Use: Single Family Res. Zone Designation: Building Code: CBS 1988 &amp; LBC 1997 Year of Construction (as of 2/20/07): 1912 Original Plans (EPA): Floor Area Ratio (FAR): 1</p>
<p>Project Name:</p> <p>4824 W. Point Loma Blvd.</p> <p>Sheet Title:</p> <p>CONCEPTUAL GRADING PLAN</p>	<p>Project Address:</p> <p>4824 West Point Loma Blvd. San Diego, CA 92121 A.P.N. 442-233-10</p> <p>Project Owner:</p> <p>Ramon Gomez Properties 4444 Mission Blvd San Diego, CA 92104</p> <p>Scale:</p> <p>1" = 10'</p> <p>Original Date: November 28, 2006 Revised: 7/28, 14, 2007</p> <p>Revision:</p>



**STAIR NOTES:**  
 GRADE TO CORNER OF DECK  
 TYP. RISE = 7 1/2" EA.  
 TYP. TREAD = 11" EA.  
 NO. OF RISERS = 14  
 TOTAL RISE: 105"  
 TYPICAL WALL HANDRAILS  
 1 1/2" DIA. STL. HANDRAIL @ 34" HT. ABOVE  
 STAIR nosing TYP. BOTH SIDES HANDRAILS  
 RETURN @ 2" DIA. TYP.  
 NOTE: 1 1/2" HIG. CUR. @ WALL TO HANDRAIL.

- PLAN NOTES**
- REMOVE EXISTING CONCRETE & FILL TO MATCH EXISTING LANDSCAPING & PARKWAY.
  - EXISTING CURB & SUTTER PER CITY STANDARD DRAWING.
  - TRIANGULAR VISIBILITY AREA PER BEAS SEC. 43.02(B)(4). NO OBJECTS HIGHER THAN 34" IN VISIBILITY AREA PERMITTED.
  - REMOVE & RELOCATE EXISTING CABLE VALVE.
  - LINE OF WALL ABOVE.
  - REMOVE AND COLORED CONCRETE DRIVEWAY PER LANDSCAPE PLAN. SEE SHEET 28 FOR MORE INFO.
  - 4'-0" X 8'-0" BEST PARKING SPACE.
  - EXISTING WATER METER TO REMOVE.
  - DO NOT REMOVE WALL PER BRADSHAW PLAN. SEE SHEET 9 OF 28.
  - CONCRETE STEPPING PADS PER LANDSCAPE PLAN.
  - EXISTING SHARED DRIVEWAY TO REMOVE.
  - EXISTING DRIVEWAY TO REMOVE.
  - REMOVE EXISTING SIDEWALK, PARKWAY, AND CURB/VALVE.
  - 8'-0" X 8'-0" MOTORCYCLE PARKING SPACE.
  - EXISTING 208V POWER TRANSFORMER TO REMOVE.
  - 4'-0" X 8'-0" OUTDOOR REPAIR STORAGE AREA.
  - 4'-0" X 8'-0" OUTDOOR RECYCLE STORAGE AREA.



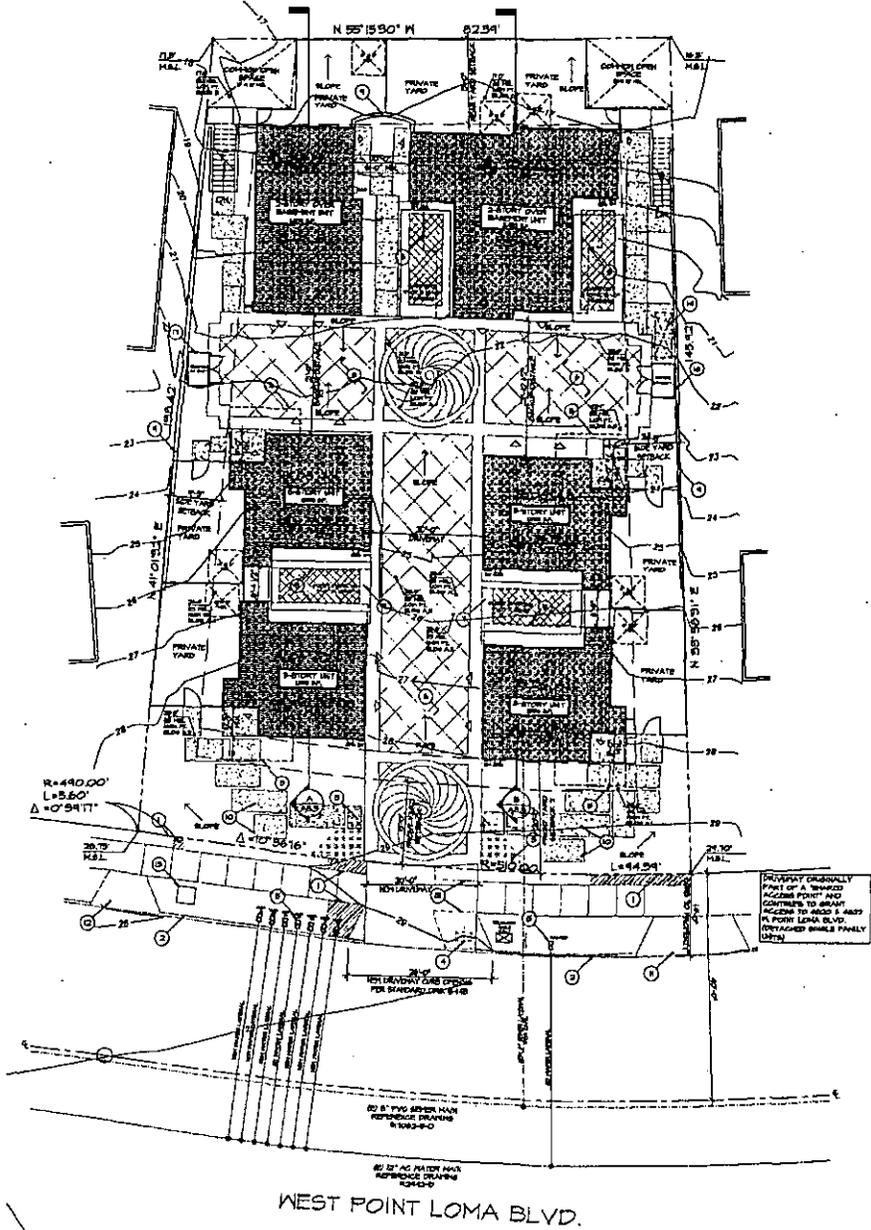
Prepared By:  
 Ricardo Torres  
 Golba Architecture  
 936 Ninth Avenue  
 San Diego, CA 92101  
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- Revision 14:
- Revision 13:
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- Revision 6:
- Revision 5:
- Revision 4:
- Revision 3: 05-05-07
- Revision 2: 10-02-06
- Revision 1:

Project Name:  
 WEST POINT LOMA

Original Date: 02-06-06  
 Sheet 6 of 26

Sheet Title:  
**SITE PLAN**



**SPECIAL PLAN NOTE #1:**  
 THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 90'-0" ABOVE THE GRADE (SDAG 100.000B (3)).

**SPECIAL PLAN NOTE #2:**  
 REPLACE ALL EXISTING CURB & SUTTER PER CITY STANDARD DRAWING. USE STANDARD DRAWING 63, 63 & 63-02.

**SPECIAL PLAN NOTE #3:**  
 SEE SHEET 21 FOR TOPOGRAPHIC INFO, C3 FOR PROPOSED SHADING PLAN, AND SHEET 28 FOR DETAILED LANDSCAPE PLAN.

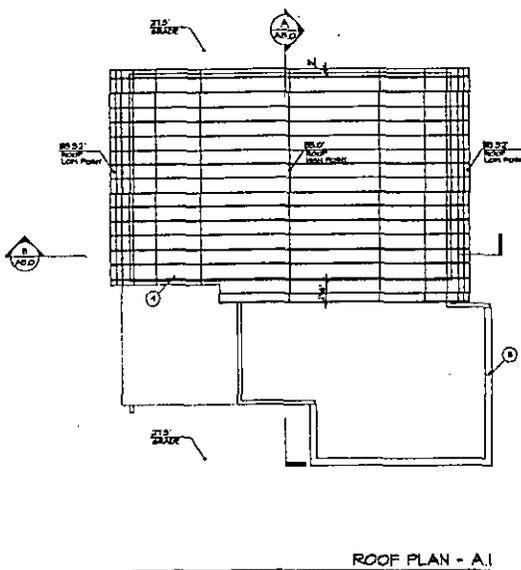
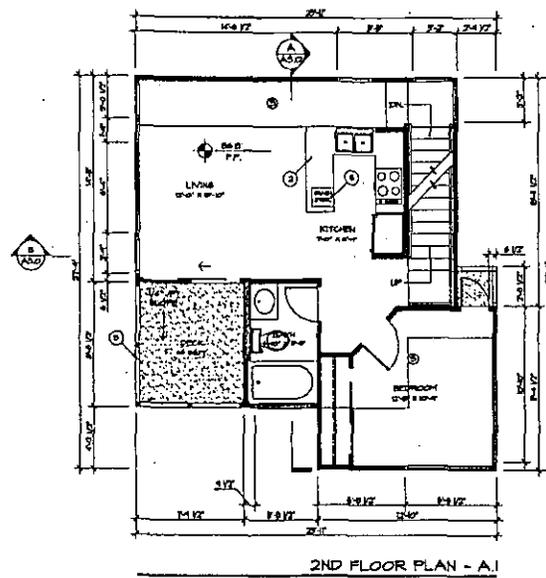
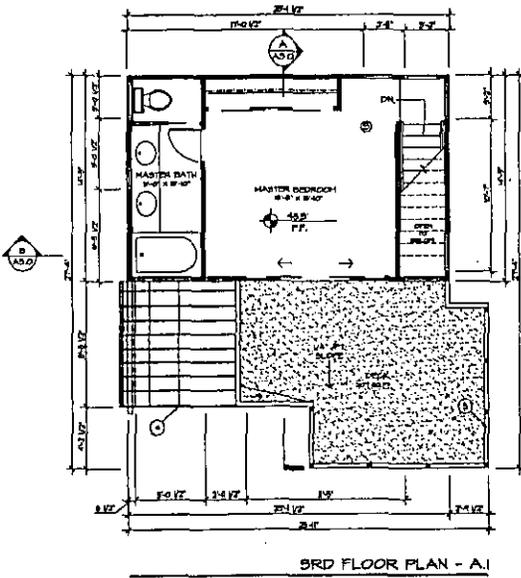
**SPECIAL PLAN NOTE #4:**  
 NO PARKING WILL BE PERMITTED IN THE DRIVEWAY, REAR CURBS OR FIRE LANE SPACES AND REQUIRED. PROVIDE FIRE ACCESS ROADWAY SPACES OR REAR CURBS IN ACCORDANCE WITH THIS POLICY A-001.

**PARKING BREAKDOWN**

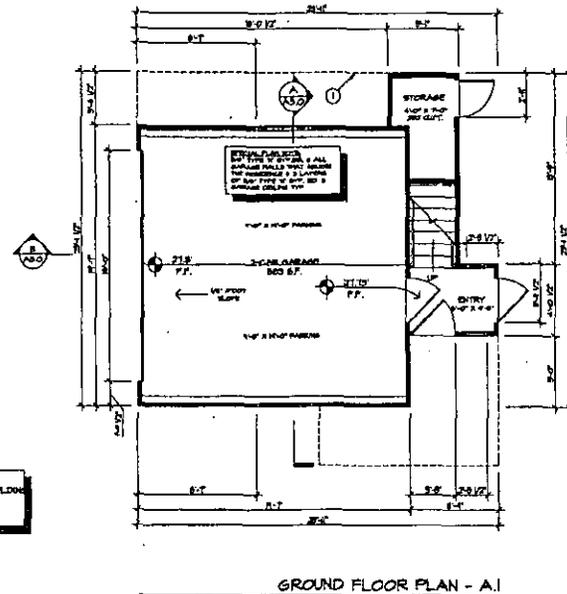
BUILDING	UNIT 1			UNIT 2		
	A1	A3	A4	B	C	D
NO. OF BORDS	2	2	3	2	3	3
PARKING REQ'D PER TABLE 143-CRG	3.25	2.25	3.25	3.25	3.25	3.25
NO. OF PARKING SPACES PROVIDED	3.0	3.0	3.0	3.0	3.0	3.0
PARKING DIMENSIONS	8'-0" X 15'-0"					

OVERALL TOTAL	SITE
TOTAL PARKING REQ'D	13.75
NO. OF PARKING SPACES PROVIDED	16
NO. OF BICYCLE SPACES PROVIDED	N/A
NO. OF MOTORCYCLE SPACES PROVIDED	1

BICYCLE RACKS ARE NOT REQUIRED FOR A DWELLING UNIT WITH A GARAGE ACCESSIBLE ONLY BY RESIDENTS OF THE DWELLING UNIT. FOR FOOTNOTE 80 PER TABLE 143-CRG.



SPECIAL PLAN WITH  
HORIZONTAL FLOOR PLANS FOR VIEW OF BUILDING.  
A.1, SEE SHEET A01 FOR MORE  
INFORMATION & ORIENTATION.



- PLAN NOTES:**
- ① LINE OF WALL ABOVE
  - ② 36" A.P.F. KITCHEN COUNTER
  - ③ 36" A.P.F. DECK RAILING
  - ④ COPPER METAL BEADED ROOF
  - ⑤ 36" A.P.F. DECK RAILING BELOW
  - ⑥ INTERIOR WALLS & RECYCLABLE STORAGE & SUIT. TOTAL

**STAIR NOTES:**

**DOWN TO 2ND FLOOR (PLAN CALL 1-2-2-1)**  
 TYP. RISE = 7 1/2" DA  
 TYP. TREAD = 10" DA  
 NO. OF RISERS = 14

**TOTAL RISE: 104" PLATE HEIGHT**  
 8 1/2" FLOOR JOIST  
 3/4" PLY. & LANDING  
 1/4" GYP. TOTAL RISE

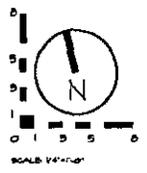
**2ND TO 3RD FLOOR (PLAN CALL 1-2-2-2)**  
 TYP. RISE = 7 1/2" DA  
 TYP. TREAD = 10" DA  
 NO. OF RISERS = 14

**TOTAL RISE: 104" PLATE HEIGHT**  
 8 1/2" FLOOR JOIST  
 3/4" PLY. & LANDING  
 1/4" GYP. TOTAL RISE

**NOTES:**  
 THE HIGHEST POINT OF THE ROOF MEASUREMENT,  
 OR ANY VENT, PIPE, ANTENNA OR OTHER  
 PROJECTION SHALL NOT EXCEED 36" OR  
 ABOVE THE GRADE (SEE 103 SECTION 12)

**WALL LEGEND**

	2x4 @ 16" O.C. @ 8" DED WALL
	2x6 @ 16" O.C. WALL
	TYPICAL BRANDY DISCREET CONCRETE
	SMOOTH SURFACE WITH FINISH
	SPECIAL 1200 PSI-4000
	INDICATES LINE ABOVE
	INDICATES LINE BELOW
	SMOKE DETECTOR



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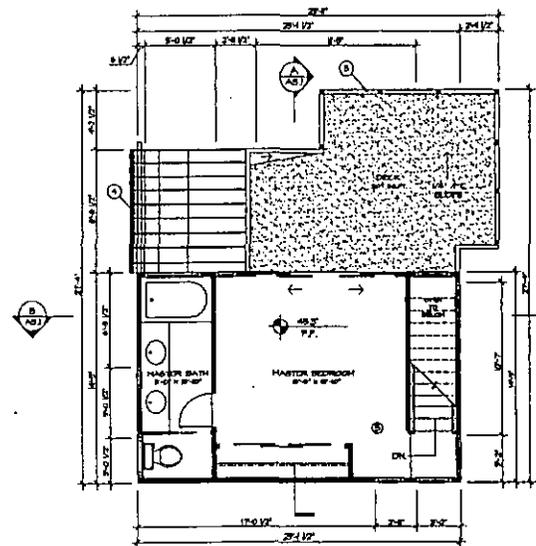
Project Address:  
 4524 N. POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA  
 92107

Project Name: WEST POINT LOMA  
 Sheet Title: BLDG. A.1 & A.2 FLOOR PLANS

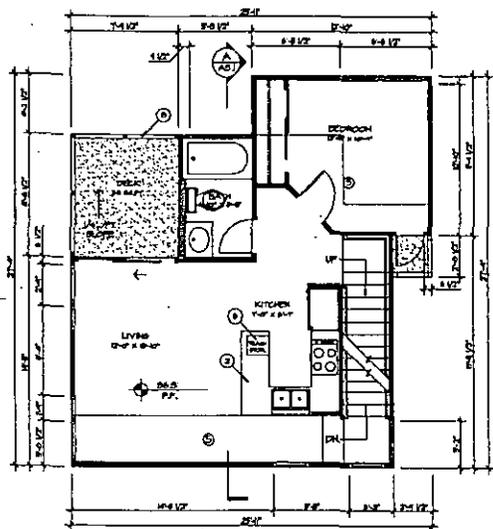
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 Revision 4:  
 Revision 3:  
 Revision 2: 03-03-07  
 Revision 1: 10-02-06

Original Date: 02-06-06  
 Sheet 7 of 26

GOIBA ARCHITECTURE  
 WEST O.B. PARK UNITS  
 656 NINTH AVENUE  
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 FAX: (619) 251-4225



3RD FLOOR PLAN - A.3



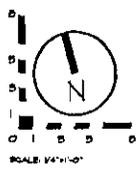
2ND FLOOR PLAN - A.3

- PLAN NOTES:**
- ① LINE OF HALL ABOVE
  - ② 84" A.P.F. KITCHEN COUNTER
  - ③ 84" A.P.F. DECK RAILING
  - ④ COPPER METAL ROOF
  - ⑤ 84" A.P.F. DECK RAILING BELOW
  - ⑥ INTERIOR WETWARE + RECYCLABLE STORAGE @ CUPB. TOTAL

- STAIR NOTES:**
- ENTRY TO 2ND FLOOR PLAN (A.3) & (A.4)**  
TYP. RISE = 1.93" EA.  
TYP. TREAD = 12" EA.  
NO. OF FLOORS = 14
- TOTAL RISE: 2ND FLOOR PLATE HEIGHT**  
8 1/2" FLOOR JOIST  
84" F.L.T. + LANDING  
8' 8 1/2" TOTAL RISE
- 2ND TO 3RD FLOOR PLAN (A.3) & (A.4)**  
TYP. RISE = 1.93" EA.  
TYP. TREAD = 12" EA.  
NO. OF FLOORS = 14
- TOTAL RISE: 3RD FLOOR PLATE HEIGHT**  
8 1/2" FLOOR JOIST  
84" F.L.T. + LANDING  
8' 8 1/2" TOTAL RISE

**NOTE:**  
THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 80" ABOVE THE GRADE (DENS 100.0536.12)

- WALL LEGEND**
- 3/4" x 8" GRC BRK WALL
  - 2ND BRD WALL
  - CONCRETE
  - CONCRETE BRICK/CMU/CLAY BRICK
  - GLASS SURFACE PER MANUF. SPEC. (S&P, S&B, S&A)
  - INDICATES LINE ABOVE
  - - - - - INDICATES LINE BELOW
  - ⊙ SMOKE DETECTOR



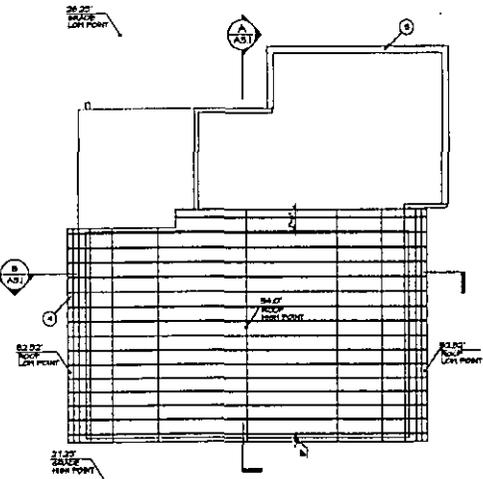
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- Revision 3: 05-05-07
- Revision 2: 10-02-06
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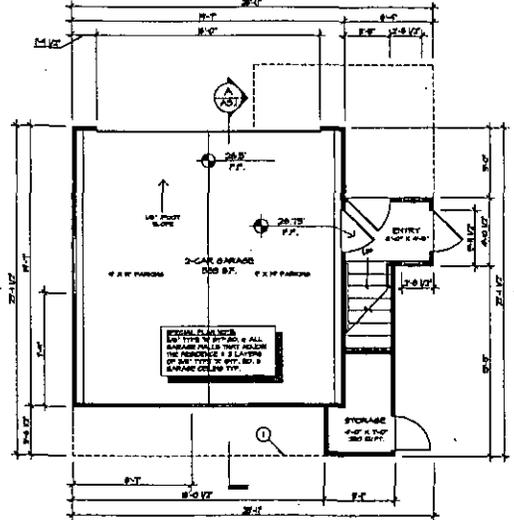
Project Name:  
WEST POINT LOMA

Original Date: 02-06-06  
Sheet 8 Of 26

Sheet Title:  
**BLDG. A.3 & A.4  
FLOOR PLANS**

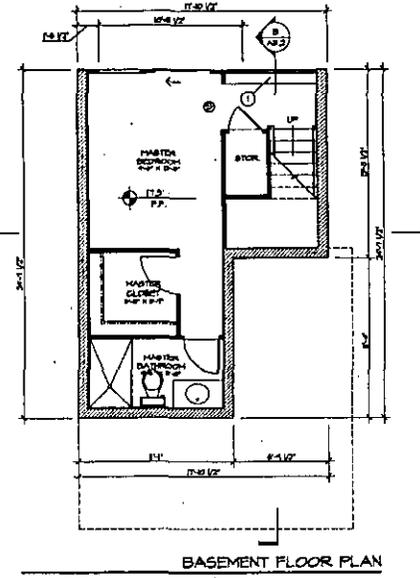
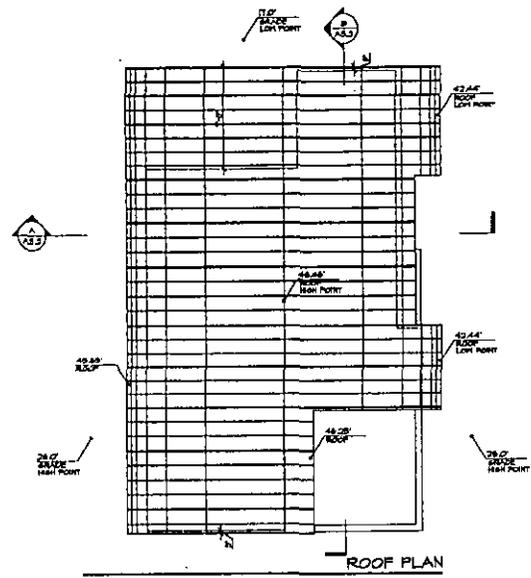
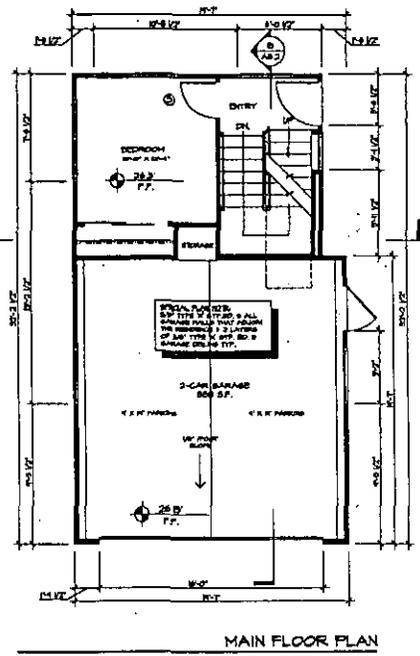
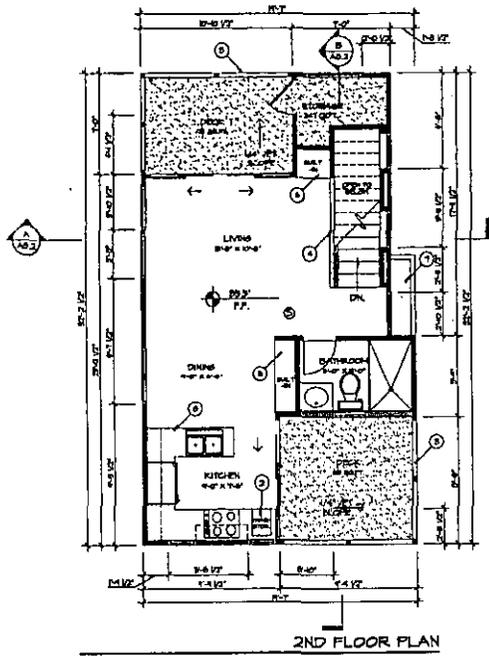


ROOF PLAN - A.3



GROUND FLOOR PLAN - A.3

**SPECIAL PLAN NOTE:**  
WORK FLOOR PLANS FOR VIEW OF BUILDING. SEE SHEET A04 FOR MORE INFORMATION & ORIENTATION.



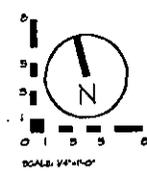
- PLAN NOTES:**
- 1/2" BOARDS, 24" AFF.
  - INTERIOR REFUSE & RECYCLABLE STORAGE & CURT. TOTAL
  - 6" AFF. DOOR KICKING
  - 42" AFF. LOW WALL
  - BUILT-IN SHELVES @ 24" AFF.
  - BUILT-IN SHELVES @ 24" AFF.
  - FLAT ROOF W/ PARAPET WALL
  - 6" AFF. KITCHEN COUNTER

- STAIR NOTES:**
- BASMENT TO ENTRY**  
 TYP. RISE = 13" CA.  
 TYP. TREAD = 10" CA.  
 NO. OF RISERS = 14
- TOTAL RISE: 18'-0" PLATE HEIGHT  
 8' 12" FLOOR JOIST  
 24" PLY. & LANDING  
 5'-0" TOTAL SIZE
- ENTRY TO 2ND FLOOR**  
 TYP. RISE = 13" CA.  
 TYP. TREAD = 10" CA.  
 NO. OF RISERS = 14
- TOTAL RISE: 2'-0" PLATE HEIGHT  
 8' 12" FLOOR JOIST  
 24" PLY. & LANDING  
 5'-0" TOTAL SIZE

**NOTE:**  
 THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 60'-0" ABOVE THE GRADE (DING 108.033612)

**WALL LEGEND**

	2" O.C. WALL WITH CURTAINING & INSULATION
	24" x 12" O.C. STUD WALL
	24" O.C. WALL
	INSERT BRACKET DESERT CURTAIN WALL SURFACE FOR HANG, SPEC. 1000, DR-422
	INDICATES LINE ABOVE
	INDICATES LINE BELOW
	SMOKE DETECTOR



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Project Address:  
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 SAN DIEGO, CALIFORNIA  
 92107

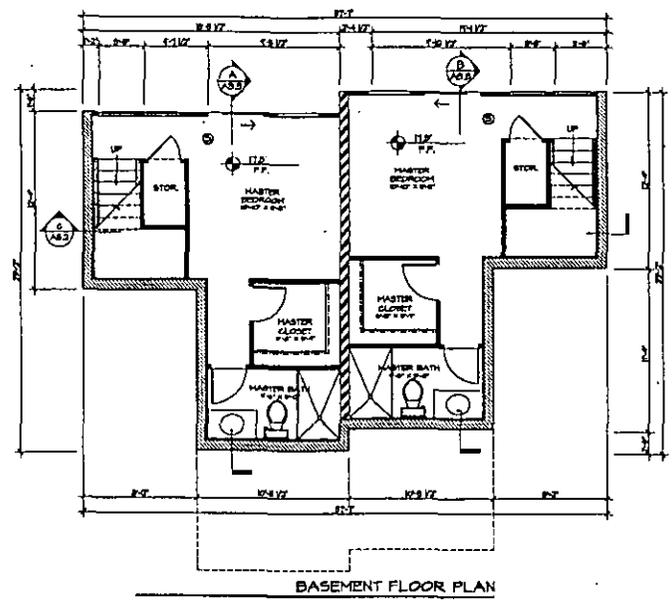
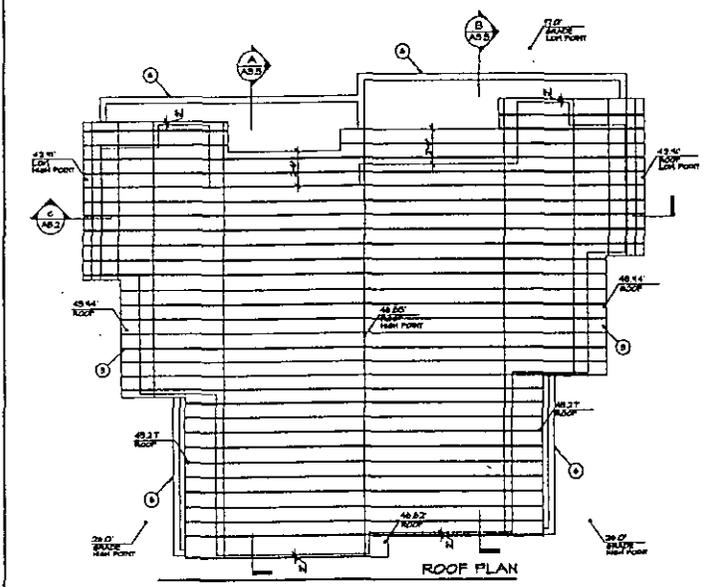
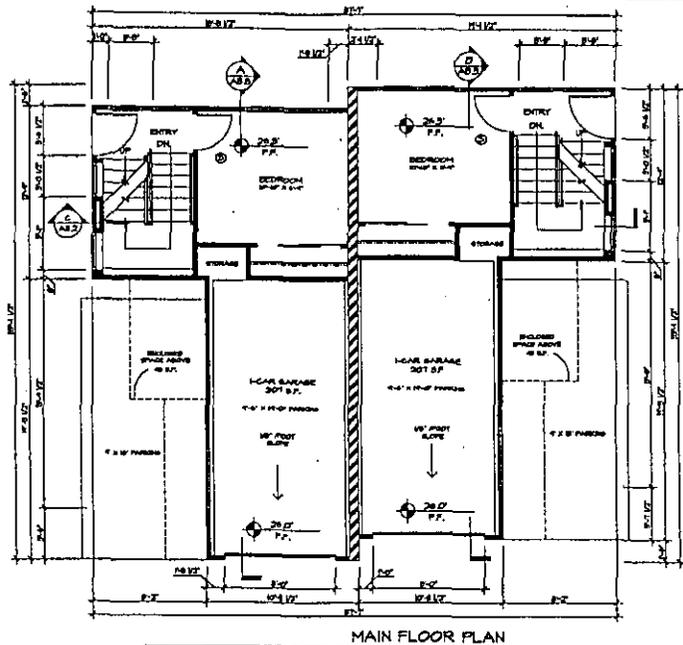
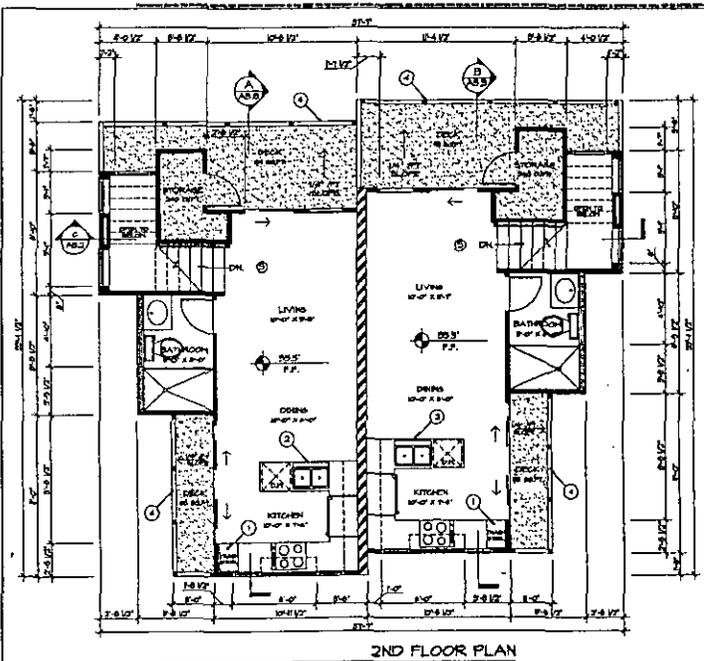
Project Name:  
 WEST POINT LOMA

Revision 14:  
 Revision 13:  
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 Revision 5:  
 Revision 4:  
 Revision 3:  
 Revision 2: 08-09-07  
 Revision 1: 10-02-06

Original Date: 02-06-06  
 Sheet 4 of 26

Sheet Title:  
**BUILDING B  
 FLOOR PLANS**

**GOLBA ARCHITECTURE**  
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 458 NINTH AVENUE  
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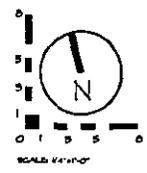


- PLAN NOTES:**
1. INTERIOR REFERENCE TO RECYCLABLE STORAGE
  2. 6" C.I.T. TOTAL
  3. 8" A.P.P. KITCHEN COUNTER
  4. STACKED MASHED COUNTER
  5. 8" A.P.P. DECK RAILING
  6. COPPER METAL BEAM ROOF
  7. DECK & HANDRAIL BELOW

- STAIR NOTES:**
- BASEMENT TO ENTRY**  
 TYP. RISE = 7 1/2" EA.  
 TYP. TREAD = 10" EA.  
 NO. OF RISERS = 14
- TOTAL RISE: 105" PLATE HEIGHT  
 8" WYP. FLOOR JOIST  
 8" A.P.P. PLT. & LANDING  
 5'-0" TOTAL RISE
- ENTRY TO 2ND FLOOR**  
 TYP. RISE = 7 1/2" EA.  
 TYP. TREAD = 10" EA.  
 NO. OF RISERS = 14
- TOTAL RISE: 105" PLATE HEIGHT  
 8" WYP. FLOOR JOIST  
 8" A.P.P. PLT. & LANDING  
 5'-0" TOTAL RISE

**NOTE:**  
 THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 90" ABOVE THE GRADE (BONG 103 CODE 12)

- WALL LEGEND**
- 8" CMU WALL W/ 2X PARALLEL 1" RUBB RELATION
  - 4" RATED MALL
  - 3/4" & 1" OC GRID MALL
  - 3/4" GRID MALL
  - TERRAZZO BRANDY DESERT CARBE DRESSING SURFACE PER MANUF. SPEC. 3/8" BOND. 1/2" BOND
  - INDICATES LINE ABOVE
  - INDICATES LINE BELOW
  - SMOKE DETECTOR



Prepared By:  
 Ricardo Torres  
 Goiba Architecture  
 656 Ninth Avenue  
 San Diego, CA 92101  
 (619) 251-8100  
 fax: 251-4268

Project Address:  
 4025 N. POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA  
 92101

Revision 14:  
 Revision 13:  
 Revision 12:  
 Revision 11:  
 Revision 10:  
 Revision 9:  
 Revision 8:  
 Revision 7:  
 Revision 6:  
 Revision 5:  
 Revision 4:  
 Revision 3:  
 Revision 2: 03-05-01  
 Revision 1: 10-02-06

Project Name: WEST POINT LOMA  
 Original Date: 03-06-06  
 Sheet 10 of 26

Sheet Title:  
**BUILDING C  
 FLOOR PLANS**

**GOIBA ARCHITECTURE**  
 Architecture • Space Planning • Interior Design  
 1026 West Loma St., Suite 100 • San Diego, California 92101  
 Telephone: (619) 251-8100 • Fax: (619) 251-4268

**WESTPOINT LOMA UNITS**

**1075**

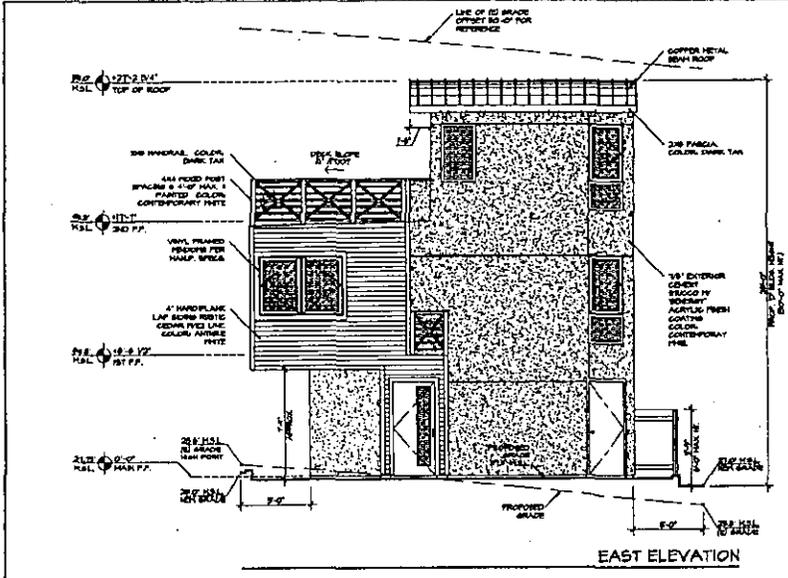
**A13**

**GOLOBA ARCHITECTURE**  
 Architecture & Space Planning & Interior Design  
 1025 Westlake St., #100, San Diego, California 92101  
 Phone: (619) 231-4286  
 Fax: (619) 231-4286

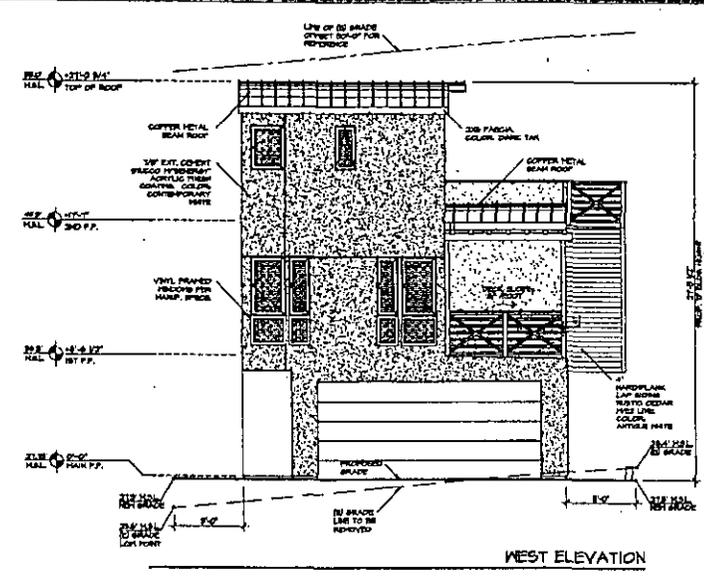
**WEST O.B. PARK UNITS**  
 4874 N. POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA



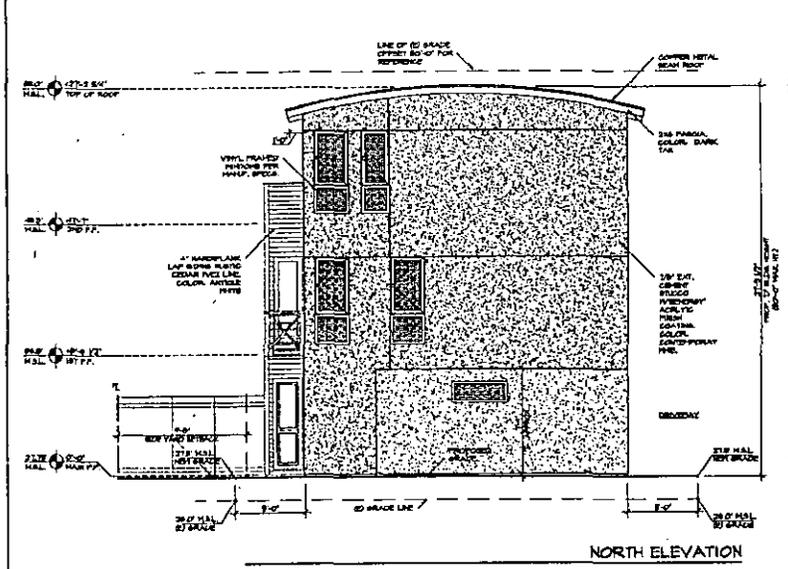
**GOLOBA ARCHITECTURE**  
**A 20**



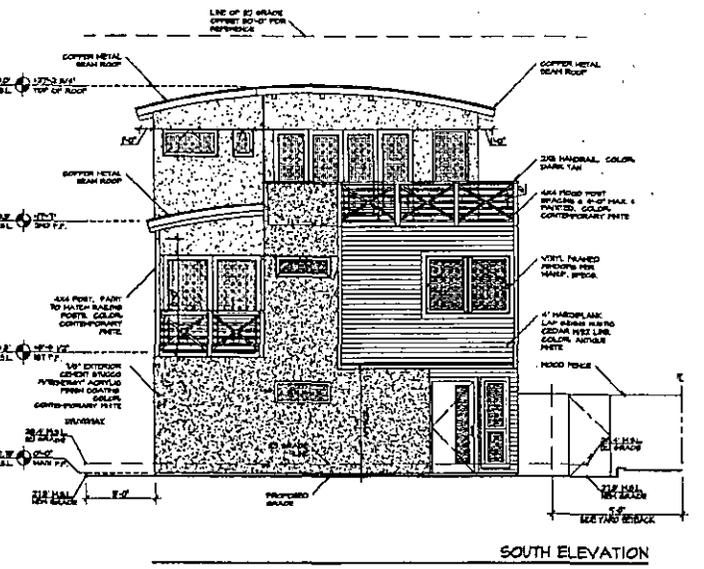
EAST ELEVATION



WEST ELEVATION

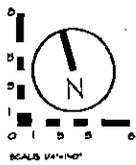


NORTH ELEVATION



SOUTH ELEVATION

NOTE:  
 THE HIGHEST POINT OF THE ROOF EQUIPMENT,  
 OR ANY VENT PIPE, ANTENNA, OR OTHER  
 PROJECTION SHALL NOT EXCEED 80\"/>



Prepared By:  
 Ricardo Torres  
 Goloba Architecture  
 656 Ninth Avenue  
 San Diego, CA 92101  
 (619) 231-4425  
 Fax: 231-4286

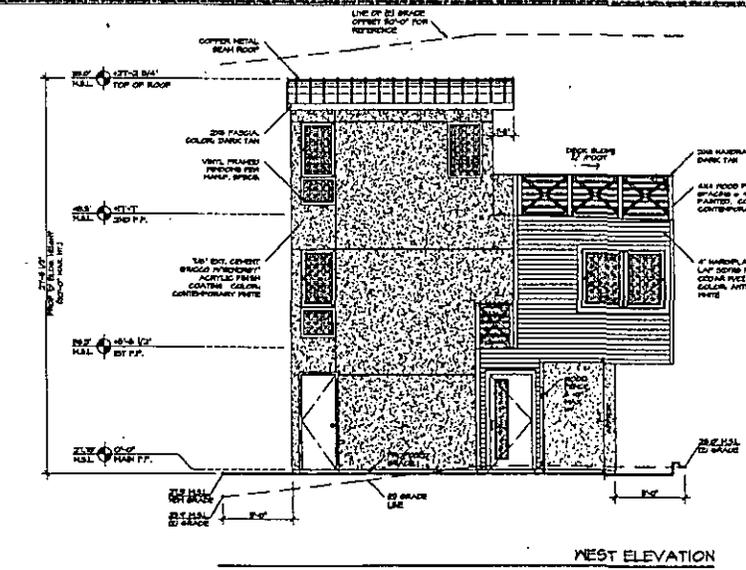
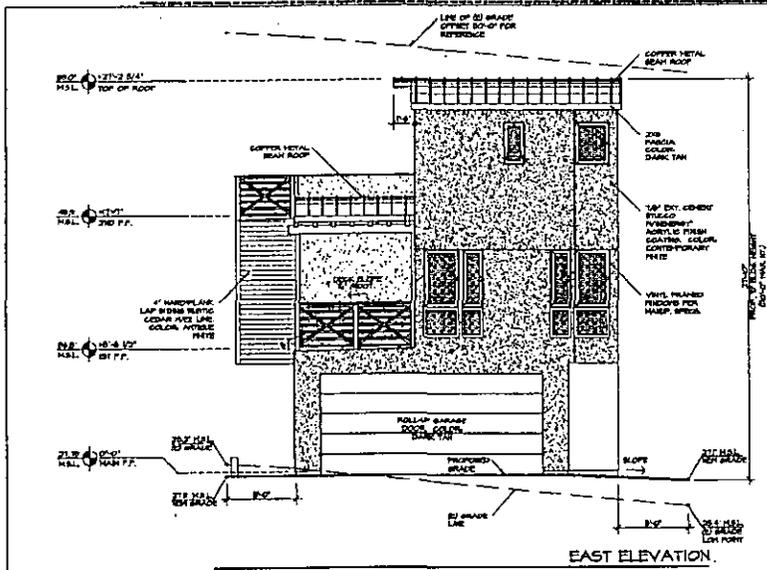
Project Address:  
 4874 N. POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA  
 92101

Project Name:  
 WEST POINT LOMA

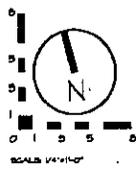
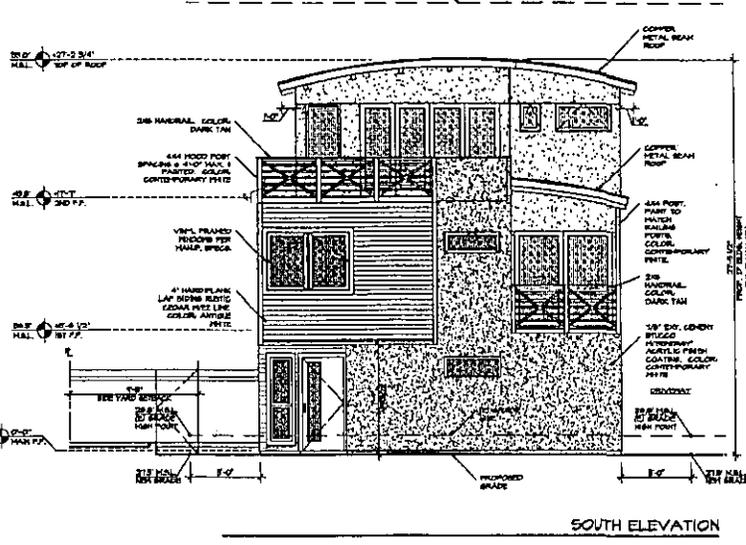
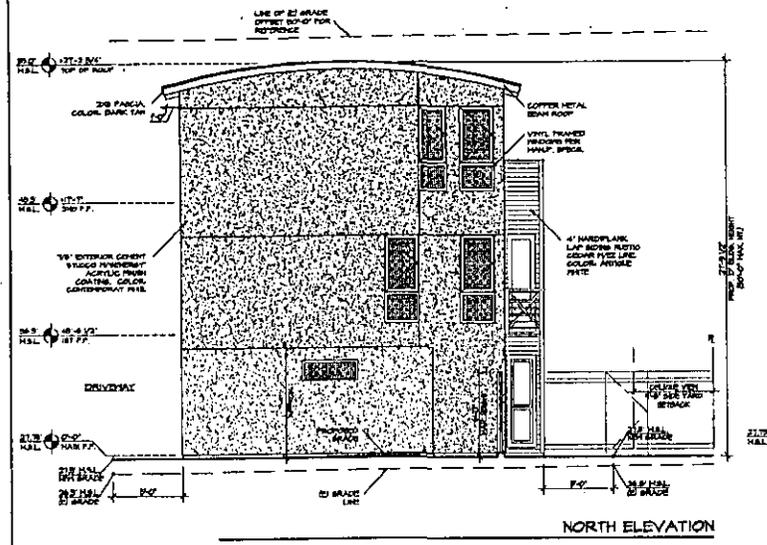
Sheet Title:  
**BUILDING A.1  
 ELEVATIONS**

- Revision 14:
- Revision 13:
- Revision 12:
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- Revision 8:
- Revision 7:
- Revision 6:
- Revision 5:
- Revision 4:
- Revision 3:
- Revision 2: 08-05-07
- Revision 1: 10-02-06

Original Date: 03-06-06  
 Sheet # of 26



NOTE:  
THE HIGHEST POINT OF THE ROOF EQUIPMENT,  
OR ANY VENT PIPE, ANTENNA, OR OTHER  
PROJECTION SHALL NOT EXCEED 30'-0"  
ABOVE THE GRADE (EACH 1/8"=1'-0")



Prepared By:  
Ricardo Torres  
Goiba Architecture  
630 Ninth Avenue  
San Diego, CA 92101  
(619) 231-4205  
Fax: 231-4288

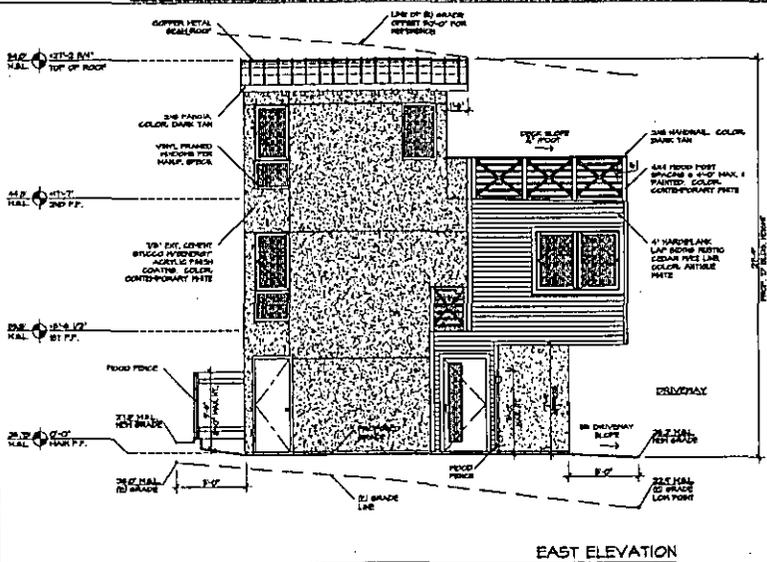
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- Revision 7:
- Revision 6:
- Revision 5:
- Revision 4:
- Revision 3:
- Revision 2: 08-08-07
- Revision 1: 10-02-06

Project Address:  
4824 N. POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA  
92101

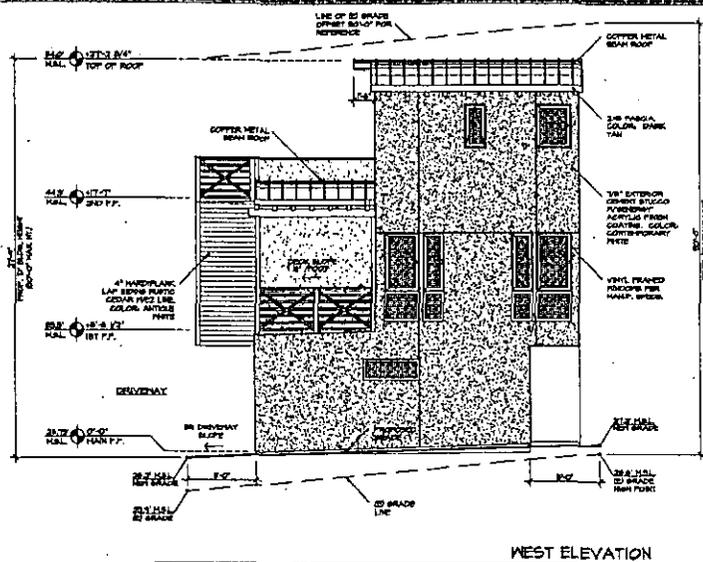
Project Name:  
WEST POINT LOMA

Original Date: 02-06-06  
Sheet 12 of 26

Sheet Title:  
**BUILDING A.2  
ELEVATIONS**

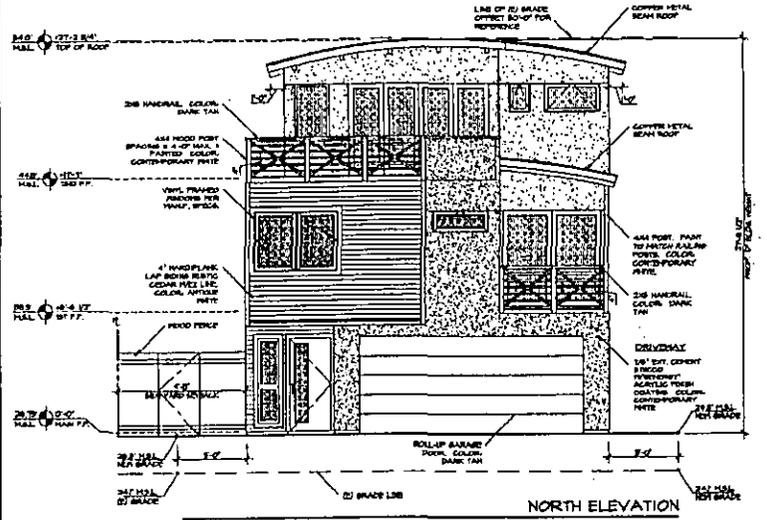


EAST ELEVATION

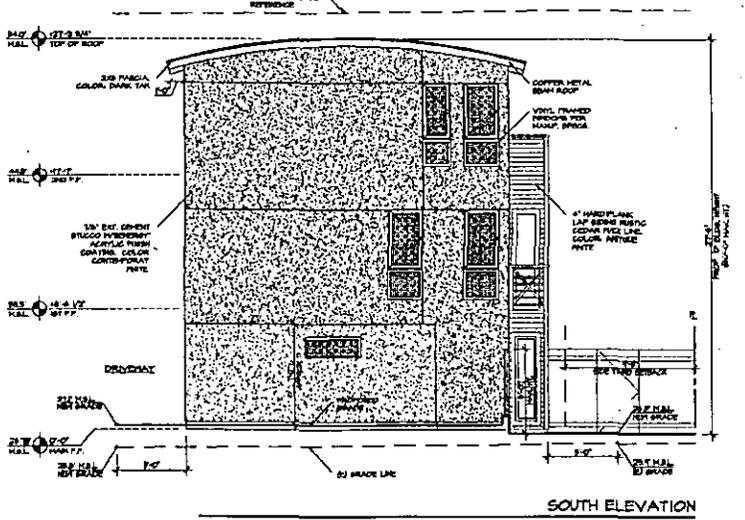


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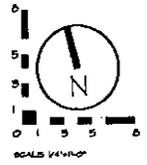
NOTE:  
THE HIGHEST POINT OF THE ROOF EQUIPMENT,  
OR ANY VENT PIPE, ANTENNA, OR OTHER  
PROJECTION SHALL NOT EXCEED 10'-0\"/>



NORTH ELEVATION



SOUTH ELEVATION



Prepared By:  
Ricardo Tamez  
Golba Architecture  
656 Hill Avenue  
San Diego, CA 92101  
(619) 251-1105  
fax: 231-4258

Project Address:  
4824 N. POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA  
92101

Project Name:  
WEST POINT LOMA

Sheet Title:  
BUILDING A.3  
ELEVATIONS

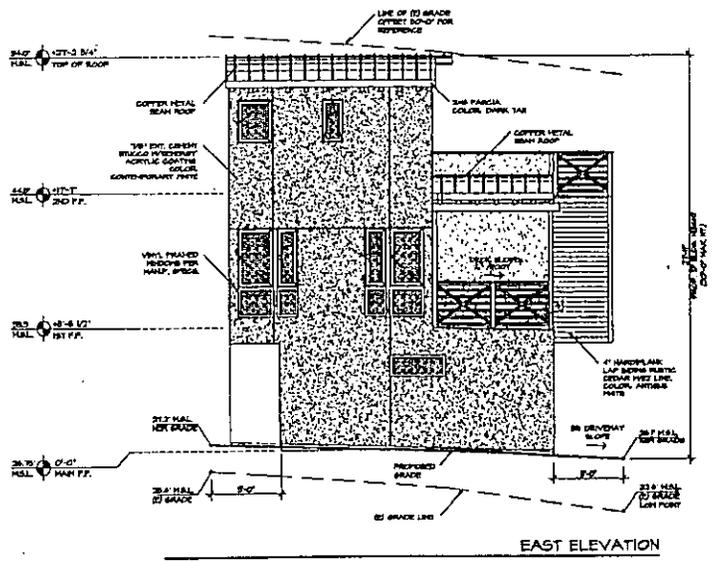
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  - Revision 6:
  - Revision 5:
  - Revision 4:
  - Revision 3:
  - Revision 2: 09-05-01
  - Revision 1: 10-02-06
- Original Date: 02-06-06  
Sheet 15 of 26

GOIBA ARCHITECTURES  
Architectural & Social Consulting & Project Design  
1025 West Loma St., #104, San Diego, California 92101  
Phone: (619) 231-9908 Fax: (619) 231-4288

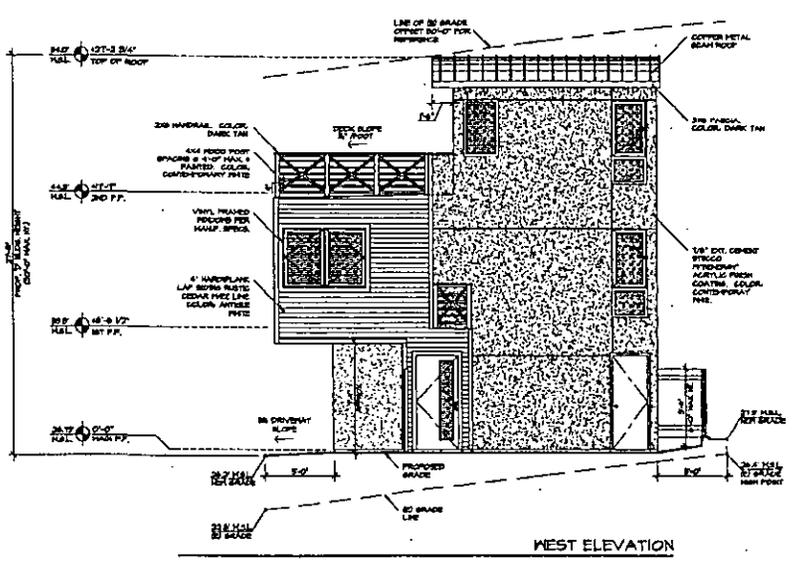
WEST O.B. PARK UNITS



A23

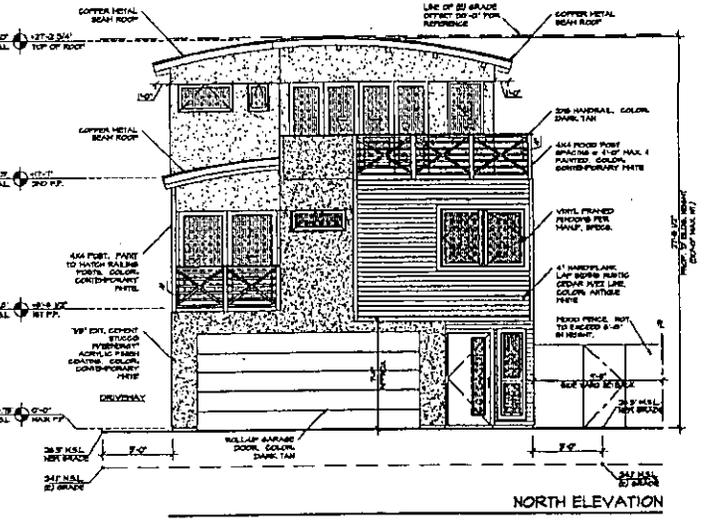


EAST ELEVATION

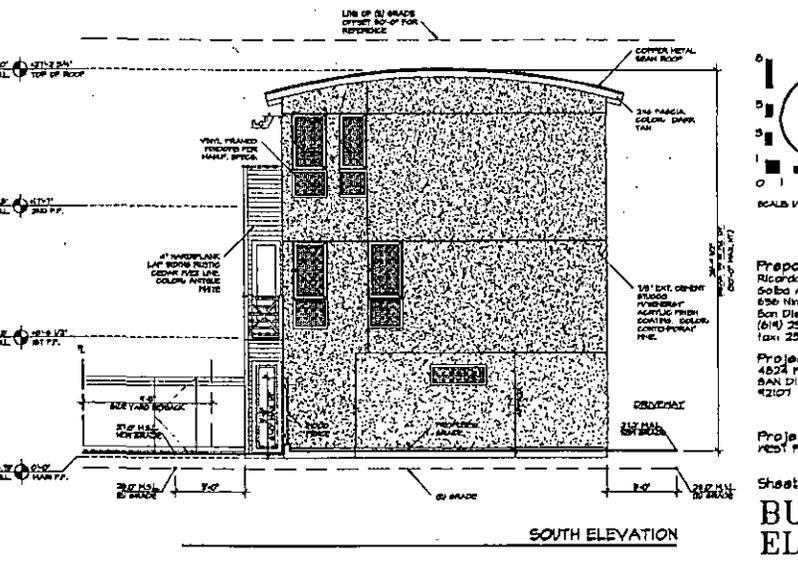


WEST ELEVATION

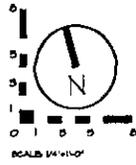
NOTE:  
THE HIGHEST POINT OF THE ROOF BALTIMENT,  
ON ANY VENT PIPE, ANTENNA OR OTHER  
PROJECTION SHALL NOT EXCEED 30"0"  
ABOVE THE GRADE BEING INDICATED.



NORTH ELEVATION



SOUTH ELEVATION



Prepared By:  
Ricardo Torral  
Goiba Architecture  
656 Ninth Avenue  
San Diego, CA 92101  
(619) 231-4205  
101 231-4256

Project Address:  
4824 P. POINT LONA BLVD.  
SAN DIEGO, CALIFORNIA  
92107

Project Name:  
WEST POINT LOMA

Sheet Title:  
**BUILDING A.4  
ELEVATIONS**

- Revision 14:
  - Revision 13:
  - Revision 12:
  - Revision 11:
  - Revision 10:
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  - Revision 3:
  - Revision 2:
  - Revision 1:
- Original Date: 02-06-06  
Sheet 14 of 26

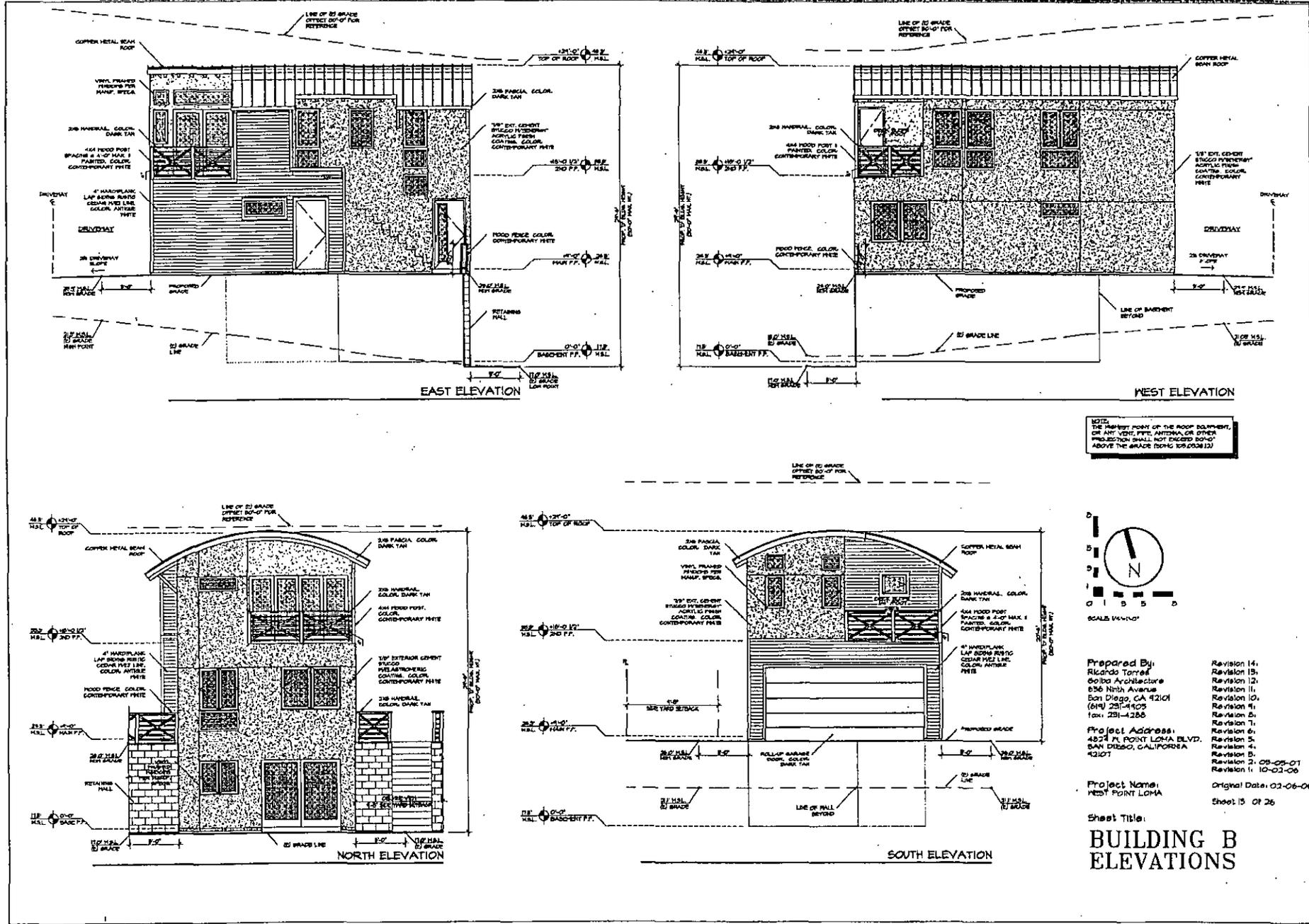
GOLBA ARCHITECTURE, INC.  
ARCHITECTS, PLANNERS, ENGINEERS, INTERIORS DESIGNERS  
1025 WEST LUTHER ST., #100 SAN DIEGO, CALIFORNIA 92101  
PHONE: (619) 231-2905 FAX: (619) 231-5286

WEST O.B. PARK UNITS

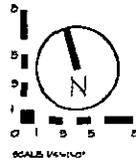


**Watts**

A2.4



NOTE:  
THE HIGHEST POINT OF THE ROOF EQUIPMENT,  
OR ANY VENT PIPE, ANTENNA, OR OTHER  
PROJECTION SHALL NOT EXCEED 8'-0\"/>



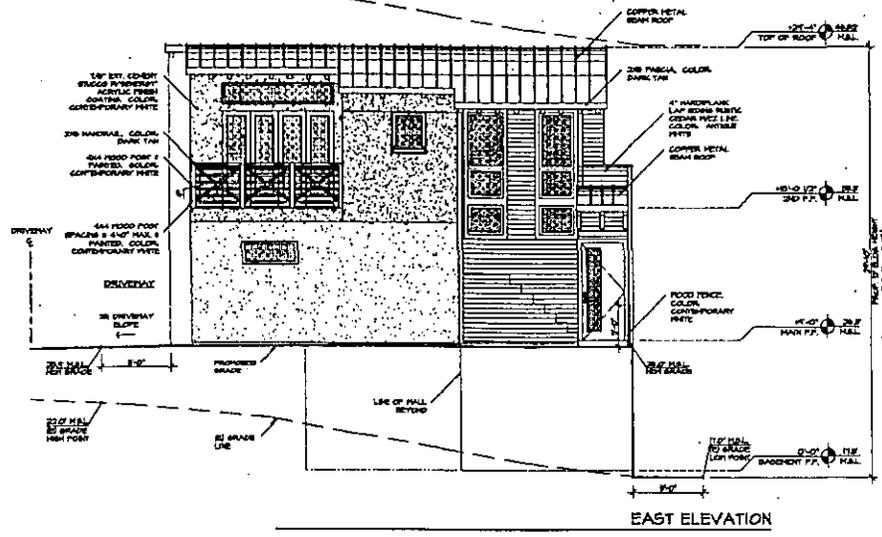
Prepared By:  
Ricardo Torral  
Golba Architecture  
656 Ninth Avenue  
San Diego, CA 92101  
(619) 231-4405  
Fax: (619) 231-4288

Project Address:  
4824 N. POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA  
92107

Project Name:  
WEST POINT LOMA

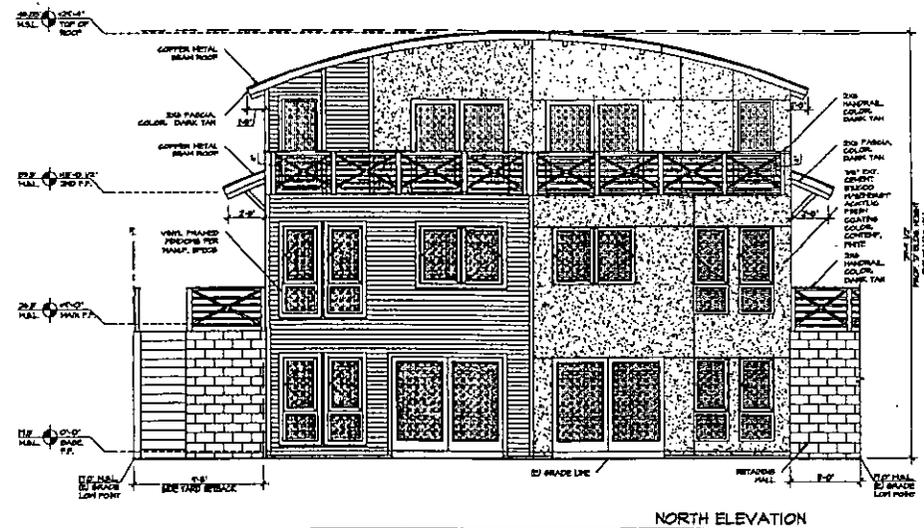
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ELEVATIONS**

- Revision 14:
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  - Revision 10:
  - Revision 9:
  - Revision 8:
  - Revision 7:
  - Revision 6:
  - Revision 5:
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  - Revision 3:
  - Revision 2: 05-05-07
  - Revision 1: 10-02-06
- Original Date: 02-06-06  
Sheet 15 of 26

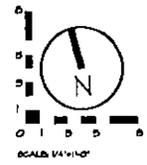


EAST ELEVATION

NOTE:  
THE HIGHEST POINT OF THE ROOF EQUIPMENT,  
OR ANY VENT, PIPE, ANTENNA, OR OTHER  
PROJECTION SHALL NOT EXCEED 90'-0"  
ABOVE THE GRADE BEING INDICATED.



NORTH ELEVATION



Prepared By:  
Ricardo Torral  
Goba Architects  
856 Ninth Avenue  
San Diego, CA 92101  
(619) 231-4105  
fax: 231-4250

Project Address:  
4824 N. POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA  
92107

Project Name:  
WEST POINT LOMA

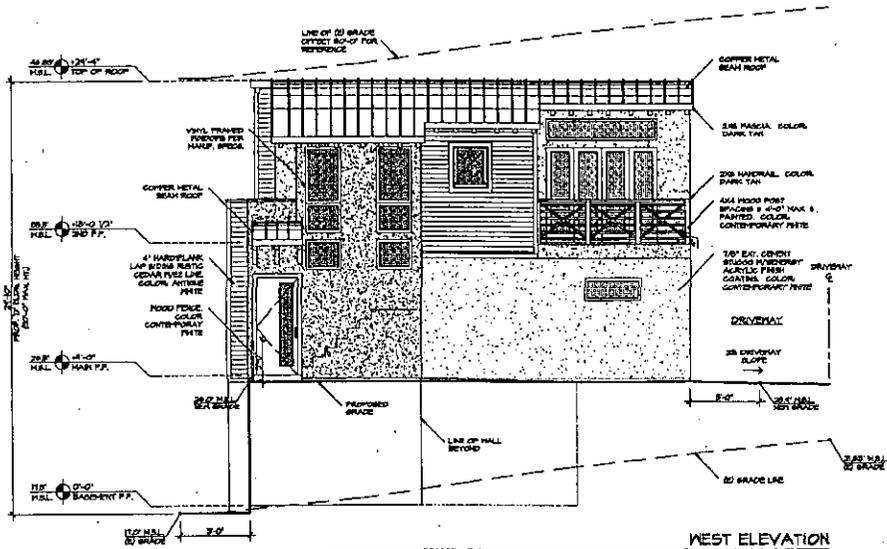
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**BUILDING C  
ELEVATIONS**

Revision 14:  
Revision 15:  
Revision 12:  
Revision 11:  
Revision 10:  
Revision 9:  
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Revision 7:  
Revision 6:  
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Revision 3:  
Revision 2: 09-05-01  
Revision 1: 10-02-06  
Original Date: 02-06-06  
Sheet 16 OF 26

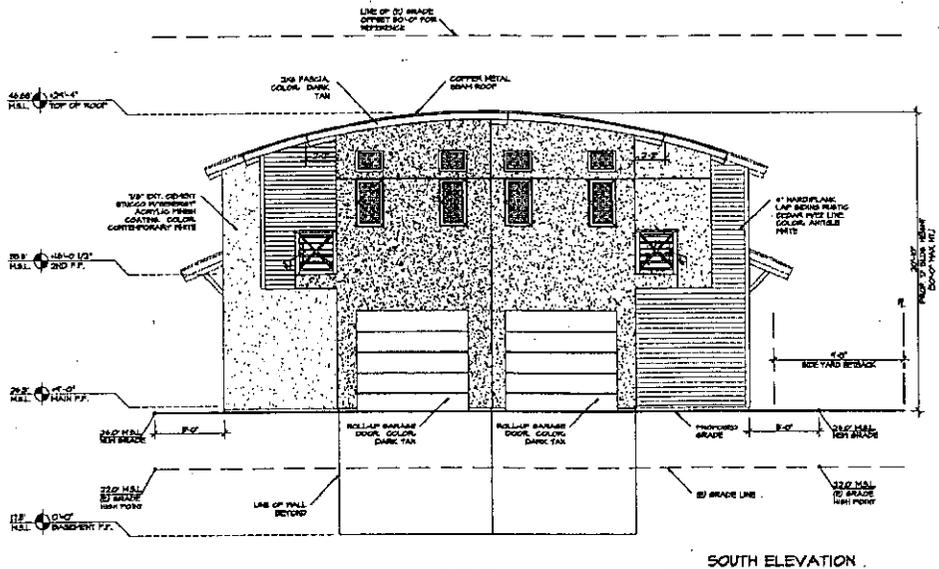
**GOLBA ARCHITECTURE**  
 1000 WILSON BLVD. SUITE 1000 SAN DIEGO, CA 92101  
 TEL: (619) 231-4105 FAX: (619) 231-4250  
**WEST OLB PARK UNITS**  
 4824 WEST POINT LOMA BLVD  
 SAN DIEGO, CALIFORNIA 92107  
 TEL: (619) 231-4105 FAX: (619) 231-4250  
**goba architects**  
**A25**

001295

ATTACHMENT . 0 5

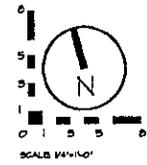


WEST ELEVATION



SOUTH ELEVATION

NOTE:  
THE HIGHEST POINT OF THE ROOF EAVESMENT,  
OR ANY VENT PIPE, ANTENNA, OR OTHER  
PROJECTION SHALL NOT EXCEED 30'-0"  
ABOVE THE GRADE (DING 1030000.02)



Prepared By:  
Ricardo Torreal  
Goibe Architecture  
656 Ninth Avenue  
San Diego, CA 92101  
(619) 251-4405  
fax: 251-4288

Project Address:  
4824 N. POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA  
92101

- Revision 14:
- Revision 15:
- Revision 12:
- Revision 11:
- Revision 10:
- Revision 9:
- Revision 8:
- Revision 7:
- Revision 6:
- Revision 5:
- Revision 4:
- Revision 3:
- Revision 2:
- Revision 1:

Project Name:  
WEST POINT LOMA

Original Date: 02-06-06  
Sheet 11 of 26

Sheet Title:  
**BUILDING C  
ELEVATIONS**

**GOIBE ARCHITECTURE**  
Architectural & Space Planning & Interior Design  
484 W. 5th Street, Suite 100, San Diego, California 92101  
Phone: (619) 251-4405 Fax: (619) 251-4288

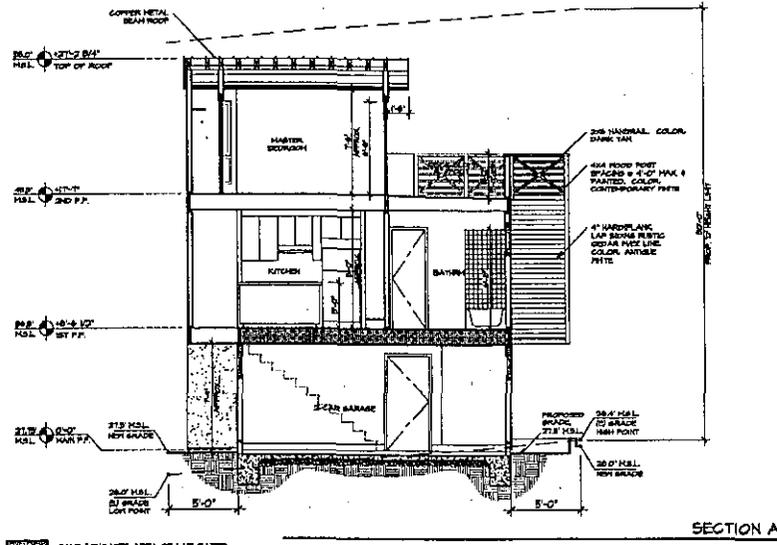
**WEST POINT PARK UNITS**



A2.6

ATTACHMENT 05

9031506

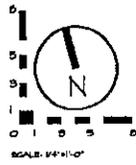
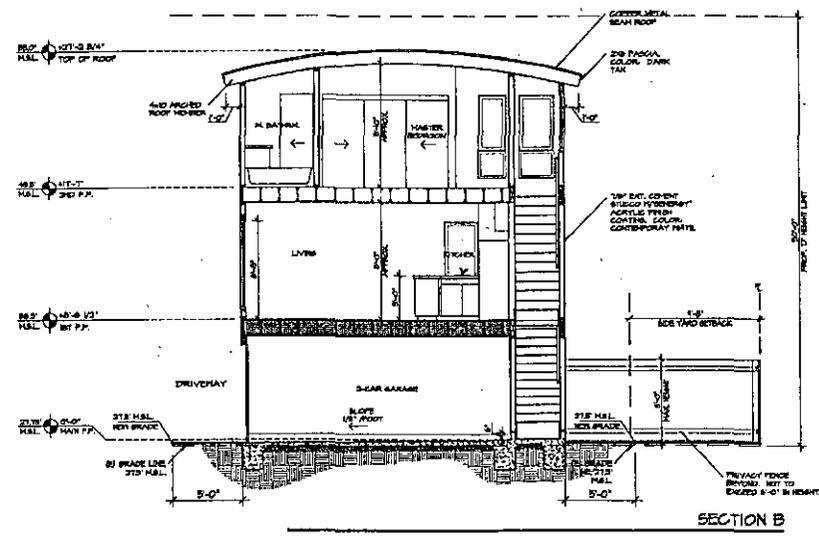


TOILE INDICATES AREA OF 1-HR RATED CONSTRUCTION

SPECIAL PLAN NOTE:  
 5/2" TYPE 'X' GYP. BO. & ALL GARAGE WALLS THAT ADJOIN THE RESIDENCE & 2 LAYERS OF 5/8" TYPE 'X' GYP. BO. & GARAGE CEILING TOP.

NOTE:  
 THE HIGHEST POINT OF THE ROOF EQUIPMENT OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 8'-0" ABOVE THE GRADE (BONG 100.000.02)

NOTE:  
 REFER SECTIONS FOR VIEW OF BUILDING A.2. SEE SHEET A.02 FOR MORE INFORMATION & ORIENTATION.



Prepared By:  
 Ricardo Torres  
 Golba Architecture  
 650 Ninth Avenue  
 San Diego, CA 92101  
 (619) 231-4105  
 FAX: 231-4288

Project Address:  
 4524 N. POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA  
 92107

Project Name:  
 NEST POINT LOMA

- Revision 14:
- Revision 13:
- Revision 12:
- Revision 11:
- Revision 10:
- Revision 9:
- Revision 8:
- Revision 7:
- Revision 6:
- Revision 5:
- Revision 4:
- Revision 3:
- Revision 2: 09-05-07
- Revision 1: 10-02-06

Original Date: 02-06-06  
 Sheet 15 of 26

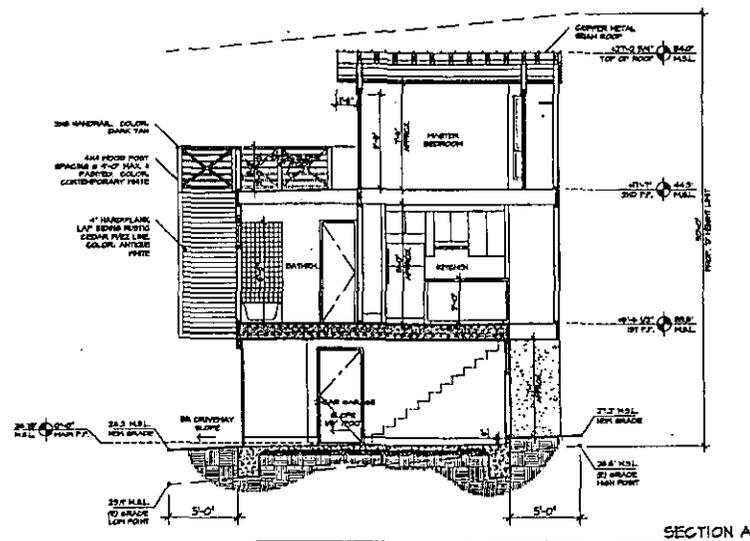
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**BLDG A.1 & A.2 SECTIONS**

**GOLBA ARCHITECTURE**  
 ARCHITECTURE, INC.  
 10725 West Loma St., #104  
 San Diego, CA 92120  
 Phone: (619) 231-4105

**WEST OLB PARK UNITS**



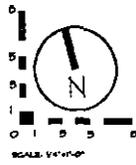
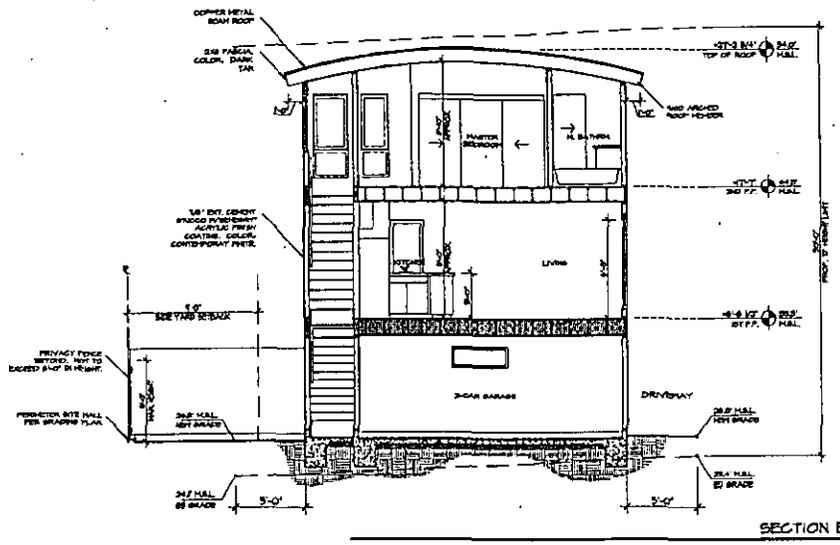
A 30



**SPECIAL PLAN NOTE:**  
 2x4 TYPE OF STP. BLDG. & ALL GARAGE WALLS THAT ADJOIN THE RESIDENCE & 2 LAYERS OF 2x4 TYPE OF STP. BLDG. & GARAGE CEILING TYP.

**NOTE:**  
 THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR AIR VENT, FINE ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE THE GRADE (BOMD 100.000.12)

**NOTE:**  
 HORIZONTAL SECTIONS FOR VIEW OF BUILDING AIR. SEE SHEET 02 FOR MORE INFORMATION & ORIENTATION.



Prepared By:  
 Ricardo Torres  
 doba Architecture  
 536 Ninth Avenue  
 San Diego, CA 92101  
 (619) 291-4105  
 fax: 231-4286

Project Address:  
 4524 N. POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA  
 92107

- Revision 14:
- Revision 15:
- Revision 12:
- Revision 11:
- Revision 10:
- Revision 4:
- Revision 6:
- Revision 7:
- Revision 8:
- Revision 5:
- Revision 3:
- Revision 2: 05-05-01
- Revision 1: 10-02-06

Project Name:  
 WEST POINT LOMA

Original Date: 02-06-06  
 Sheet 11 of 26

Sheet Title:  
**BLDG A.3 & A.4  
 SECTIONS**

**GOIBA ARCHITECTURE:**  
 Architecture, Interior Space, Furniture, Product Design  
 1028 West La Grange St. Los Angeles, California 90015  
 Phone: (619) 231-4286

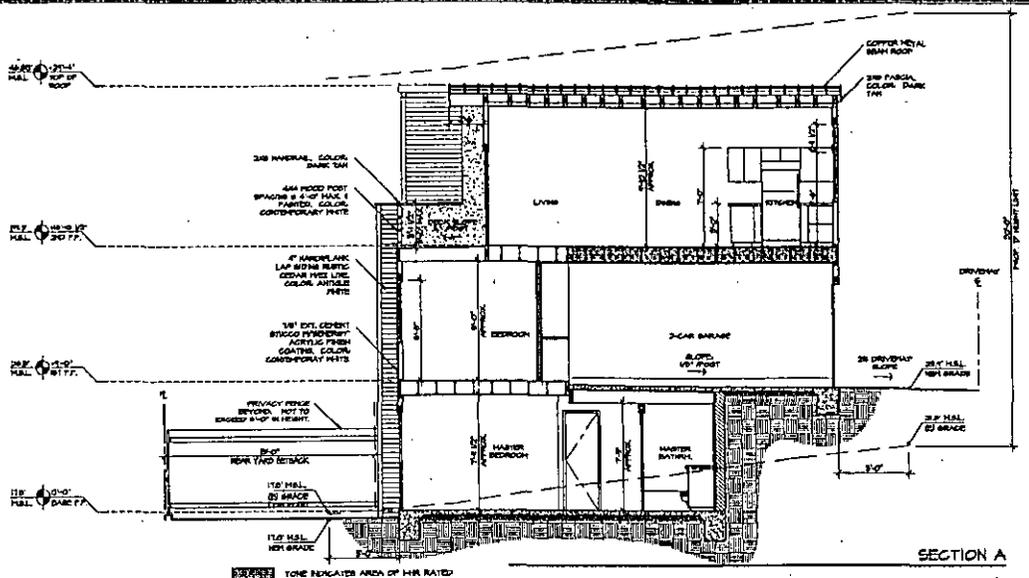
**WEST O.B. PARK UNITS**  
 4524 N. POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA



**GOIBA**  
 ARCHITECTURE

A 3.1

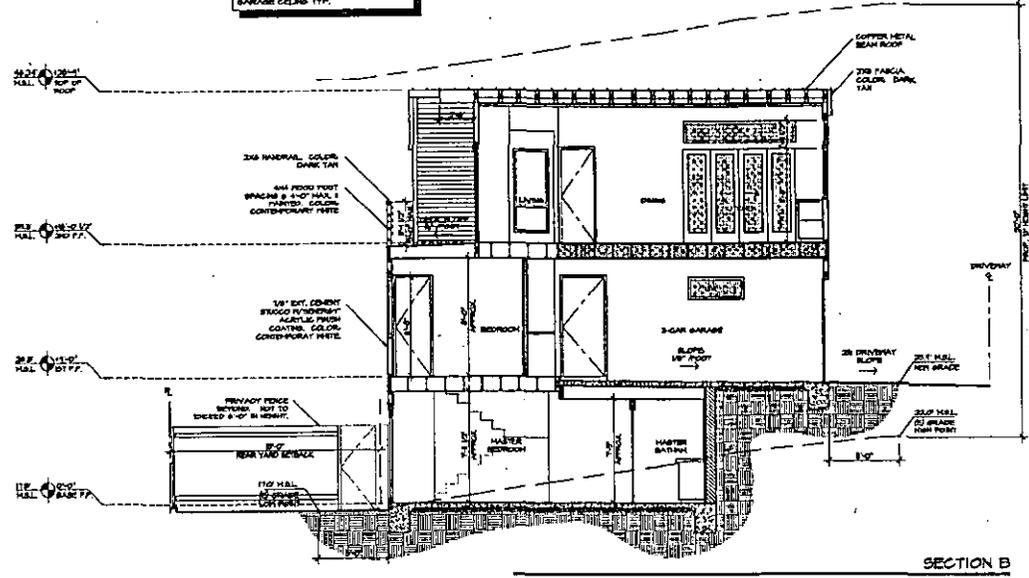




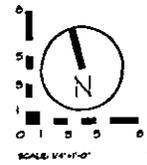
SECTION A

**SPECIAL PLAN NOTE:**  
 3/8" TYPE 304 ST. SS. & ALL GARAGE WALLS THAT ADJOIN THE RESIDENCE & 3 LAYERS OF 5/8" TYPE 304 ST. SS. & GARAGE CEILING TYP.

**NOTE:**  
 THE HIGHEST POINT OF THE ROOF EQUIPMENT OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE THE GRADE (SICM 108.05.06.12)



SECTION B



Prepared By:  
 Ricardo Torres  
 Goba Architecture  
 656 Ninth Avenue  
 San Diego, CA 92101  
 (619) 251-4105  
 fax: 251-4288

Project Address:  
 4824 EL POINT LOMA BLVD.  
 SAN DIEGO, CALIFORNIA  
 92101

Project Name:  
 WEST POINT LOMA

Sheet Title:  
**BUILDING C**  
**SECTIONS**

- Revision 14:
- Revision 13:
- Revision 12:
- Revision 11:
- Revision 10:
- Revision 9:
- Revision 8:
- Revision 7:
- Revision 6:
- Revision 5:
- Revision 4:
- Revision 3:
- Revision 2: 03-09-07
- Revision 1: 10-02-06

Original Date: 02-06-06  
 Sheet: 21 of 26

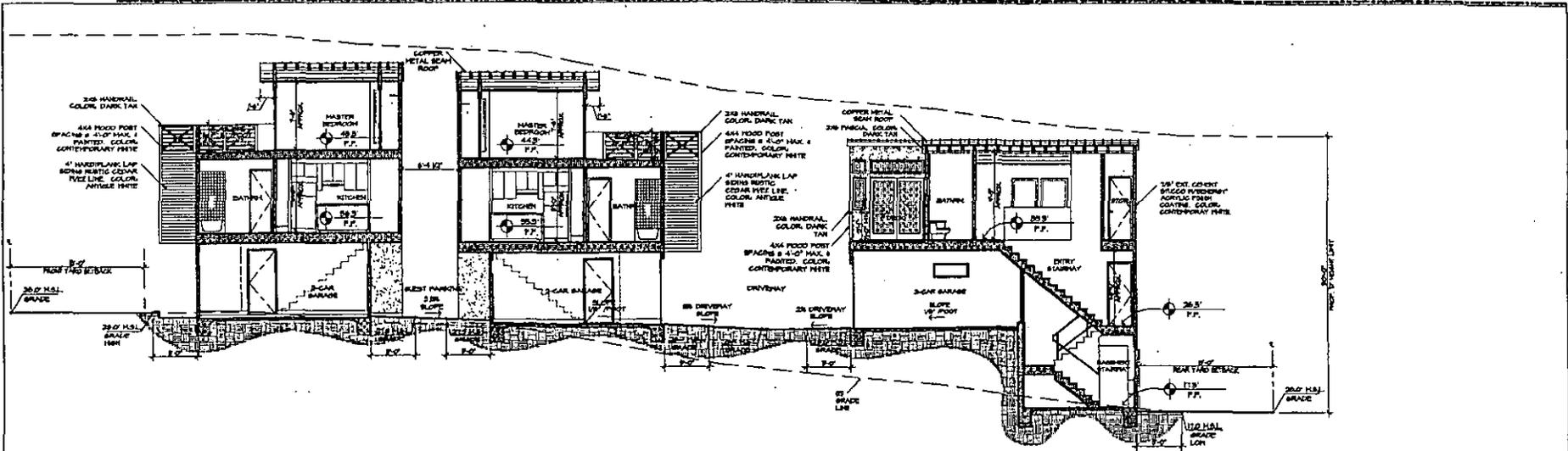
**GOBA ARCHITECTURE**  
 Arch. Architecture, Interior Architecture & Interior Design  
 656 Ninth Avenue, San Diego, CA 92101  
 Phone: (619) 251-4105 Fax: (619) 251-4288

**WEST O.B. PARK UNITS**  
 1824 WEST O.B. PARK UNITS  
 SAN DIEGO, CALIFORNIA



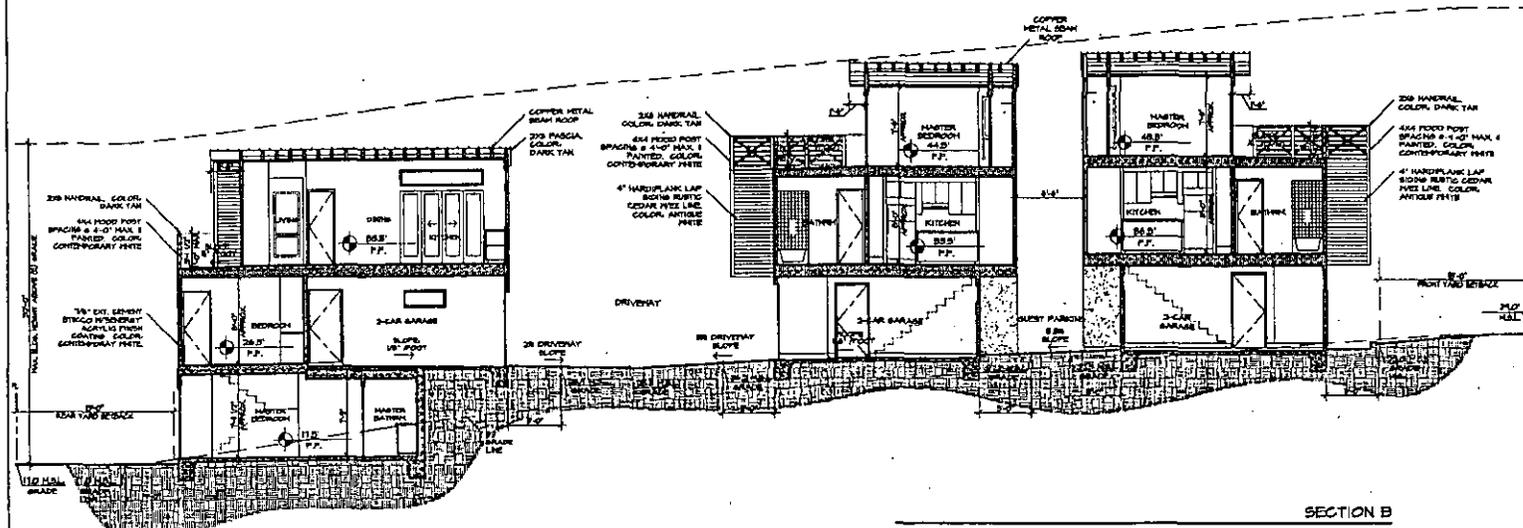
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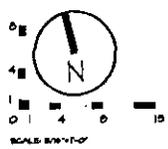


SECTION A

NOTE:  
THE HIGHEST POINT OF THE ROOF EQUIPMENT,  
OR ANY VENT, PIPE, ANTENNA, OR OTHER  
PROJECTION SHALL NOT EXCEED 8'-0"  
ABOVE THE GRADE (SEE 104.00&10)



SECTION B



Prepared By:  
Ricardo Torred  
Golba Architecture  
656 North Avenue  
San Diego, CA 92101  
(619) 251-4403  
Fax: 251-4255

Project Address:  
4624 N. POINT LOMA BLVD.  
SAN DIEGO, CALIFORNIA  
92107

Project Name:  
WEST POINT LOMA

Sheet Title:  
**SITE  
SECTIONS**

- Revision 14:
- Revision 13:
- Revision 12:
- Revision 11:
- Revision 10:
- Revision 9:
- Revision 8:
- Revision 7:
- Revision 6:
- Revision 5:
- Revision 4:
- Revision 3:
- Revision 2: 05-09-07
- Revision 1: 10-02-06

Original Date: 02-06-06  
Sheet 23 of 26

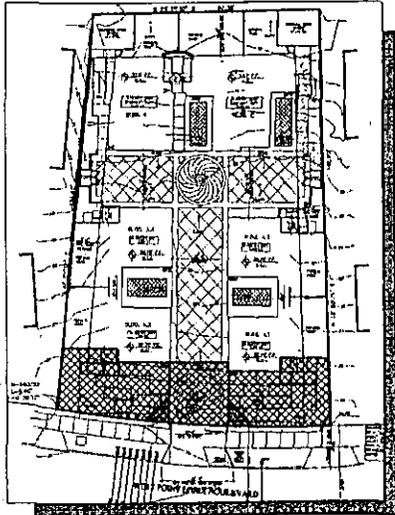
**GOLBA ARCHITECTURE**  
 Architecture, Interior Design, Project Management  
 1024 West Loma St. #104, San Diego, California 92101  
 Phone: (619) 231-4905 Fax: (619) 231-4255

**WEST O.B. PARK UNITS**  
 1024 West Loma St. #104, San Diego, California 92101  
 Phone: (619) 231-4905 Fax: (619) 231-4255



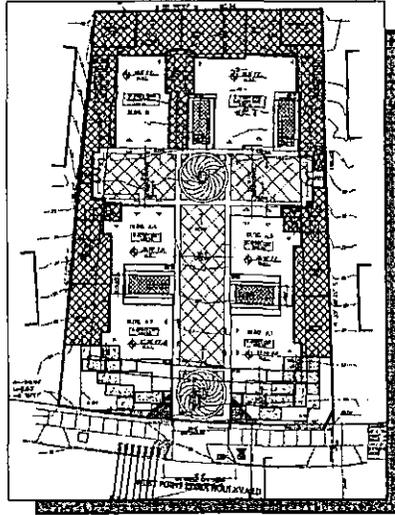
**GOLBA ARCHITECTURE**  
 ATTACHMENT  
 A35

YARD EXHIBIT PLAN



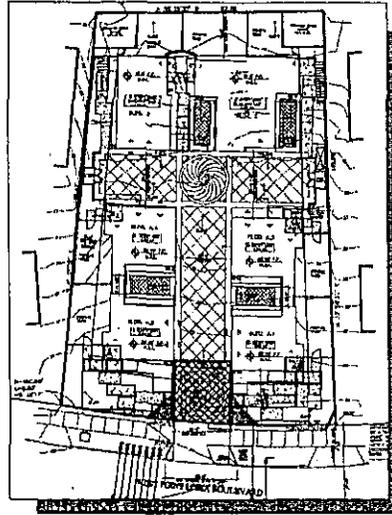
**A. STREET YARD (2,215 SQUARE FEET)**

Scale: 1" = 20'-0"



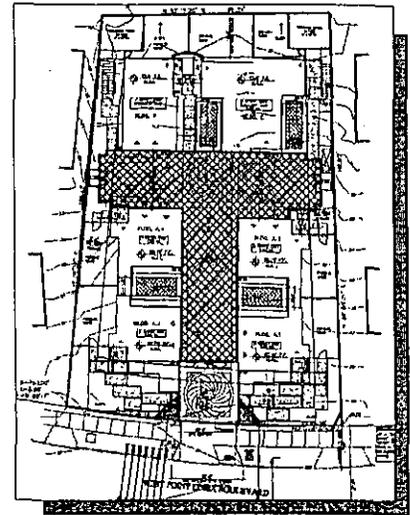
**B. REMAINING YARD (3,759 SQUARE FEET)**

Scale: 1" = 20'-0"



**C. VEHICULAR USE AREA IN STREET YARD (452 SQUARE FEET)**

Scale: 1" = 20'-0"



**D. VEHICULAR USE AREA OUTSIDE STREET YARD (2,733 SQUARE FEET)**

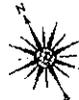
Scale: 1" = 20'-0"

**YARD EXHIBIT LEGEND**

- Yard Area
- Plant Point Area\*

\* REFER TO LDC 142.0405(a)(2): "If plants and planting area are provided within a street yard or remaining yard in most other requirements of this division, including vehicular use area and revegetation requirements, they may be used to satisfy the planting area and plant points required by Table 142.04C."

\* REFER TO LDC 142.0407(b): "For vehicular use area that is less than 5,000 square feet in size, the required plant points may be provided within 5 feet of the edge of the vehicular use area."



**TōPIA**

Landscaping Architects - Planning  
 9444 Waples Street, Suite 470, San Diego, California 92121  
 Tel: (619) 458-0000 Fax: (619) 458-0504  
 info@topia.com www.topia.com

NOTE:  
 ALL ON SITE INFORMATION FOR REFERENCE ONLY.  
 SEPARATE BUILDING PERMIT IS REQUIRED.

T016  
 9444 WAPLES STREET, SUITE 470  
 SAN DIEGO, CALIFORNIA 92121  
 TEL: (619) 458-0000  
 FAX: (619) 458-0504  
 info@topia.com



TRAVIS R. HARTFORD RLA NO. 1106 EXP. 03-31-20

PRIVATE CONTRACT		YARD EXHIBIT PLANS FOR:	
WEST POINT LOMA RESIDENTIAL		CITY OF SAN DIEGO, CALIFORNIA	
944 WEST POINT LOMA BOULEVARD, SAN DIEGO, CALIFORNIA		DEVELOPMENT SERVICES DEPARTMENT	
SHEET 24 OF 24		DATE: 08/17/16	
FOR CITY COUNCIL		DATE	ITEM #
REVISION	BY	DATE	NUMBER
01	08/17/16	08/17/16	01
02	08/17/16	08/17/16	02
03	08/17/16	08/17/16	03
04	08/17/16	08/17/16	04
05	08/17/16	08/17/16	05
06	08/17/16	08/17/16	06
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95	08/17/16	08/17/16	95
96	08/17/16	08/17/16	96
97	08/17/16	08/17/16	97
98	08/17/16	08/17/16	98
99	08/17/16	08/17/16	99
100	08/17/16	08/17/16	100

YARD EXHIBIT CALCULATIONS

PROJECT LANDSCAPE AREA COVERAGE STATISTICS:

AREA SCHEDULE	LANDSCAPE SITE AREA	AREA COVERAGE REQUIRED (% OF TOTAL)	AREA COVERAGE REQUIRED (SQUARE FEET)	AREA COVERAGE ACHIEVED (%)	AREA COVERAGE ACHIEVED (SQUARE FEET)	EXCESS AREA ACHIEVED (SQUARE FEET)
Street Yard	2,215 S.F.	30%	1,068 S.F.	54%	1,207 S.F.	99
Remaining Yard	3,759 S.F.	40 S.F. / TREE	720 S.F.	39%	1,047 S.F.	367
Vehicular Use Area In Street Yard	452 S.F.	40 S.F. / TREE	120 S.F.	28%	120 S.F.	0
Vehicular Use Area Outside Street Yard	2,733 S.F.	40 S.F. / TREE	120 S.F.	4%	120 S.F.	0

LANDSCAPE CALCULATION DATA - RESIDENTIAL ZONE

**A. STREET YARD LANDSCAPE AREA**  
 STREET YARD AREA = 2,215 SQUARE FEET  
 LANDSCAPE AREA REQUIRED (30%) = 1,068 SQUARE FEET  
 PLANT POINTS REQUIRED (0.5 POINTS/SQUARE FOOT) = 111 POINTS  
 TREES POINTS REQUIRED (HALF OF POINTS) = 56 POINTS  
 PROVIDED: 1,207 SQUARE FEET  
 PROVIDED: 333 POINTS  
 PROVIDED: 140 POINTS

**B. REMAINING YARD AREA**  
 REMAINING YARD AREA = 3,759 SQUARE FEET  
 LANDSCAPE AREA REQUIRED  
 (40 SQUARE FEET PER TREE) = 14 TREES = 560 SQUARE FEET  
 PLANT POINTS REQUIRED (0.5 POINTS/SQUARE FOOT) = 189 POINTS  
 TREE POINTS REQUIRED (1 TREE AT SIDE AND REAR AT EACH BUILDING) = 14 TREES  
 PROVIDED: 1,047 SQUARE FEET  
 PROVIDED: 269 POINTS  
 PROVIDED: 16 TREES

**C. VEHICULAR USE AREA IN STREET YARD**  
 VEHICULAR USE AREA IN STREET YARD AREA = 452 SQUARE FEET  
 LANDSCAPE AREA REQUIRED  
 (40 SQUARE FEET PER TREE) = 4 TREES = 80 SQUARE FEET  
 PLANT POINTS REQUIRED (0.5 POINTS/SQUARE FOOT) = 23 POINTS  
 TREE POINTS REQUIRED (HALF OF POINTS) = 12 POINTS  
 PROVIDED: 120 SQUARE FEET  
 PROVIDED: 116 POINTS\*  
 PROVIDED: 70 POINTS\*

**D. VEHICULAR USE AREA OUTSIDE STREET YARD**  
 VEHICULAR USE AREA OUTSIDE STREET YARD AREA = 2,733 SQUARE FEET  
 LANDSCAPE AREA REQUIRED  
 (40 SQUARE FEET PER TREE) = 4 TREES = 120 SQUARE FEET  
 PLANT POINTS REQUIRED (0.5 POINTS/SQUARE FOOT) = 137 POINTS  
 TREE POINTS REQUIRED (HALF OF POINTS) = 69 POINTS  
 PROVIDED: 120 SQUARE FEET  
 PROVIDED: 145 POINTS  
 PROVIDED: 80 POINTS

\* REFER TO LDC 142.0405(a)(2): "If plants and planting area are provided within a street yard or remaining yard to meet other requirements of this division, including vehicular use area and revegetation requirements, they may be used to satisfy the planting area and plant points required by Table 142.040."\*  
 \* REFER TO LDC 142.0407(b): "The vehicular use area that is less than 6,000 square feet in size, the required plant points may be provided within 5 feet of the edge of the vehicular use area."

POINT SCHEDULE	TOTAL AREA (S.F.)	PLANT MATERIAL POINTS REQUIRED (PTS./SQ. FT.)	PLANT MATERIAL POINTS REQUIRED (PTS. TOTAL)	HALF OF POINTS TO BE ACHIEVED WITH TREES	TREES POINTS ACHIEVED (TOTAL)	TREES / SHRUBS POINTS ACHIEVED (TOTAL)	EXCESS POINTS ACHIEVED
Street Yard	2,215 S.F.	0.5	111	56	140	333	242
Remaining Yard (* plant points to be planted within 5' setback)	3,759 S.F.	0.5	189	93	176	269	80
Vehicular Use Area In Street Yard	452 S.F.	0.5	23	12	70	116	93
Vehicular Use Area Outside Street Yard	2,733 S.F.	0.5	137	69	80	145	8

POINT SCHEDULE	PLANT QUANTITY FOR AREA					I STREET YARD POINTS ACHIEVED	II REMAINING YARD POINTS ACHIEVED	III VEHICULAR USE AREA IN STREET YARD POINTS ACHIEVED	IV VEHICULAR USE AREA OUTSIDE STREET YARD POINTS ACHIEVED
	TREES	POINT VALUE	I	II	III				
2 Cal. Tree	2								
15 Cal. Tree	6								
30" Box Tree	20		7	7	2	4	140	140	40
36" Box Tree	32								
36" Box Tree	50								
42" Box Tree	61								
48" Box Tree	102								
Pal Palms (or Boxwood Trees)	1.5							30	
SHRUBS									
1 Cal.	1		31	31	44	17	131	31	46
3 Cal.	2		31	21	15	62	42		30
15 Cal.	10								20
TOTAL POINTS:					333	269	116	145	

NOTE:  
 \*\* REFER TO LDC 142.0405(a)(2): "If plants and planting area are provided within a street yard or remaining yard to meet other requirements of this division, including vehicular use area and revegetation requirements, they may be used to satisfy the planting area and plant points required by Table 142.040."

TOPIA  
 3444 WARDEN STREET, SUITE 470  
 SAN DIEGO, CALIFORNIA 92121  
 TEL: (619) 438-0000  
 FAX: (619) 438-0054  
 topia@topia.net

07/02/07  
 DATE

PROJECT NO. 03-3-09  
 PRIVATE CONTRACT



TOPIA

Landscape Architecture - Planning  
 3444 Warden Street, Suite 470, San Diego, California 92121  
 Tel: 619-438-0000 Fax: 619-438-0054  
 A California Corporation

NOTE:  
 ALL ON SITE INFORMATION FOR REFERENCE ONLY.  
 SEPARATE BUILDING PERMITS IS REQUIRED.

YARD EXHIBIT CALCULATIONS FOR:  
**WEST POINT LOMA RESIDENTIAL**  
 4515 WEST POINT LOMA ROAD, SAN DIEGO, CALIFORNIA

CITY OF SAN DIEGO CALIFORNIA  
 DEVELOPMENT SERVICES DEPARTMENT  
 SHEET 27 OF 27

FOR CITY ENGINEER: DATE: \_\_\_\_\_  
 APPROVED BY: APPROVED DATE: \_\_\_\_\_  
 PREPARED BY: DATE: \_\_\_\_\_  
 CHECKED BY: DATE: \_\_\_\_\_  
 CONTRACTOR: DATE STARTED: \_\_\_\_\_  
 PROJECT: DATE COMPLETED: \_\_\_\_\_





Development Services Department  
Project Management

001008

# SANDAG Smart Growth Area

-  Community Center
-  Rural Village
-  Mixed Use
-  Transit Corridor
-  Special Use Center

**Transit Service**

-  Existing
-  Planned
-  Potential
-  Regional Serving Transit

-  Major Employment Areas
-  Habitat Preserve Planning Areas

**Smart Growth  
Concept Map**

(Accepted by the SANDAG Board of Directors for planning purposes for the 2007 Regional Transportation Plan.)



October 27, 2006



**Project site within  
SANDAG Mixed Use Transit Corridor**



ATTACHMENT 07

PROJECT DATA SHEET		
<b>PROJECT NAME:</b>	West Ocean Beach Park Units	
<b>PROJECT DESCRIPTION:</b>	Demolish two single-family units to allow for construction of seven rental units in six buildings.	
<b>COMMUNITY PLAN:</b>	Ocean Beach	
<b>DISCRETIONARY ACTIONS:</b>	Coastal Development Permit and Planned Development Permit.	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Multi-Family Residential (Allows residential development up to 25 dwelling units per acre).	
<b>ZONING INFORMATION:</b> <b>ZONE:</b> RM-2-4, Residential <b>HEIGHT LIMIT:</b> 30-Foot: Coastal Height Limit Overlay Zone <b>LOT SIZE:</b> 6,000 square-foot minimum lot size <b>FLOOR AREA RATIO:</b> 0.7 maximum <b>FRONT SETBACK:</b> 20 feet <b>SIDE SETBACK:</b> 5 feet <b>REAR SETBACK:</b> 15 feet <b>PARKING:</b> 16 parking spaces required		
<b>ADJACENT PROPERTIES:</b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Open space park, RS-1-1	Park
<b>SOUTH:</b>	Residential, RM-2-4	Residential
<b>EAST:</b>	Residential, RM-2-4	Residential
<b>WEST:</b>	Residential, RM-2-4	Residential
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	1) Deviate from the Municipal Code to allow less than 50% of the length of the building façade on the ground floor to enclose habitable area per SDMC 131.0464(e)(3).  2) Deviate from the Municipal Code to allow retaining walls that exceed the maximum required height of six feet by two feet, eight inches, for portions of a retaining wall extend into the side and rear yard setbacks.	
<b>PLANNING GROUP RECOMMENDATION:</b>	On May 2, 2007, the project was presented to the Ocean Beach Community Planning Committee. There were two motions made concerning the project and neither one passed (5-5-0). The Ocean Beach Community Planning Committee therefore made no recommendation.	



City of San Diego  
 Development Services  
 1222 First Ave., MS-302  
 San Diego, CA 92101  
 (619) 446-5210

## Community Planning Committee Distribution Form Part 2

Project Name : 4836 W Pt Loma Rental Units	Project Number 95894	Distribution Date 10/20/06
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**Project Scope:** OCEAN BEACH. JO#42-6042. (PROCESS 4) Site Dvlpmnt Pmt (Historical - archy), Cstl Dvlpmnt Pmt to demo 2 residences to construct 7 for-rent units (2story over basement) (14 BR) (14 pkg + 2 guest parking) on a 13,175 sq ft site at 4824 & 4836 W. Pt Loma Blvd in RM-2-4 Zone within OB Precise Plan, Coastal Overlay (appealable), First Public Rdwy, Cstl Ht Lmt, Airport Environs, Airport Approach, Pkg Impct, OB Hst District, CD2. Notice Cards=1.

**Project Location**  
4836 W Pt Loma Blvd

Applicant Name: Ricardo Torres	Applicant Phone No. (619) 231-9905
-----------------------------------	---------------------------------------

Related Projects

Project Manager Cory Wilkinson	Phone Number (619) 557-7900	Fax Number (619) 446-5245	E-mail Address CWilkinson@sandiego.gov
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Community Plan OCEAN BEACH	Council District 2
-------------------------------	-----------------------

Existing Zone	Proposed Zone	Building Height	Number of Stories	FAR
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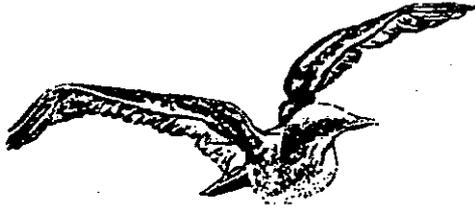
Committee Recommendations (To be completed for Initial Review):

<input type="checkbox"/> Vote to Approve	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input checked="" type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued

CONDITIONS: MOTION #1 TO APPROVE AS SUBMITTED: 5-5-0  
 MOTION #2 TO DENY ON BILL: SCALE 3 5-5-0

NAME HAROLD WATSON	TITLE CHAIRMAN
SIGNATURE <i>[Signature]</i>	DATE 05 MAY 07

*Attach Additional Pages If Necessary.* Please Return Within 30 Days of Distribution of Project Plans To:  
 Project Management Division  
 City Of San Diego  
 Development Services Department  
 1222 First Avenue, MS 302  
 San Diego, CA 92101



Ocean Beach Planning Board, Inc.  
 P.O. Box 70184  
 Ocean Beach, California 92167

**May 2, 2007 General Meeting Minutes**  
**(Approved)**

**Meeting Date:** Wednesday, May 2, 2007

**Meeting Called to Order:** Landry Watson called the meeting to order at 6:01pm.

**Board Members Present:** Giovanni Ingolia, George Murphy, Bill Bushe, Tom Gawronski, Shane Finneran, Nancy Taylor, Joshua Richman, Landry Watson, Michael Taylor, Jane Gawronski

**Agenda Modification:**

With no suggested changes to the agenda, George Murphy moved to approve the agenda as submitted.  
 Moved: George Murphy. Seconded: Giovanni Ingolia. Motion carried 9-0-0.

**Approval of Minutes:**

While the minutes from the general meeting on April 4 were being reviewed, George Murphy asked audience member Pat James, owner of an Ocean Beach business, if he could update the board on the situation involving vacant storefronts on Newport Avenue. At the April 4 meeting, board members had noted that one person or one group of people with unclear intentions had purchased several storefronts and had raised the rents to levels that seem unusually high. Pat James noted that some OB businesspeople had sent the buyer a letter asking for insight into the situation but had not received a response.

After correcting one typo, the board voted to approve the minutes from the general meeting on April 4, 2007.  
 Moved: Michael Taylor. Seconded: Bill Bushe. Motion passed: 8-0-1.  
 One board member abstained due to lack of attendance at the April 4 meeting.

The board also voted to approve the minutes from the land use subcommittee meeting on April 18, 2007.  
 Moved: Jane Gawronski. Seconded: Michael Taylor. Motion carried: 7-0-2.  
 Two board members abstained due to lack of attendance at the April 18 meeting.

**Treasurer's Report:**

Jane Gawronski reported that the Board had accepted a \$400 check from the OB Town Council, bringing the Board's bank account balance to \$897.02. Jane suggested that the Board send a thank you letter to the Council, and Landry Watson agreed to draft the letter.

Jane noted that she, as the Board's new treasurer, was working with the bank to certify herself and Landry Watson, the Board's new chair, as the bank account's overseers. Jane also noted that she planned on updating the Board's checks to reflect the new name of its bank, which might require a small fee.

**Board Member Announcements Reports & Comments:**

Bill Bushe reported that Donna Frye and Kevin Faulconer spoke to the Mission Bay Park Committee regarding lease issues related to the park. Bill also noted that electronics could be taken to Sea World for recycling on May 5.

Jane Gawronski reported that, at its most recent meeting, the OB Town Council presented the OB Planning Board with a check for \$400.

Giovanni Ingolia reported that COMPAC's April meeting was cancelled.

Noting that the OB Planning Board had discussed the issue of street lights in the past, Giovanni provided the Board with a handout entitled *Illuminating San Diego*, published by WalkSanDiego.org. The handout explains that San Diego neighborhoods can self-fund their own lighting via designation of a Maintenance Assessment District, or MAD. Giovanni suggested that the Board investigate the potential of an OB MAD. Landry suggested that it would be an ideal issue for an executive subcommittee of the Board, which he planned to propose shortly. Tom Gawronski said that any executive subcommittee would be subject to the Brown Act, which requires public noticing and publication of agendas, among other things.

Tom Gawronski reported that he attended an enjoyable meeting of the OB Historical Society, which featured author and Peninsula resident Joseph Wambaugh as a speaker.

George Murphy reported that the San Diego River Coalition was holding San Diego River Days, which features events from Julian to the San Diego River mouth at Dog Beach, on the weekend of May 19 and 20.

Bill Bushe suggested that the Board re-nominate him to serve as its representative to the Mission Bay Park Committee, and the Board approved.

Motion: Giovanni Ingolia. Second: Jane Gawronski. Motion carried 9-0-0.

Landry Watson reported that the Community Planners Committee on April 24 focused on the city's proposed changes to Council Policy 600-24 and to the bylaws of the 42 community planning boards across San Diego. Landry provided board members with copies of a City of San Diego memo to the CPC regarding the changes. Landry also noted that, under the new strong mayor policy, community planning boards technically report to the Mayor, not the City Council.

Landry noted that the OBPB would be able to customize its bylaws if it desired, but any changes would require city approval. Landry suggested that the Board soon consider updating its bylaws. Tom Gawronski suggested that the Board wait until it gets a template from the city, noting that the Board had updated the bylaws in the past, only to have the updates invalidated by broader changes made by the city.

Landry said he would soon organize a meeting of an executive committee of the OB Planning Board, which would focus primarily on evaluating the city's changes and their implications for the OBPB. Landry encouraged all Board members to consider joining the executive committee, and also encouraged members to familiarize themselves with the city's draft of the General Plan Update.

**Public Comments & Announcements:**

No members of the public asked to speak on non-agenda items.

**Projects:**

1466 Pescadero Ave. (Project No. 86511) **Cory Wilkinson**

*GEOLOGICAL REVIEW Coastal Site Development to demo existing multifamily dwelling units to construct 2 units in a two-story, 5203 sf building (one 3BR, one 2BR) w/two attached at-grade 2-car garages and one open parking spaces (5 spaces total) on 7436 sf site. (Process 3)*

This project was last reviewed by the board at a general meeting in late 2006.

Board member Michael Taylor recused himself from the discussion of the property, noting that he is the owner of the property.

An owner's representative noted that the city had completed its geological review of the project, and that the plans had been updated to move the project's underground foundation further away from the edge of the nearby cliff. The project's parking had also been moved underground.

Some board members noted that, because the geological issues surrounding the property had been addressed, they were comfortable approving the project as submitted. One board member noted that he had previously had concerns regarding the project's encroachment on public views, but that he had since decided that the concerns were not substantial enough to warrant a vote for denying the project.

A member of the audience who identified himself as a neighbor said that he believed the project would represent a substantial aesthetic improvement over the property's current residences.

One board member moved to approve the project as submitted.  
Moved: Bill Bushe. Seconded: Tom Gawronski. Motion carried 9-0-0.

4812 Coronado Ave. (Project No. 112388) **Laila Iskander**

*Coastal Development Permit and Map Waiver application to waive the requirements of a Tentative Map and under groundingoverhead utilities to create 3 residential condominiums (under construction) on a 0.145 acre site. (Process 3)*

The OBPB's land use subcommittee voted 9-0-0 to recommend approval of the project as submitted.

No one was present to speak on behalf of the project.

One board member noted that she lived on the same block as the property, and that the buildings in question are aesthetically pleasing.

One board member moved to approve the project as submitted.  
Moved: Giovanni Ingolia. Seconded: Jane Gawronski. Motion carried 9-0-0.  
One of the 10 board members at the meeting was not in the room for vote.

1711 Sunset Cliffs Blvd. (Project No. 118164) **Simon Tse**

*RESUBMITTAL Process 2 for a wireless communication facility consisting of 6 existing panel antennas mounted to the façade of an existing building, two outdoor BTS cabinets on the east side of the building and associated equipment located within a CMU and chainlink enclosure. Previous expired permit 95-0350-148 (Process 2)*

The OBPB's land use subcommittee voted 9-0-0 to recommend support of T-Mobile's improvements to the site.

A representative of T-Mobile explained that the project involved two elements: the addition of casings to some antennas, and an upgrade of the chain link fence surrounding T-Mobile's equipment on the site.

One board member pointed out that the project, as submitted, involved approving a renewal of T-Mobile's permit as well as the improvements mentioned above. The board member noted that, at the land use subcommittee meeting, some board members questioned whether the permit in question was within the OBPB's jurisdiction. Others noted that they believed it was.

One board member moved to approve the project as submitted.  
 Moved: Michael Taylor. Seconded: Giovanni Ingolia. Motion carried 10-0-0.

4836 W. Pt Loma Blvd. (Project No. 95894) **Cory Wilkinson**  
*Site Development Permit (Historical-archy), Coastal Development Permit to demo 2 residences to construct 7 for-rent units (2 story over basement) (14 BR) (14 pkg + 2 guest parking) on a 13,175 sq ft site. (Process 4)*

The OBPB's land use subcommittee voted 6-3-0 to recommend denial of the project based on its bulk and scale.

The owner's representative, who is also the project's architect, provided several details regarding the project:

- Features an 8- to 10-foot downhill slope from front to rear
- In the RM2-4 zone, which allows for a maximum of 8 units
- Would demolish the two existing units
- Would construct four 950 sq ft single-family units, each with 2BR/2BA; one 1030 sq ft single-family unit with 2BR/2BA; and a duplex of two 1016 sq ft units, each with 2BR/2BA
- Each of the five single-family units would include a 2-car garage
- Each half of the duplex would include a 1-car garage and a 1-car carport.
- In addition to the parking above, the project would include two surface spots.
- Includes one variance, to allow for less street frontage than is typically required.

The project's landscape architect noted that, in response to the objections of some members of the land use subcommittee, the project no longer called for Washingtonian palms, but would instead incorporate Queen palms or small canopy trees, such as fern palms.

A board member expressed support for the project, pointing to its contemporary design. The board member also noted that the issue was one of property rights, and that owners should be allowed to develop their property as they see fit.

A different board member noted that, when viewed from the rear of the property, the single-family units would appear to have heights of 40 ft. The board member was strongly opposed to the project because of its bulk and scale, particularly in light of its position near one of the main entrances to Ocean Beach. Another board member agreed, noting that the lack of front-to-back articulation of the project's height contrasted with existing developments in the area and with the stated preferences of the OBPB.

When audience members were asked to share comments, Pat James said that the cottages on the property and on surrounding properties are significant contributors to OB's character. Pat also noted that the project's proximity to the busy intersection of Sunset Cliffs Blvd and West Point Loma Blvd might present traffic issues.

In response to Pat's comment on cottages, a board member said that the cottages on the property in question were not deemed historical by the city.

One board member moved to approve the project as submitted.  
Moved: Jane Gawronski. Seconded: Bill Bushe. Motion failed 5-5-0.

One board member moved to deny the project based on its bulk and scale.  
Moved: Shane Finneran. Seconded: Tom Gawronski. Motion failed 5-5-0.

Meeting Adjourned at 7:55 pm by consensus.

Minutes Respectfully Submitted by: Shane Finneran, Secretary



Ocean Beach Planning Board, Inc.  
P.O. Box 70184  
Ocean Beach, California 92167

**April 18, 2007 Land Use Minutes**  
**(approved by the OBPB on May 2, 2007)**

**Meeting Date:** Wednesday, April 18, 2007

**Meeting Called to Order:** Michael Taylor called the meeting to order at 6:01pm.

**Board Members Present:** Giovanni Ingolia, Tom Gawronski, Shane Finneran, Nancy Taylor, Mandy Lopez, Landry Watson, Michael Taylor, Jane Gawronski, Craig Klein

**Agenda Modification:**  
none

**Public Comments & Announcements:**  
none

**Board Member Announcements Reports & Comments:**

Jane Gawronski noted that the Ocean Beach Town Council, at its April 25<sup>th</sup> meeting, would provide a \$400 grant to the Ocean Beach Planning Board. OBPB Chairman Landry Watson said he would attend and accept the grant.

Shane Finneran reminded OBPB members that the board's committee assignments at its next general meeting on May 2.

Craig Klein arrived at 6:15pm.

**Agenda Items:**

4836 W. Pt Loma Blvd. (Project No. 95894) **Cory Wilkinson**  
*Site Development Permit (Historical-archy), Coastal Development Permit to demo 2 residences to construct 7 for-rent units (2 story over basement) (14 BR) (14 pkg + 2 guest parking) on a 13,175 sq ft site. (Process 4)*

The owner's representative, who is also the project's architect, provided several details regarding the project:

- Features an 8- to 10-foot downhill slope from front to rear
- In the RM2-4 zone, which allows for a maximum of 8 units
- Would demolish the two existing units
- Would construct four 950 sq ft single-family units, each with 2BR/2BA; one 1030 sq ft single-family unit with 2BR/2BA; and a duplex of two 1016 sq ft units, each with 2BR/2BA
- Each of the five single-family units would include a 2-car garage
- Each half of the duplex would include a 1-car garage and a 1-car carport.
- In addition to the parking above, the project would include two surface spots.
- Includes one variance, to allow for less street frontage than is typically required.

The owner's representative also noted that the project aimed to offer more "pride of ownership" than the "standard box-type" units that are somewhat common in Ocean Beach.

The project's landscape architect explained landscaping details to the board, noting that the City had requested the planting of six Washingtonian palms. A board member noted that Washingtonians were on the City's "do not plant" list, and wondered why the City would request them in this case.

No members of the audience spoke up during the public comment period.

One board member noted that, when viewed from the rear of the property, the single-family units would appear to have heights of 40 ft. The board member explained that he was strongly opposed to the project because of its bulk and scale, particularly in light of its position near one of the main entrances to Ocean Beach.

When one board member noted that the property is one of the first properties visible when entering Ocean Beach from the north via Sunset Cliffs Blvd – and could soon be the very first – another board member said that he wouldn't support the proposal because of its sharp contrast with the existing character of the neighborhood.

Another board member expressed support for the project, pointing to its contemporary design.

In response to the board's comments, the property owner said that, in his opinion, the unique standalone design of the single-family units reduced the visual impact of their height.

Tom Gawronski moved to recommend denial of the project based on its bulk and scale. Craig Klein seconded the motion. The motion carried 6-3-0.

4812 Coronado Ave. (Project No. 112388) **Laila Iskander**

*Coastal Development Permit and Map Waiver application to waive the requirements of a Tentative Map and under grounding overhead utilities to create 3 residential condominiums (under construction) on a 0.145 acre site. (Process 3)*

Owner Brian Checkal was present and explained that project involved "condo-izing" 3 apartments.

Jane Gawronski motioned to recommend approval of the project. Craig Klein seconded the motion. The motion carried 9-0-0.

1711 Sunset Cliffs Blvd. (Project No. 118164) **Simon Tse**

*RESUBMITTAL Process 2 for a wireless communication facility consisting of 6 existing panel antennas mounted to the façade of an existing building, two outdoor BTS cabinets on the east side of the building and associated equipment located within a CMU and chainlink enclosure. Previous expired permit 95-0350-148 (Process 2)*

A representative of T-Mobile explained that the project involved two elements: the addition of casings to some antennas, and an upgrade of the chain link fence surrounding T-Mobile's equipment on the site.

Some board members questioned whether the permit in question was within the OBPB's jurisdiction. Others noted that they believed it was, as it pertains to use of land within Ocean Beach; the T-Mobile representative agreed.

An audience member who identified himself as a neighbor to the east of the project expressed his disapproval, noting that the existing facilities create a significant amount of noise, particularly from externally mounted air

conditioning. He noted that he had attempted to contact the management of the Masonic Lodge, who referred him to the individual cell companies. The audience member explained that, in his opinion, the site is an industrial use of a commercial and/or residential zone. He also asked if a detailed study of the site's noise impact had been conducted.

In response, the T-Mobile representative said that the T-Mobile facilities do not have externally mounted air conditioning. She also said that the last cellular company to add facilities to the site had conducted a detailed study of the facilities' cumulative impact.

Landry Watson motioned to recommend approval of the project as submitted. Mandy Lopez seconded the motion. The motion failed 4-5-0.

Craig Klein motioned to recommend support of T-Mobile's improvements to the site. Landry Watson seconded the motion. The motion carried 9-0-0.

The meeting was adjourned by consensus at 7:10pm.

Minutes Respectfully Submitted by: Shane Finneran, Secretary

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
**CITY CLERK**  
**MAIL STATION 2A**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 42-6042

PLANNED DEVELOPMENT PERMIT NO. 456171  
COASTAL DEVELOPMENT PERMIT NO. 310804  
**WEST OCEAN BEACH PARK UNITS**  
**PROJECT NO. 95894 (MMRP)**  
PLANNING COMMISSION

This Planned Development Permit 456171, and Coastal Development Permit 310804 are granted by the Planning Commission of the City of San Diego to ERIC OTTERSON, BENEDICTE OTTERSON AND GEORGE VANO, INDIVIDUALS, Owners/Permittees, pursuant to San Diego Municipal Code [SDMC] sections 126.0603 and 126.0707.

The project site is located at 4824 - 4836 West Point Loma Boulevard in the RM-2-4 zone of the Ocean Beach Precise Plan and Local Coastal Program Plan, Coastal Overlay Zone (appealable), Coastal Height Limit Overlay Zone, Airport Approach Overlay Zone, Airport Environs Overlay Zone, and Ocean Beach Emerging Historic District. The project site is legally described as Lots 38 - 41, inclusive, in Block 29, Map 1217 of Ocean Beach Park Annex, City and County of San Diego; and a portion of Lot 37, Block 29, Map 1217.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to demolish two residential units to construct seven rental units, as described and identified by size, dimension, quantity, type, and location on the approved exhibits, dated September 27, 2007, on file in the Development Services Department.

The project or facility shall include:

- a. Demolition of two non-historic, residential units at 4836 and 4824 West Point Loma Boulevard built in 1912 - 1914;

- b. Construction of a new seven rental units consists of five detached two-story structures over parking, and one duplex over parking;
- c. Provide 16 off-street parking spaces;
- d. Deviate from the Municipal Code to allow less than 50% of the length of the building façade on the ground floor to enclose habitable area per SDMC 131.0464(e)(3);
- e. Deviate from the Municipal Code to allow retaining walls that exceed the maximum required height of six feet by two feet, eight inches, for portions of a retaining wall that extend into the side and rear yard setbacks;
- f. Landscaping (planting, irrigation and landscape related improvements); and
- g. Accessory improvements determined by the City Manager to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in affect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.
4. This Permit is a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.
8. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.
10. In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.
11. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, including, but not limited to, any to any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement

between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

12. This Permit may be developed in phases. Each phase shall be constructed prior to sale or lease to individual owners or tenants to ensure that all development is consistent with the conditions and exhibits approved for each respective phase per the approved Exhibit "A."

#### **ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

13. Prior to demolition of the existing buildings, the applicant shall obtain approval from the Air Pollution Control District.

14. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program (MMRP). These MMRP conditions are incorporated into the permit by reference or authorization for the project

15. The mitigation measures specified in the Mitigation Monitoring and Reporting Program, and outlined in Mitigated Negative Declaration No. 95894 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL/MITIGATION REQUIREMENTS.

16. The Owner/Permittee shall comply with the Mitigation, Monitoring, and Reporting Program (MMRP) as specified in Mitigated Negative Declaration, satisfactory to the Development Services Department and the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas: **Archaeological Resources and Noise.**

17. Prior to issuance of any construction permit, the Owner/Permittee shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.

#### **ENGINEERING REQUIREMENTS:**

18. Prior to the building occupancy, the applicant shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance.

19. Prior to the issuance of any construction permit, the applicant shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

20. Prior to the issuance of any construction permit the applicant shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
21. Prior to the issuance of any construction permits, the applicant shall incorporate and show the type and location of all post-construction Best Management Practices (BMP's) on the final construction drawings, in accordance with the approved Water Quality Technical Report.
22. Prior to the issuance of a building permit the applicant shall obtain a grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
23. The drainage system proposed for this development is private and subject to approval by the City Engineer.
24. The applicant shall remove the existing driveway and construct a new City Standard 20' wide driveway, adjacent to the site on West Point Loma Boulevard. All work shall be completed and accepted by the City Engineer, prior to building occupancy.
25. The applicant shall replace the curb with City standard curb and gutter, adjacent to the site on West Point Loma Boulevard, satisfactory to the City Engineer, prior to building occupancy.

**LANDSCAPE REQUIREMENTS:**

26. Prior to issuance of any construction permits for grading, landscape construction documents for the revegetation and hydroseeding of all disturbed land shall be submitted in accordance with the *Land Development Manual Landscape Standards and to the satisfaction of the City Manager*. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Office of the Development Services Department.
27. Prior to issuance of any construction permits for buildings, complete landscape and irrigation construction documents consistent with the Land Development Manual Landscape Standards shall be submitted to the City Manager for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.
28. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Owner/ Permittee to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees

29. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

30. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. In this case, a Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.

31. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the City Manager within 30 days of damage or prior to a Certificate of Occupancy or a Final Landscape Inspection.

**PLANNING/DESIGN REQUIREMENTS:**

32. No fewer than 16 off-street parking spaces, and one motorcycle parking space, shall be maintained on the property at all times in the approximate locations shown on the approved Exhibits "A," on file in the Office of the Development Services Department. Parking spaces shall comply at all times with requirements of the Land Development Code and shall not be converted for any other use unless otherwise authorized by the City Manager.

33. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

34. Prior to issuance of building permits, the applicant must demonstrate that indoor noise levels that are attributable to airport operations shall not exceed 45db. The applicant will be required to spend no more than 10% of construction costs to meet noise attenuation requirements.

35. Prior to the issuance of any building permits, the Owner/Permittee shall grant to the San Diego County Regional Airport Authority, an aviation easement for the purpose of maintaining all aircraft approach paths to the San Diego International Airport. This easement shall permit the unconditioned right of flight of aircraft in the federally controlled airspace above the subject property. This easement shall identify the easement's elevation above the property and shall include prohibitions regarding use of and activity on the property that would interfere with the intended use of the easement. This easement may require the grantor of the easement to waive any right of action arising out of noise associated with the flight of aircraft within the easement.

36. Prior to submitting building plans to the City for review, the Owner/Permittee shall place a note on all building plans indicating that an avigation easement has been granted across the property. The note shall include the County Recorder's recording number for the avigation easement.

37. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

#### **AFFORDABLE HOUSING REQUIREMENTS**

38. Prior to the issuance of any building perm, the applicant shall comply with the Affordable Housing Requirements of the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code). The applicant has elected to pay an in-lieu fee to meet these requirements. Prior to receiving building permit, the applicant must enter into an agreement with the San Diego Housing Commission to assure the payment of the in-lieu fee.

#### **WASTEWATER REQUIREMENTS:**

39. The Owner/Permittee shall design and construct all proposed public sewer facilities to the most current edition of the City of San Diego's Sewer Design Guide.

40. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the building permit plan check.

#### **GEOLOGY REQUIREMENTS:**

41. An updated geotechnical report will be required as grading plans are developed for the project. The geotechnical consultant must review, sign and stamp the grading plans as part of the plan review and grading permit issuance process. A Final As-Built Report is required within 15 days of completion of grading operations. Additional geotechnical information such as verification of as-graded or existing soil conditions needed for design of structure foundations will be subject to approval by Building Development Review prior to issuance of building permits.

#### **WATER REQUIREMENTS:**

42. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s) and the removal of all existing unused services, within the right-of-way adjacent to the project site, in a manner satisfactory to the Water Department Director and the City Engineer.

43. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on

each water service (domestic, fire and irrigation), in a manner satisfactory to the Water Department Director and the City Engineer.

44. Prior to the issuance of any certificates of occupancy, all public water facilities shall be complete and operational in a manner the Water Department Director and the City Engineer.

45. The Owner/Permittee agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Public water facilities, and associated easements, as shown on approved Exhibit "A" shall be modified at final engineering to comply with standards.

**INFORMATION ONLY:**

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on September 27, 2007 by Resolution No. XXXX-PC

Permit Type/PTS Approval No.: CDP 310804, PDP 456171  
Date of Approval: September 27, 2007

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Laila Iskandar  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1180 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

**[Eric Otterson]**  
Owner/Permittee

By \_\_\_\_\_

**[Benedicte Otterson]**  
Owner/Permittee

By \_\_\_\_\_

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1180 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

[George Vano]  
Owner/Permittee

By \_\_\_\_\_

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1180 et seq.**

PLANNING COMMISSION  
RESOLUTION NO.  
PLANNED DEVELOPMENT PERMIT NO. 456171  
COASTAL DEVELOPMENT PERMIT NO. 310804  
**WEST OCEAN BEACH PARK UNITS**  
**PROJECT NO. 95894 (MMRP)**

WHEREAS, ERIC OTTERSON, BENEDICTE OTTERSON AND GEORGE VANO, Owners/Permittees, filed an application with the City of San Diego to demolish two residential units to allow for construction of seven rental units in six buildings on four lots, with at-grade resident parking, and surface guest parking, as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Planned Development Permit 456171, and Coastal Development Permit 310804; and

WHEREAS, the project site is located at 4824 - 4836 West Point Loma Boulevard in the RM-2-4 zone of the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan; and

WHEREAS, the project site is legally described as Lots 38 – 41, inclusive, in Block 29, Map 1217 of Ocean Beach Park Annex, City and County of San Diego; and a portion of Lot 37, Block 29, Map 1217; and

WHEREAS, on September 27, 2007, the Planning Commission of the City of San Diego considered Planned Development Permit (PDP) 456171, and Coastal Development Permit (CDP) 310804, pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, as follows, that the Planning Commission adopts the following written findings with respect to Planned Development Permit (PDP) 456171, and Coastal Development Permit (CDP) 310804:

**Coastal Development Permit - Section 126.0708 - Findings**

- 1. The proposed *coastal development* will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a *Local Coastal Program land use plan*; and the proposed *coastal development* will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the *Local Coastal Program land use plan*.**

The project would demolish two existing residential units to allow for construction of seven rental units in six buildings. The subject site is located approximately one-quarter block from the intersection of Sunset Cliffs Boulevard and West Point Loma Boulevard; and approximately one-half mile from the Pacific Ocean. The proposed development is situated on a deep lot that runs its entire length adjacent to existing residential lots, West Point Loma Boulevard at the front of the site, and Robb Field at the rear of the site. Gaining access to the ocean or any coastal body of water in this area is not accomplished through this lot. As such, adequate access exists in the area and is not affected by this project.

**2. The proposed *coastal development* will not adversely affect *environmentally sensitive lands*.**

The project proposes to demolish two existing residential units and construct a new seven rental units in six buildings. A Mitigated Negative Declaration has been prepared for the project and no Environmentally Sensitive Lands have been identified on the project site. In addition, the project is located within an existing urbanized area, surrounded by a fully developed residential neighborhood; therefore the project would not adversely affect these resources. The project is located outside and is not within or adjacent to the Multiple Species Conservation Program, Multiple Habitat Planning Area. The proposed construction will not conflict with the Multiple Species Conservation Plan, and will not adversely affect environmentally sensitive lands.

**3. The proposed *coastal development* is in conformity with the certified *Local Coastal Program land use plan* and complies with all regulations of the certified *Implementation Program*.**

The project would demolish two existing residential units to allow for construction of seven rental units in six buildings. The project location is within the North Ocean Beach area of the Ocean Beach Precise Plan and Local Coastal Program Plan in an area with a density recommendation of 25 dwelling units per acre (du/ac). The project does not exceed the density of the zone which allows for one dwelling unit for each 1,750 square feet. The 13,078 square foot project site therefore allows eight units where seven are proposed. Likewise, the Ocean Beach Precise Plan and Local Coastal Program Plan recommend a density of 25 dwelling units per acre (du/ac) for this location in the North Ocean Beach neighborhood. The project proposes seven units on a 0.30 acre site for a density of 23 dwelling units per acre which meets the community plan recommendation.

The project location is within an area designated by the San Diego Association of Governments (SANDAG) as a Smart Growth site. The increase in density at this site is consistent with the SANDAG long-range vision for the area.

The block where the subject site is located contains predominately residential development, with much of the surrounding development at single-story. However, there is a general mixture of both single and multi-family residential development, both single and multi-stories in height within a 300 foot radius of the subject site.

The Ocean Beach Community Plan calls for small-scale residential building types and styles. While the proposed cottages are greater in number than the existing residences to be demolished, individually, each detached unit is small-scale residential building type consisting of units of only approximately 1,000 square feet. The project was designed to minimize the footprint. The small footprints and detached structures, combined with staggering of the structures and allowing the structures to follow the natural contours of the parcel, present a small mass and profile to the neighborhood. The project also includes open space at the front and rear yards, along with substantial landscaping around all the units.

The project meets the requirements of the Municipal Code and recommendations of the community plan with respect to floor area ratio, density, building height and setbacks. While the zone could allow up to 40 feet [SDMC 131.0444(f)], the Coastal Height Overlay Zone restricts to 30 feet. The highest building height would be 29' 4" in Building C at the rear (northerly end) of the site.

**4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project would demolish two existing residential units to allow for construction of seven rental units in six buildings. Because the project is located within the First Public Roadway, the Coastal Act Findings are substantiated as follows.

The proposed development is to demolish an existing one-story, two existing residential units and construct a new seven rental units in six buildings. The subject property is designated as being between the first public road and the Pacific Ocean within the Coastal Overlay Zone.

The proposed project site is adjacent to the Ocean Beach Park, designated in the Local Coastal Program as a public park and recreational area. Public access to the park area is available at the end of Bacon Street and Sunset Cliffs Boulevard. All development would occur on private property; therefore, the proposed project will not encroach upon the existing physical access way used by the public. Adequate off-street parking spaces will be provided on-site, thereby, eliminating any impacts to public parking. The proposed coastal development will conform to the public access and public recreation policies of Chapter 3 of the California Coastal Act.

**Planned Development Permit - Section 126.0604 - Findings**

**1. The proposed development will not adversely affect the applicable land use plan;**

The project would demolish two existing residential units to allow for construction of seven new rental units in six buildings. The project location is within the North Ocean Beach area of the Ocean Beach Precise Plan and Local Coastal Program Plan, in an area with a density recommendation of 25 dwelling units per acre (du/ac). The project does not exceed the density of the zone which allows for one dwelling unit for each 1,750 square feet. The 13,078 square foot project site therefore allows eight units where seven are proposed. Likewise, the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan recommend a density of 25 dwelling units per acre (du/ac) for this location in the North Ocean Beach neighborhood. The project proposes seven units on a 0.30 acre site for a density of 23 dwelling units per acre which meets the community plan recommendation.

The project location is within an area designated by the San Diego Association of Governments (SANDAG) as a Smart Growth site. The increase in density at this site is consistent with the SANDAG long-range vision for the area.

The block where the subject site is located contains predominately residential development, with much of the surrounding development at single-story. However, there is a general mixture of both single and multi-family residential development, both single and multi-stories in height within a 300 foot radius of the subject site.

The Ocean Beach Community Plan calls for small-scale residential building types and styles. While the proposed cottages are greater in number than the existing residences to be demolished, individually, each detached unit is small-scale residential building type consisting of units of only approximately 1,000 square feet. The project was designed to minimize the footprint. The small footprints and detached structures, combined with staggering of the structures and allowing the structures to follow the natural contours of the parcel, present a small mass and profile to the neighborhood. The project also includes open space at the front and rear yards, along with substantial landscaping around all units.

At the recommendation of the community plan, the SDMC establishes a maximum Floor Area Ratio (FAR) of 0.7, or 9,222 square feet. The project proposes 6,891 square feet of living area, whereas up to 6,893 square feet is allowed; and provides 9,222 square feet total floor area, where 9,222 is allowed.

The project meets the requirements of the Municipal Code and recommendations of the community plan with respect to floor area ratio, density, building height and setbacks. While the zone could allow up to 40 feet [SDMC 131.0444(f)], the Coastal Height Overlay Zone restricts to 30 feet.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.**

The project would demolish two existing residential units to allow for construction of seven rental units in six buildings. The development of the five single family detached units and duplex unit will not pose any risk or danger to the public health, safety and welfare. While portions of the subject site are identified as low seismic risk due to potential liquefaction, the development will incorporate all recommendations from the Geotechnical engineer to mitigate the potential impacts. Furthermore, the development will incorporate all recommendations and sizes for proper sized foundation and building components from a licensed structural engineer. The subject site is located within private property and is neither located on or near any bluff or cliff. The development would mitigate interior noise to 45 decibels (dB) or less. Exterior usable open space would meet 65 dB.

**3. The proposed development will comply with the applicable regulations of the Land Development Code.**

The project would demolish two existing residential units to allow for construction of seven rental units in six buildings. The proposed development complies with all applicable regulations, as allowed by the approval of a Planned Development Permit.

The project meets the requirements of the Municipal Code and recommendations of the community plan with respect to floor area ratio, density, building height and setbacks. While the zone could allow up to 40 feet [SDMC 131.0444(f)], the Coastal Height Overlay Zone restricts to 30 feet. The highest building height would be below the 30 foot height limit.

**4. The proposed development, when considered as a whole, will be beneficial to the community.**

The project would demolish two existing residential units to allow for construction of seven rental units in six buildings. The project was designed to provide the smallest possible massing and footprints to respect the single family portion of the neighborhood. These small footprints and detached structures, combined with staggering of the structures and allowing the structures to follow the natural contours of the parcel, will present a small mass and profile to the neighborhood. Currently there are multiple examples of this building type around the subject site and community. The proposed development helps reduce the bulk and scale as compared to the alternative of construction of one single large structure. This project also includes the required open space at the front and rear yards, along with the required landscaping around all units. The landscaping provided will visually buffer the proposed development and soften the appearance of the street frontage. The density at this site is consistent with the SANDAG long-range vision for the area. When considered in a cumulative manner, the proposed development will benefit the community.

**5. Any proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.**

The project would demolish two existing residential units to allow for construction of seven rental units in six buildings. The requested deviation pertains to SDMC 131.0464(e)(2), stating that at least 50% of the length of the building façade on the ground floor must enclose habitable area, applies to the front two cottage units facing West Point Loma Boulevard. In order to provide a project with the proposed small footprints and detached structures, the driveway configuration bisects the parcel to allow for vehicular access to all the detached cottages in the rear of the parcel. Thus, in order to provide this detached small scale design approach, the front two structures do not meet the above stated requirement and exceed the 50% maximum by approximately six feet. This is based on the footprints of these detached structures being so small that the bottom floor footprint in question is approximately on 480 square feet in total and thus, once parking is provided it is impossible to meet the maximum 50% requirement as the required parking makes up the majority of the first level footprints of these detached structures. Without this deviation, and keeping the project at the density as proposed, the design could be a "box-like" form with more bulk, increased scale, and mass which would be detrimental to the neighborhood appearance and character. The minor deviations are appropriate for this site.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 456171, and Coastal Development Permit

No. 310804 are hereby GRANTED by the Planning Commission to the referenced Owners/Permittees, in the form, exhibits, terms and conditions as set forth in Planned Development Permit No. 456171, and Coastal Development Permit No. 310804, a copy of which is attached hereto and made a part hereof.

---

Laila Iskandar  
Development Project Manager  
Development Services

Adopted on: September 27, 2007

Job Order No. 42-6042

cc: Legislative Recorder, Planning Department

001338

SAN DIEGO COUNTY  
REGIONAL AIRPORT AUTHORITY

PTS 95894  
ATTACHMENT 1.2

P.O. BOX 82776, SAN DIEGO, CA 92138-2776  
619.400.2400 WWW.SAN.ORG

June 1, 2006

City of San Diego  
Mr. Cory Wilkinson  
Project Manager  
Development Services Dept.  
1222 First Avenue, MS 302  
San Diego, CA 92101-4153

Re: *San Diego County Regional Airport Authority Airport Land Use Commission Consistency Determination – 4824 & 4836 West Point Loma Boulevard, City of San Diego; APN# 448-230-19 & 448-230-20; San Diego International Airport Land Use Compatibility Plan – LIN-06-018, Resolution No. 2006-0027 ALUC*

Dear Mr. Wilkinson:

This letter is to notify the City of San Diego ("City") of the May 1, 2006, consistency determination that was made by the San Diego County Regional Airport Authority ("Authority" or "SDCRAA"), acting in its capacity as the San Diego County Airport Land Use Commission ("ALUC"), for the referenced project. The ALUC has determined that the proposed project is **conditionally consistent** with the San Diego International Airport ("Airport") Land Use Compatibility Plan ("ALUCP"). A copy of Resolution 2006-0027 ALUC, approved by the ALUC on May 1, 2006, and memorializing the consistency determination, is enclosed for your information.

The ALUC's determination that the 4824 & 4836 West Point Loma Blvd. project is **conditionally consistent** with the Airport ALUCP was made consistent with the ALUC Policies and the State Aeronautics Act provisions (Cal. Pub. Util. Code §21670-21679.5), and was based on numerous facts and findings, including those summarized below:

- (1) The proposed project involves a Coastal Development Permit to construct seven (7) new residential units at 4824 & 4836 West Point Loma Blvd., City of San Diego. The proposed project is located within the 65-70 dB CNEL noise contours for SDIA and within the Airport Approach Overlay Zone (AAOZ) for SDIA.
- (2) The SDIA ALUCP identifies new residential uses located within the 65-70 dB CNEL noise contours as compatible with airport uses, provided that the project is sound attenuated to 45 dB CNEL interior noise level. Therefore, as a condition of project approval, the project must be sound attenuated to the 45 dB CNEL interior noise level.
- (3) The SDIA ALUCP requires that an aviation easement for aircraft noise and height be provided to the airport operator for new residential construction within the Airport Influence Area (AIA). Therefore, as a condition of project approval, an aviation easement for noise and height must be recorded for the project with the County Recorder and a copy filed with the airport operator.



SAN DIEGO  
INTERNATIONAL  
AIRPORT

Mr. Cory Wilkinson  
Page 2

- (4) The SDIA ALUCP requires the ALUC to utilize the City of San Diego's AAOZ to determine appropriate heights above ground level. The maximum allowable height for a project on this site is approximately three hundred eighty feet (380') Above Mean Sea Level (AMSL). The maximum height of the proposed project is fifty-seven feet (57') AMSL. Therefore the project complies with AAOZ height restrictions.
- (5) The proposed project is located outside the Runway Protection Zone (RPZ) for SDIA and is consistent with FAR Part 77 Guidelines. Therefore, the proposed project is complies with the SDIA ALUCP.
- (6) The SDIA ALUCP requires that a proposed project not increase density greater than one hundred ten percent (110%) of the average intensity of existing uses within a one-quarter (1/4) mile radius of the project site, if within the AAOZ. The project does not exceed these density restrictions. Therefore, the proposed project is consistent with the SDIA ALUCP.
- (7) If the proposed project contains the above-required conditions, the proposed project would be consistent with the adopted SDIA ALUCP.
- (8) This Board action is not a "project" as defined by the California Environmental Quality Act (CEQA) Pub. Res. Code Section 21065; and is not a "development" as defined by the California Coastal Act Pub. Res. Code Section 30106.

Please contact Ms. Linda Johnson at (619) 400-2463 if you have any questions regarding the issues addressed in this letter.

Very truly yours,



Thella F. Bowens  
President/CEO

TFB/LMJ/arw

Enclosures: Resolution 2006-0027 ALUC  
Sample Avigation Easement

cc: Amy Gonzalez, SDCRAA – General Counsel  
Ron Bolyard, Caltrans – Division of Aeronautics  
Ricardo Torres, Golba Architecture, Inc.

## RESOLUTION NO. 2006-0027 ALUC

A RESOLUTION OF THE BOARD OF THE SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY MAKING A DETERMINATION THAT THE PROPOSED PROJECT: COASTAL DEVELOPMENT PERMIT TO CONSTRUCT SEVEN NEW RESIDENTIAL UNITS AT 4824 AND 4836 WEST POINT LOMA BOULEVARD, CITY OF SAN DIEGO IS CONDITIONALLY CONSISTENT WITH THE SAN DIEGO INTERNATIONAL AIRPORT LAND USE COMPATIBILITY PLAN.

WHEREAS, the San Diego County Regional Airport Authority, acting in its capacity as the Airport Land Use Commission (ALUC) for San Diego County, was requested by Golba Architecture, Inc., representing the owner, to determine the consistency of a proposed project: Coastal Development Permit to Construct Seven New Residential Units at 4824 and 4836 West Point Loma Boulevard, City of San Diego, located within the Airport Influence Area (AIA) and the City of San Diego's Airport Approach Overlay Zone (AAOZ) for the San Diego International Airport (SDIA) Airport Land Use Compatibility Plan (ALUCP), originally adopted in February 1992 and amended in April 1994 and October 2004; and

WHEREAS, the site plans for the proposed development indicate that the project would involve the demolition of two existing units, the consolidation of two lots, and the construction of five separate cottages and a two-unit duplex which would be located within the 65-70 decibel (dB) Community Noise Equivalent Level (CNEL) noise contours for SDIA, within the AAOZ, and outside the Runway Protection Zone (RPZ); and

WHEREAS, the SDIA ALUCP identifies new residential uses located within the 65-70 dB CNEL noise contours as conditionally compatible with airport uses provided that (a) the project is sound attenuated to the 45 dB CNEL interior noise level, (b) an aviation easement for aircraft noise and height is provided to the airport operator, and (c) the project complies with AAOZ density and height restrictions and Federal Aviation Regulations (FAR) Part 77 requirements, and;

WHEREAS, the proposed height of the project is in compliance with AAOZ height restrictions; and

WHEREAS, the proposed project is in compliance with FAR Part 77 height restrictions; and

WHEREAS, the proposed project is located outside the RPZ for the SDIA; and

Resolution No. 2006-0027 ALUC  
Page 2 of 4

WHEREAS, the proposed density of the project is in compliance with the SDIA ALUCP density limitations; and

WHEREAS, this Airport Authority has considered the information provided by staff, including information in the staff report and other relevant material regarding the proposed project; and

WHEREAS, the Board has provided an opportunity for the City of San Diego and interested members of the public to present information regarding this matter.

NOW THEREFORE BE IT RESOLVED, that the Airport Authority, serving as the ALUC for San Diego County, pursuant to Section 21670.3 of the Public Utilities Code, determines that the proposed project: Coastal Development Permit to Construct Seven New Residential Units at 4824 and 4836 West Point Loma Boulevard, City of San Diego, is conditionally consistent with the San Diego International Airport Land Use Compatibility Plan, which was originally adopted in February 1992 and amended in April 1994 and October 2004, based upon the following facts and findings:

- (1) The proposed project involves a Coastal Development Permit to construct seven new residential units at 4824 and 4836 West Point Loma Boulevard, City of San Diego. The proposed project is located within the 65-70 dB CNEL noise contours and within the AAOZ for SDIA.
- (2) The SDIA ALUCP identifies new residential uses located within the 65-70 dB CNEL noise contours as compatible with airport uses, provided that the project is sound attenuated to the 45 dB CNEL interior noise level. Therefore, as a condition of approval, the project must be sound attenuated to the 45 dB CNEL interior noise level.
- (3) The SDIA ALUCP requires that an aviation easement for aircraft noise and height be provided to the airport operator for new residential construction within the AIA. Therefore as a condition of project approval, an aviation easement for noise and height must be recorded for the project with the County Recorder and a copy filed with the airport operator.
- (4) The SDIA ALUCP requires the ALUC to utilize the City of San Diego's AAOZ to determine appropriate heights above ground level. The maximum allowable height for a project on this site is approximately three hundred eighty feet (380') AMSL. The maximum height of the proposed project is approximately fifty-seven feet (57') AMSL. Therefore the project complies with the AAOZ height restrictions.

Resolution No. 2006-0027 ALUC  
Page 3 of 4

- (5) The proposed project is located outside the RPZ for SDIA and is consistent with FAR Part 77 Guidelines. Therefore the proposed project complies with the SDIA ALUCP.
- (6) The SDIA ALUCP requires that a proposed project not increase density greater than one hundred ten percent (110%) of the average intensity of existing uses within a one-quarter (1/4) mile radius of the project site, if within the AAOZ. The project does not exceed the density restrictions and therefore complies with the SDIA ALUCP.
- (7) If the proposed project contains the above-required conditions, the proposed project would be consistent with the adopted SDIA ALUCP.
- (8) This Board action is not a "project" as defined by the California Environmental Quality Act (CEQA) Pub. Res. Code Section 21065; and is not a "development" as defined by the California Coastal Act Pub. Res. Code Section 30106.

Resolution No. 2006-0027 ALUC  
Page 4 of 4.

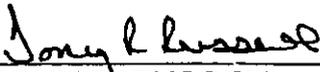
PASSED, ADOPTED AND APPROVED by the Board of the San Diego County Regional Airport Authority at a regular meeting this 1st day of May 2006, by the following vote:

AYES: Board Members: Craver, Jacobson, Lynch, Nieto, Peterson  
Sessom, Vance

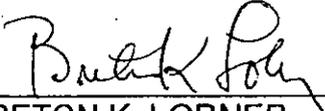
NOES: Board Members: None

ABSENT: Board Members: Maxwell, Young

ATTEST:

  
\_\_\_\_\_  
TONY R. RUSSELL  
DIRECTOR, CORPORATE SERVICES/  
AUTHORITY CLERK

APPROVED AS TO FORM:

  
\_\_\_\_\_  
BRETON K. LOBNER  
GENERAL COUNSEL



City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101  
(619) 446-5000

# Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment  Other

Project Title: WEST POINT LOMA Project No. For City Use Only: 95894

Project Address: 4824 WEST POINT LOMA BLVD

### Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached  Yes  No

Name of Individual (type or print): ERIC OTTERSON  
 Owner  Tenant/Lessee  Redevelopment Agency  
4945 CRYSTAL DRIVE  
Street Address: SAN DIEGO, CA 92109  
City/State/Zip:  
Phone No: 858-735-6777 Fax No:  
Signature: [Signature] Date: 1/18/06

Name of Individual (type or print): George Vano  
 Owner  Tenant/Lessee  Redevelopment Agency  
4945 CRYSTAL DRIVE  
Street Address: SAN DIEGO, CA 92109  
City/State/Zip:  
Phone No: Fax No:  
Signature: [Signature] Date: 1/18/06

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
Street Address:  
City/State/Zip:  
Phone No: Fax No:  
Signature: Date:

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency  
Street Address:  
City/State/Zip:  
Phone No: Fax No:  
Signature: Date:

001345

RECEIVED

CITY CLERK'S OFFICE



City of San Diego  
Development Services  
1222 First Ave. 3rd Floor  
San Diego, CA 92101  
(619) 446-5210

Development Permit/  
Environmental Determination  
Appeal Application

FORM  
DS-3031  
MARCH 2007

SAN DIEGO, CALIF.

See Information Bulletin 505, "Development Permits Appeal Procedure," for information on the appeal procedure.

1. Type of Appeal:
- Process Two Decision - Appeal to Planning Commission
  - Process Three Decision - Appeal to Planning Commission
  - Process Four Decision - Appeal to City Council
  - Environmental Determination - Appeal to City Council
  - Appeal of a Hearing Officer Decision to revoke a permit

2. Appellant Please check one  Applicant  Officially recognized Planning Committee  "Interested Person" (Per M.C. Sec. 113.0103)

Name: PATRICIA HAUSMAN  
Address: 4858 W. PT. LOMA BL. City: SAN DIEGO State: CA Zip Code: 92107 Telephone: 619-223-9200

3. Applicant Name (As shown on the Permit/Approval being appealed). Complete if different from appellant.  
RICARDO TORRES

4. Project Information

Permit/Environmental Determination & Permit/Document No.:	Date of Decision/Determination:	City Project Manager:
<u>Project # 95894</u>	<u>09-27-07</u>	<u>LAILA ISKANDAR</u>

Decision (describe the permit/approval decision):  
Project type: Coastal Development Permit and  
Planned Development Permit Project # 95894  
Approved by SD Planning Commission

5. Grounds for Appeal (Please check all that apply)
- Factual Error (Process Three and Four decisions only)
  - Conflict with other matters (Process Three and Four decisions only)
  - Findings Not Supported (Process Three and Four decisions only)
  - New Information (Process Three and Four decisions only)
  - City-wide Significance (Process Four decisions only)

Description of Grounds for Appeal (Please relate your description to the allowable reasons for appeal as more fully described in Chapter 11, Article 2, Division 5 of the San Diego Municipal Code. Attach additional sheets if necessary.)

See Attached Appeal Packet.

6. Appellant's Signature: I certify under penalty of perjury that the foregoing, including all names and addresses, is true and correct.

Signature: Patricia Hausman Date: 10-11-07  
619-223-9200

Note: Faxed appeals are not accepted. Appeal fees are non-refundable.

First of all thank you for the process of appeal. I am a thirty-one year resident, living three parcels from the proposed development. Although I am the only 'Interested Party' that attended the San Diego Planning Board meeting on September 27<sup>th</sup>, the \$100 filing fee is being paid by members of the immediate neighborhood, who were not able to attend the meeting.

The couple who own the cottage directly next door, at 4820 W. Point Loma Blvd., between the corner and the subject properties, are very opposed to the construction. They had to be in Canada, at the time of the San Diego Planning Board meeting, so they were not able to attend and voice their fears and objections.

I walked the neighborhood, on Monday evening, October 8<sup>th</sup>. I just wanted to get an impression of how the other residents of the street felt about this project. Everyone was against the project, as depicted in the rendering presented to the San Diego Planning Board (I took a copy with me to show them). They all felt that the front three story structures that are planned to sit on the street front, set way out in front of the existing homes, were too overpowering for the location. They know that they cannot 'speak' for the appeal, but their concerns are bona fide and I do want to share with you their thoughts and feelings. There was one short term tenant, down the block, that didn't really care one way or the other, but ALL of the others were vehemently against what they called the destruction of the character of the neighborhood.

I know that you have access to the video archive of the presentation to the San Diego Planning Board on September 27<sup>th</sup>, item #11 on their agenda, Exhibit A provides you with a copy of the written portion of my presentation that day. Copies were provided; prior to the meeting, for each of the board members.

I am providing evidence to address the issues outlined on the following pages. If you have any questions at all, please do not hesitate to contact me.

This appeal is being filed to make absolutely certain that the final decision on this development will be made based on factual information.

Patricia Hausman  
4858 West Point Loma Boulevard  
San Diego, CA 92107 (Ocean Beach)  
619-223-9200  
[Patilee6@yahoo.com](mailto:Patilee6@yahoo.com)

All of the areas covered in this appeal were addressed with the San Diego Planning Board in my presentation either orally or in the written presentation.

EXHIBITS ATTACHED

- Exhibit A - Copy of the written portion of my presentation to the San Diego Planning Board on September 27<sup>th</sup>.
- Exhibit B - Aerial view of area surrounding the neighborhood
- Exhibit C - Existing units at the end of the odd side of the street
- Exhibit D - Aerial view of the immediate neighborhood
- Exhibit E - photo of the home on the corner, next to the proposed development showing that the structure in the rear, although 2 levels is actually lower than the single story home fronting the street, due to the slope of the grade
- Exhibit F - Photo of the only existing two story structure on the street frontage  
Note that it honors the same setback as the homes on this side of the street
- Exhibit G - A rendering of the coming Entryway project, located one narrow parcel in From the proposed development
- Exhibit H - The subject property shown in it's proximity to the Entryway Project
- Exhibit I - A sampling of the existing homes on the street
- Exhibit J - The Ocean Beach sign, the beginning of the entryway to Ocean Beach
- Exhibit K - The area right after the Ocean Beach sign, showing the landscaped median
- Exhibit L - A continuance of the entryway depicting the enhanced rockwork on the Median, done by the city
- Exhibit M - The subject property as it exists today
- Exhibit N - The subject property depicting the proposed development
- Exhibit O - The rear view of the subject properties as seen from Sunset Cliffs Boulevard, approaching the entryway
- Exhibit P - The Skate Board Park, at the far north end of Robb Field, which bring thousands of people to the area each year
- Exhibit Q - This view shows the other side of the street, on this block of West Point Loma showing that it is ALL one story structures

## FACTUAL ERRORS

### EXISTING SINGLE STORY STRUCTURES DISPUTED

The opinion of the San Diego Planning Board was based upon information that the Applicant presented to them promoting that the bulk and scale of this proposed construction was appropriate at the location because it was an **immediate neighborhood of established two and three story Big Box structures**. He referred to the three story box style structures that they want to put at the street front as "mini-cottages". These are actually big, tall, box type buildings, set out in front of all of the other dwellings on the street. They are not in keeping with the standard of the existing neighborhood, with the very character of the neighborhood. They are slightly recessed on the very top level, but they are, indeed, three stories tall, at the street front.

The applicant compared the height of the home located next door to the subject properties, in the rear behind 4820 W. Point Loma, to the height of the proposed development. Exhibit E will serve to demonstrate that the home in the rear next door actually sits lower in height than the single story home in the front of it, due to the sloping grade of the land.

The applicant presented photographs of properties located to the left, or **East** of Sunset Cliffs Boulevard, a different neighborhood, and he showed shots of properties blocks away. Trying to justify the bulky proposed construction, as being in keeping with the area. Nothing could be further from the truth for this historic corridor.

People entering Ocean Beach do not turn left and go to the east of Sunset Cliffs Boulevard. **They turn right**, at the Entryway/Gateway of Ocean Beach and go west, onto the 4800 block of West Point Loma Boulevard. This leads to our beaches, including Dog Beach, which bring hundreds of thousands of people each year, and Robb Field (the huge athletic field/park) which also brings hundreds of thousands of people to our town each year. Robb Field facilitates local, national and international tournaments for rugby, soccer, and baseball, and many other events, including company picnics, and civic events. People also turn right onto this historic corridor to get to our beautiful skateboard park, which also brings thousands of people to Ocean Beach each year. Our Fishing Pier brings in many anglers, and sightseers from all of San Diego. Most people coming into town to go to the many antique stores on Newport Avenue, and to the pier, turn left onto West Point Loma Boulevard to get into town, rather than go straight down Sunset Cliffs.

I present evidence that this first block entryway (the 4800 block of West Point Loma) is a corridor of existing single family homes, on both sides of the street. These are all Craftsman Style homes built in the early 1900's.

This neighborhood, between Sunset Cliffs and Cable Street, has one older two story six unit apartment building (see Exhibit F) which honors the same set back as all of the homes on the even side of the street. On the odd side of the street we have all single family homes with an older Spanish style apartment complex that ends that side of the street. These attractive units, that conform to the older style of the homes on the street, are single family dwellings fronting the street with units built above garages in the rear (see Exhibit C). They are very tastefully built with an appearance presentation that is completely connected to the community.

**Exhibits C, D, E, F, M, N, P & Q all support the fact that this is an existing neighborhood of one story homes**

## THE "ENTRYWAY" OR "GATEWAY" TO OCEAN BEACH DISPUTED

The applicant went to great lengths to convince the San Diego Planning Board that the subject properties could not be considered part of what he calls "the 'alleged' Entryway or Gateway to Ocean Beach". He pointed to the small cottage next door, saying that this home keeps the proposed construction from being a part of the Entryway to Ocean Beach.

The facts are that the involved parcels sit just feet from the new Entryway/Gateway project, which will be a beautiful pedestrian entryway to the park. (see exhibits G & H) There will be grassy areas, paved paths, benches and artwork. This lovely park introduction will sit one narrow lot from the towering buildings if they are approved as they are now depicted.

The small cottage that sits between the proposed construction and the park entryway will be dwarfed by the three story structures proposed.

I present you with evidence that this is, in fact, the very heart of the Entryway/Gateway to Ocean Beach.

The applicant depicted the existing four corners of the intersection as being a gas station, a liquor store/mini mart, an automobile shop and a sports store. The auto shop and sports store are part of the same corner, the applicant represented these as the four different corners so that he would not have to point out the actual fourth corner, which is the new Entryway Project.

It is a fact that when you enter La Jolla, Encinitas, Solana Beach Del Mar, Pacific Beach, or any other town/city you will first be greeted by a gas station and probably a mini-mart.

The city has gone to great lengths, and spent a lot of money enhancing the entrance to our little beach town. San Diego has landscaped, and articulated the median area with artfully completed rock work and palm trees (see Exhibits J, K & L). They will be using yellow paved tiles to enhance the intersection, which is situated just feet from the subject properties, and they will be completing the new pedestrian entry park as soon as the balance of the funding is in place.

The proposed construction will tower over the small cottage next door and ruin the façade of the entry.

See Exhibits G, H, J, K, & L

**CITYWIDE (TOWNWIDE) SIGNIFICANCE**

One of the grounds for the appeal, on the form, is 'a matter of Citywide significance'. Although Ocean Beach is a part of the city of San Diego, we are certainly our own 'Town', with unique characteristics. If you mention Ocean Beach to anyone that is knowledgeable about San Diego, the image is of a laid back sleepy beach town inhabited by people who have a renowned reputation for caring about their community. We are famous, or infamous, if you will, for fiercely protecting the standard and quality of the character of our town. The huge bulk and scale of this project, located at the very heart of our Entryway, the Gateway to our town, is inappropriate and not in keeping with the treasured ambiance of our little community.

I know that the San Diego Town Council is wanting to embrace density, and I know that construction will be done at this site. I am saying, and the community at large of Ocean Beach would be saying, if they had full knowledge of this project, is that it can be accomplished tastefully, and in keeping with the standard and character and charm of the existing neighborhood.

The architect could produce an attractive single story structure facing the street, with second story structures behind the front building, and put the three story buildings in the rear, where the slope of the grade is such that the three stories will have an appearance of less than two stories from the street.

I believe there are multiple principals involved in this development venture, and I would be willing to make a strong supposition that these investors will finish the construction, sell the units, run to the bank, and then turn their on their heels and leave Ocean Beach.

***There is no community conscience at work here. No concern for the character and standard of the neighborhood, and indeed the character and standard of the entire eclectic town of Ocean Beach.***

**TRAFFIC**

"The traffic congestion caused by this structure to the proximity of the busy corner has not been fully realized (or even evaluated no doubt). As is, cars honk like crazy when we pull slowly into our driveway + all the frequent collisions (including the one from last weekend!). We are definitely opposed to this".

The above is a quote from an email I received from Mrs. Martinez, who lives next door to the subject properties, at 4820 West Point Loma Boulevard. She told me that they have a terrible time getting in and out of their driveway, because like the subject properties, they are located so close to the busy corner. She said that people fly around the corner coming onto West Point Loma and are not prepared for someone to slow and turn into a driveway.

There continue to be multiple accidents on this block. I am surprised that this project has gotten to this stage without a traffic study being required. The additional burden to the traffic dangers of the street is going to cause many more accidents. It is not a matter of if, it is a matter of when.

I strongly recommend that a thorough traffic study be completed before any multiple dwelling construction is sanctioned at this site, in such close proximity to the busiest corner in Ocean Beach.

**Human life is potentially at stake if a hasty decision is allowed to be made, without professional input on the traffic situation at this location.**

### PARKING

The proposed construction is to involve seven units, all two bedroom, two bath dwellings with two car garage spaces. I understand that 15 parking spaces will be provided with one slot in case a resident happens to drive a motorcycle (which most often is a second vehicle).

Legally I believe a two bedroom dwelling can house up to four people. If you suppose that each unit houses three people then that would be twenty one people with parking needs, not to mention the guest parking that will be housed somewhere. The street parking now available is completely taken up at this point in time. In fact there are usually three or four cars parking in the lot, at the corner, that is only available because construction has not yet begun on our new Entryway Project, the enhanced pedestrian entry to the park, which will actually be a small park leading to the large park, Robb Field.

The street could potentially end up trying to facilitate parking for an overflow of 13 cars, simply from the potential new residents, with an even further burden for their guests. Parking is at an extreme premium on this street, especially in the summer, due to the close proximity to the beach. Beach goers park here and stroll down the street to the sand.

Once again, thank you for the opportunity to present this information to you, in the form of this appeal. I realize that it is long and detailed, but it is representative of the opinions of the immediate neighborhood. I do appreciate your taking the time to wade through it.

Patricia Hausman

PROJECT # 95894

'OLD OCEAN BEACH PARK LAND TRACK'

**THIS IS THE ENTRANCE TO OCEAN BEACH FOR ALL GOING TO THE BEACHES OR TO ROBB FIELD (BUSY ATHLETIC FIELD). IT IS SECOND ONLY TO SUNSET CLIFFS FOR DAILY TRAFFIC**

Subject properties are located 2 parcels in from an extremely busy intersection. There have been many accidents on this side of the street. We have multiple accidents each year.

**Now:**

2 houses with approximately 5 - 6 occupants  
5 - 6 cars parking, coming and going

**Proposed:**

SEVEN - 2 bd/2 bath houses with 2 car garages  
Potentially 21-28 cars parking, coming & going.  
Parking provided??? 14 cars?? That could leave 7 to 14 cars looking for parking on an already crowded street??

**In the mornings there are NO available parking spaces on this already crowded street.**

**THIS IS NOW A STREET WITH ONE STORY HISTORIC CRAFTSMAN STYLE HOMES MOSTLY BUILT IN THE 1920'S.**

I believe that the proposed construction project would alter the neighborhood in a negative way by changing the historic dwelling presentation on the street, and I believe it would create dangerous traffic situations.

**EXHIBIT - A  
WRITTEN PRESENTATION TO PLANNING BOARD**

Sunset CLIFFS

ATTACHMENT 13  
1947  
Olive

4819	4825	4831	4835	4849	4851	4857 - end
	old CRAFTS- MAN	old CRAFTS- MAN 1935	old CRAFTS- MAN 1935	old SPANISH CRAFTS- MAN ?	old Duplex	old SPANISH APT. complex - Levels + well MAINTAINED 1930's??

CABLE ST.

W. POINT LOMA Blvd  
Historic Corridor

EXHIBIT A  
Page 2

All Old CRAFTSMAN Homes

4820	4824 ★ 1914 Now 1 House 2 Bd 1 BA 7735 sq Ft	4836 ★ 1912 Now 1 House 3 Bd 2 BA 11965 F.	4844 1912	4852- 4854 1925	4858 1925	4868- 4874 old 6 unit Bldg 1930's?	4876 1924	4886 1924	4894- 96 1942
------	--	---	--------------	-----------------------	--------------	---	--------------	--------------	---------------------

Olive  
Proposed  
Pedestrian  
Entry to  
PARK

ROBB Field PARK



State Board Park  
See exhibit P 9

© 2007 Sanborn  
© 2007 Europa Technologies  
Image © 2007 Sanborn

John 07 32 45 24 57 N 117 21 45 01 59 W WA 011

Scale 1:100,000

EVG 011 692610

**EXHIBIT - B**  
**AERIAL VIEW OF SURROUNDING AREA**



**EXHIBIT - C**

**EXISTING UNITS AT THE END OF THE ODD SIDE OF THE  
BLOCK - CONFORM TO THE CHARACTER OF AREA**



Yellow markers indicate existing single story structures

See exhibit C

See Exhibits G & H

See exhibit E

See exhibit F

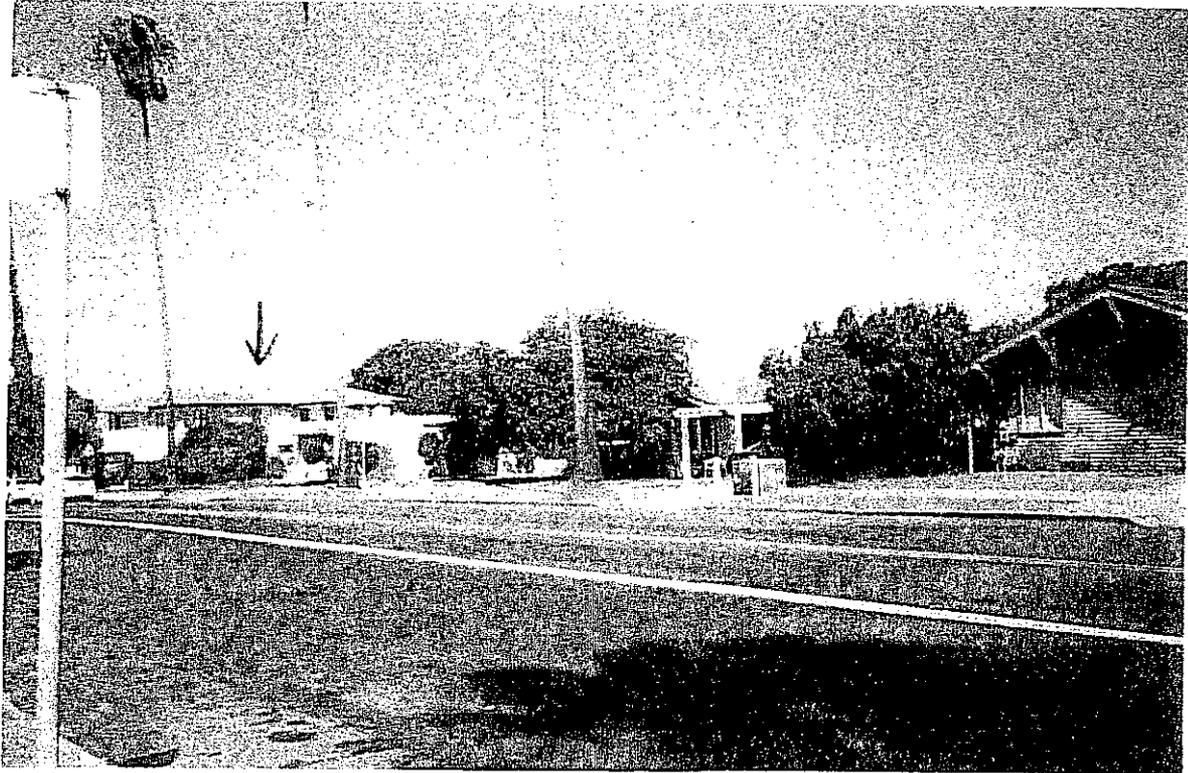
Red = Subject Properties

# EXHIBIT - D AERIAL VIEW OF IMMEDIATE NEIGHBORHOOD



**EXHIBIT - E**  
**4820 W POINT LOMA**  
**SHOWS HOME IN REAR (UNIT ABOVE GARAGE)**  
**AS BEING LOWER THAN THE HOME IN FRONT**

001360



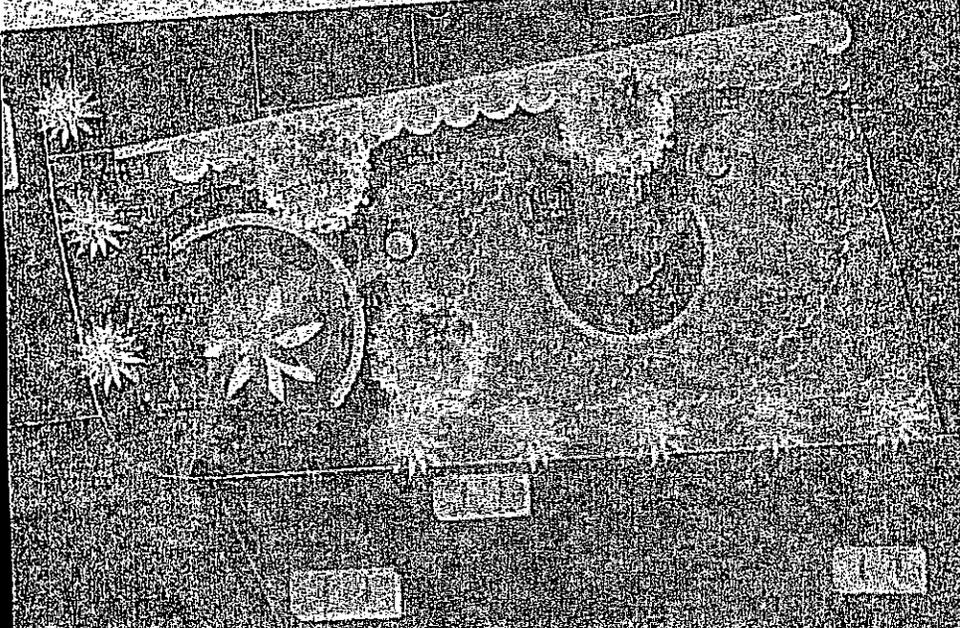
**EXHIBIT - F**  
**SHOWS ONLY EXISTING TWO LEVEL BUILDING**  
**ON THE STREET FRONTAGE (IT IS SET BACK**  
**THE SAME AS ALL OF THE HOMES)**

# OB Entryway Fund

## Let's Get it Done!

EXHIBIT - G

RENDERING OF ENTRYWAY PROJECT  
JUST FEET FROM PROPOSED DEVELOPMENT



Coordinated by  
**Ocean Beach CDC**

Supported by  
City of San Diego  
Council District 2  
*with funding from*  
Community Development Block Grants

**Community Donors  
Needed to  
Match Grants**

[www.obcdc.org](http://www.obcdc.org) ☐ 224-1648

the

**OB ENTRYWAY**  
*Let's Get It Done!*

Coordinated by  
**Ocean Beach CDC**

Sponsored by  
 City of San Diego  
 Council District 2

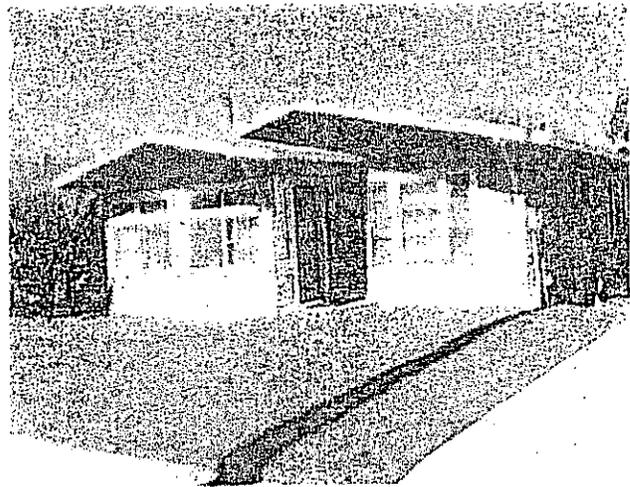
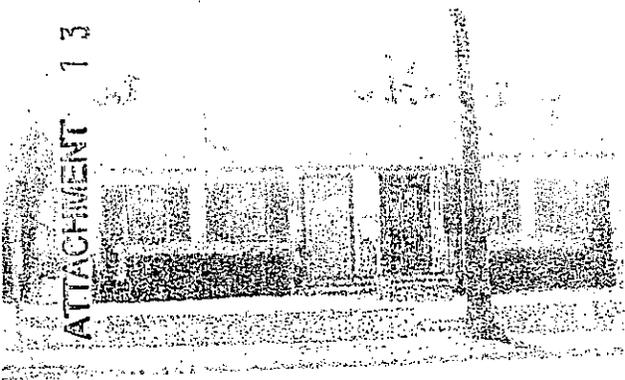
Community Donors  
 Needed to  
 Hatch Grants

[www.obcdc.org](http://www.obcdc.org) ☐ 224-1648

South Bay  
 Tennis

**EXHIBIT - H**  
**SHOWS ENTRYWAY PROJECT IN IT'S**  
**PROXIMITY TO SUBJECT PROPERTIES**





**EXHIBIT - I  
SHOWS SAMPLING OF EXISTING  
HOMES ON THE STREET**

001364



EXHIBIT - J  
OCEAN BEACH SIGN  
BEGINNING OF ENTRYWAY

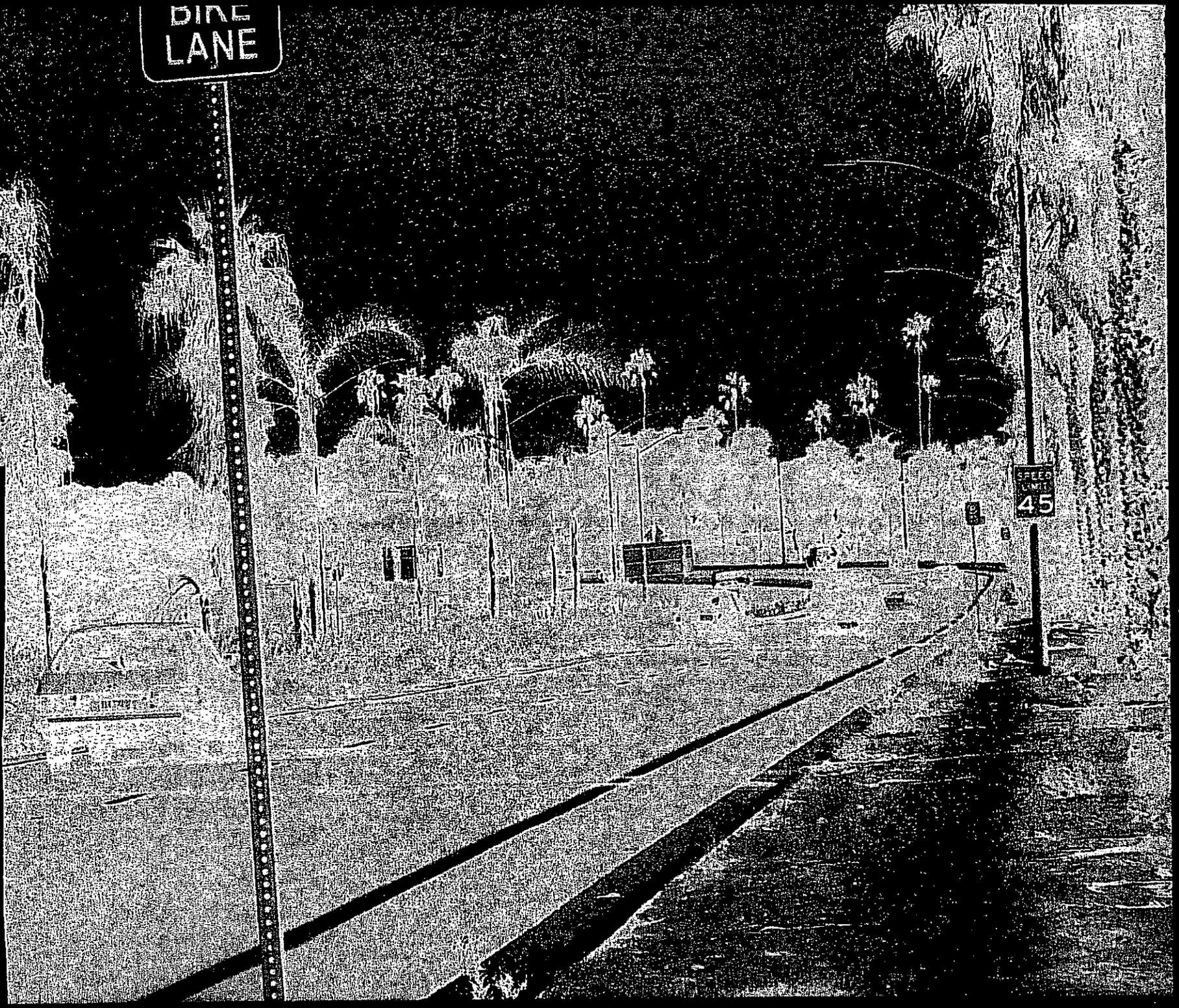


EXHIBIT - K  
CONTINUATION OF ENTRYWAY  
SHOWING LANDSCAPED MEDIAN



**EXHIBIT - I**  
**CONTINUATION OF ENTRYWAY SHOWING**  
**ARTICULATED ROCKWORK OF THE MEDIAN**

001567

EXHIBIT - M  
SUBJECT PROPERTIES  
AS THEY EXIST TODAY

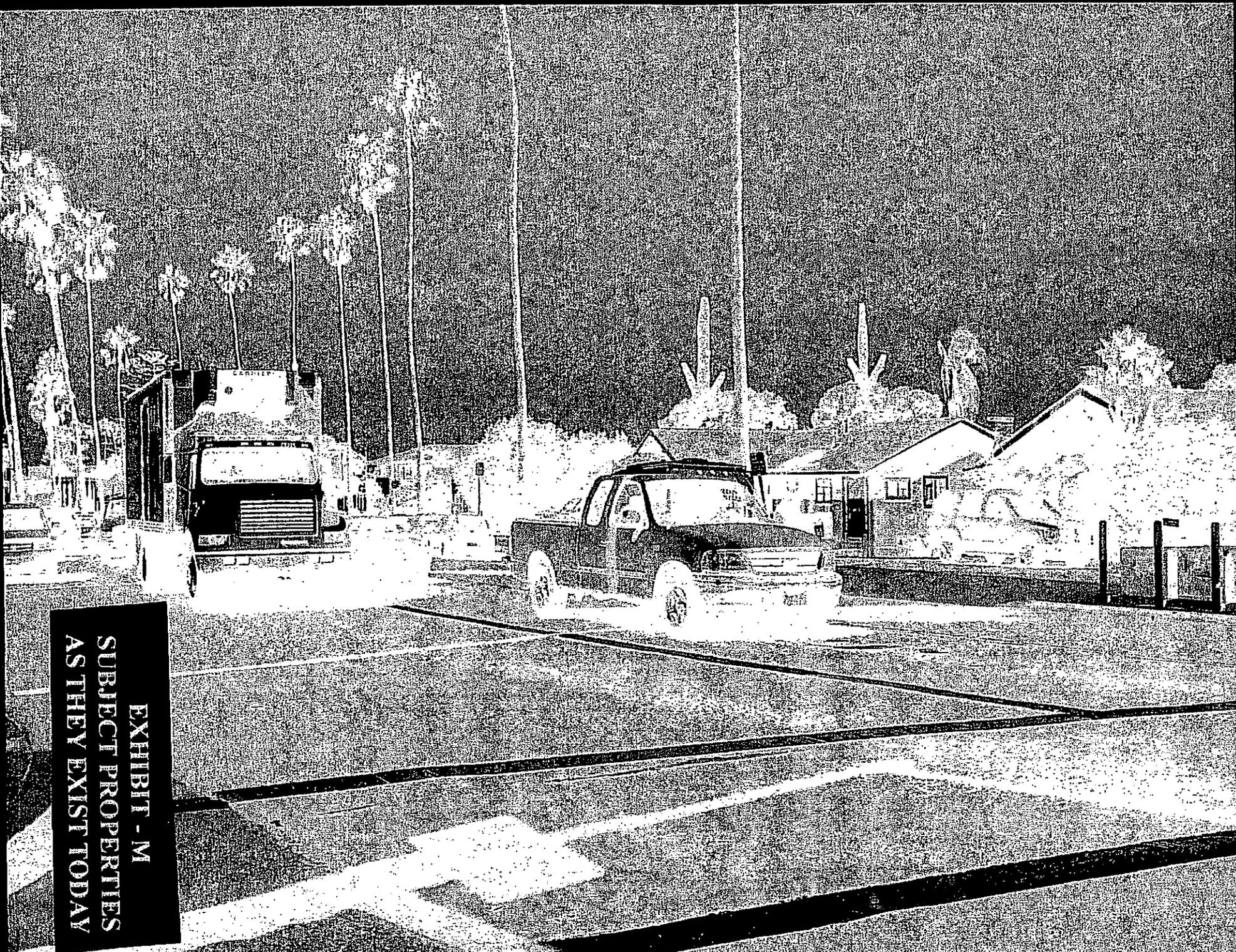




EXHIBIT - N  
SUBJECT PROPERTIES AS PROPOSED DEVELOPMENT  
WITH 3 STORIES ON STREET FRONT



EXHIBIT - 0

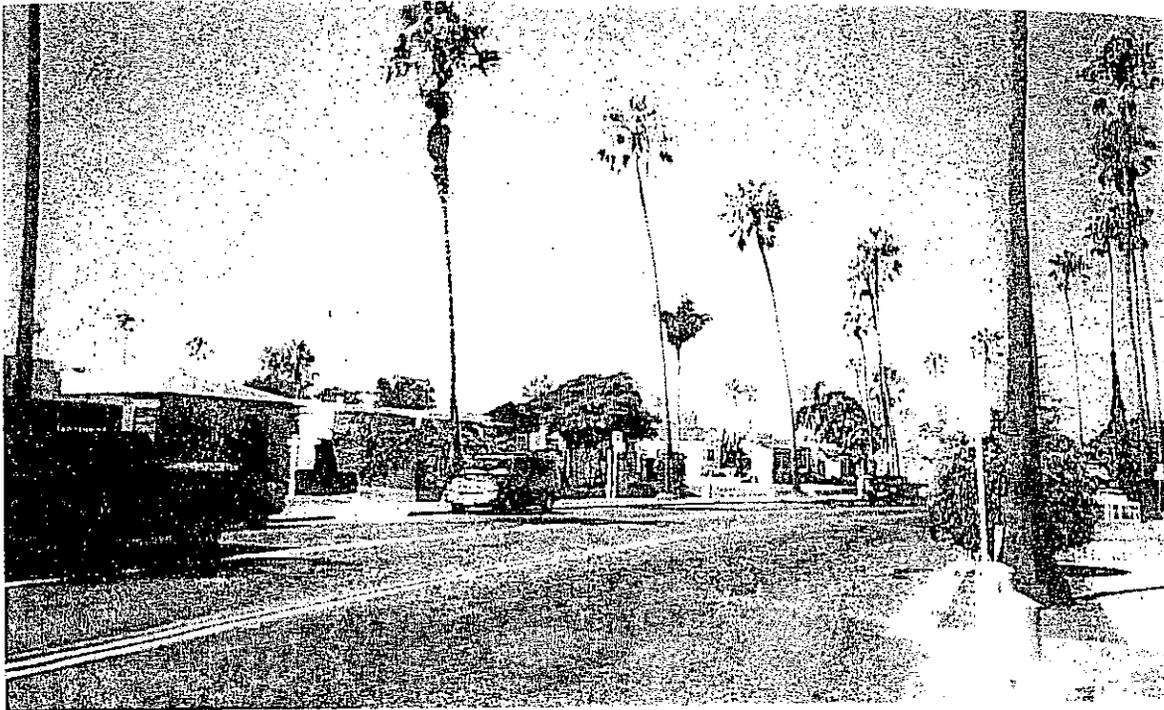
EXISTING PROPERTIES AS SEEN FROM  
SUNSET CLIFFS BLVD

BRING THOUSANDS OF PEOPLE TO AREA YEARLY

EXHIBIT - P

SKATE BOARD PARK





**OTHER SIDE OF THE STREET  
SHOWING ALL SINGLE LEVEL DWELLINGS**

**EXHIBIT - Q**

...y, fire protection and environmental enhancement substitutes for fresh water traditionally used for such purposes. Many such systems are now operating successfully in California and elsewhere in the United States. Most systems have to be retrofitted, which is more costly than installing reclaimed water lines in new areas as they are being developed and/or redeveloped.

In Irvine, all new areas are obliged to be served with both potable (for drinking) and non-potable (reclaimed water) water distribution systems, and high-rise buildings are required to provide reclaimed water for toilet flushing and air conditioning. Furthermore, the treatment is conventional and considerably lower in cost than making reclaimed water acceptable for drinking.

San Jose and Santa Clara had to reduce wastewater discharges into San Francisco Bay. They installed a large reclaimed water distribution system and signed up customers who wanted to be drought proof. Water reclamation is a viable option. However, the reclaimed water need not be a part of our drinking water supply.

01/11/07  
 Erin Sylvia  
 Beacon

Mary Quartiano  
 Revolving Grandmas  
 Ocean Beach

Muriel Watson  
 Revolving Grandmas  
 Bonita

## Agrees OB development is inappropriate

I would like to thank Trish Hausman for writing her letter to the editor, "New housing

units affront to O.B. entryway" (10-4-07) and also for attending the Planning Committee meeting downtown and speaking against the proposed development at 4824-4836 West Pt. Loma Ave.

I, too, am opposed to this project, not only because of its bulk and scale but also because it requires demolishing two nearly 100-year-old homes.

I also feel these are a part of our history and heritage and should be saved. I attended an Ocean Beach Planning Board meeting and suggested to the board that they look at these, not necessarily as historic on their own merit, but as contributors to our historic district. The board split — five for approval, five against.

We are recognized as a historic district due in large part to the creation of the Ocean Beach Historic Cottage Program by longtime resident, Realtor and community activist Priscilla McCoy. This is a program you can apply for if you own a pre-1930 cottage that fits certain criteria.

If accepted, the owner can benefit from the Mills Act, which, in turn, means a reduction in property taxes. This aids in the effort to save the historic cottages from demolition or remodeling beyond recognition.

This program, along with our planning board and community plan (the first in the city of San Diego by the way, something we should be proud of) should help us avoid bad planning and unwanted development and retain the character of Ocean Beach.

I think awareness is key. If more residents knew and paid

attention to the proposed projects they would attend the planning board meetings, find out what is going on and voice an opinion. In my mind, it should be the residents of Ocean Beach who decide what the future look and feel of our community should be, not developers who are cashing in at the expense of our community.

Pat James  
 Ocean Beach

## Writer says there's better use for wasted funds

Now, more than ever we need the San Diego City Council to support Councilman Kevin Faulconer and pass an alcohol-free beach ordinance and stop spending up to \$1 million for police overtime pay and enforcement costs for the Fourth of July.

Those wasted funds should go into our infrastructure and public safety, like what has happened just in the last few days: the Mt. Soledad landslide and water main breaks in PB and Mission Bay.

District 2 needs that kind of help, not the continuing disgrace dealt to it by FreePB.org and the current alcohol status quo.

Steve Sherrard  
 Mission Beach

## Other traffic alternatives must be explored

I want to thank the City of San Diego for listening to its citizenry and for supporting a resolution to protect San Onofre State Park

from a six-lane toll road. The passage of this resolution is important because it proves the council understands there are better traffic alternatives than building an enormous toll road though the fifth-most-visited California State Park.

Councilmember Kevin Faulconer deserves a lot of credit not only for reintroducing the resolution, but for taking the time to learn more about the issue and touring San Onofre State Park to see what's at stake.

Mr. Faulconer is my representative and I am so pleased he is listening to his constituents; and that he is taking his role on the Natural Resources and Culture Committee very seriously.

Thank you, City of San Diego, for protecting our beaches, parks and open spaces for current and future generations.

Stefanie Sekiok  
 Point Loma

## City needs to put human needs before animals'

The Casa Pool has been a wonderful place for children and I am so glad the judge decided to rule for the children and not the seals. The Casa was designed for children to have a safe place to swim. The seals remained on the rocks to the north and were still viewed by tourists and locals.

When do we put animals before humans? This in no way will hurt tourism or business. We had a very good business on Prospect for 20 years and before the seals and after the flow of tourists remained constant.

Marilyn K. Roberts  
 Prudential Ca. Res

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**OPINIONS** Signed letters to the editor are encouraged. All letters must include a phone number for verification. The editor may edit letters for clarity and accuracy. Letters should be 350 words or less. Views expressed are not necessarily the views of this newspaper or staff.

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**DEADLINES** All content must be received by 5 p.m. on the Thursday prior to publication.

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**Project Chronology**  
**West Ocean Beach Park Units**  
**PROJECT NO. 95894**

<b>Date</b>	<b>Action</b>	<b>Description</b>	<b>City Review Time</b>	<b>Applicant Response</b>
03/04/06	First Submittal	Project Deemed Complete		
04/18/06	First Assessment Letter		32 days	
08/03/06	Second Submittal			80 days
08/16/06	Second Assessment Letter		9 days	
10/06/06	Third Submittal			35 days
12/22/06	Third Assessment Letter		53 days *	
03/08/07	Fourth Submittal			50 days
03/29/07	Fourth Assessment Letter		15 days	
04/11/07	Fifth Submittal			9 days
05/10/07	Fifth Assessment Letter		21 days	
05/10/07	Sixth Submittal			1 day
05/23/07	Sixth Assessment Letter		9 days	
06/25/07	CEQA Determination	Mitigated Negative Declaration	38 days	
09/12/07	CEQA Determination	Mitigated Negative Declaration final	79 days	
09/27/07	Public Hearing- Planning Commission		15 days	
<b>TOTAL STAFF TIME</b>			<b>271 days</b>	
<b>TOTAL APPLICANT TIME</b>				<b>175 days</b>
<b>TOTAL PROJECT RUNNING TIME</b>		From Deemed Complete to Hearing	<b>446 days</b>	

\* significant staff time to reach determination that project site is not an important archaeological site.



City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101  
(619) 446-5000

# Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

Project Title Project No. For City Use Only  
West O.B. Park Units

Project Address:  
4824 West Point Loma Blvd., San Diego, CA 92109

**Part I - To be completed when property is held by individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached  Yes  No

Name of individual (type or print):  
Eric Otterson

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:  
4945 Crystal Drive

City/State/Zip:  
San Diego CA 92109

Phone No: ( 858 ) 735-6777 Fax No:

Signature: Date: 10/30/2007

Name of individual (type or print):

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: Fax No:

Signature: Date:

Name of individual (type or print):

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: Fax No:

Signature: Date:

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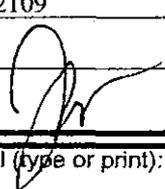
Name of Individual (type or print):  
George Vano

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:  
4945 Crystal Drive

City/State/Zip:  
San Diego CA 92109

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
( 858 ) 735-6777

Signature :  Date: 10/30/2007

Name of Individual (type or print):

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print):

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print):

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Signature : \_\_\_\_\_ Date: \_\_\_\_\_