

000333

REQUEST FOR COUNCIL ACTION
 CITY OF SAN DIEGO

 1. CERTIFICATE NUMB 203
 (FOR AUDITOR'S US 9/17

 TO: CITY ATTORNEY
 2. FROM (ORIGINATING DEPARTMENT): DEVELOPMENT SERVICES
 3. DATE: June 25, 2007

4. SUBJECT: Monte Verde, Project No. 6563

 5. PRIMARY CONTACT (NAME, PHONE, & MAIL STA.) Tim Daly (619) 446-5356, MS-501
 6. SECONDARY CONTACT (NAME, PHONE, & MAIL STA.) Leslie Goossens (619) 446-5223, MS-501
 7. CHECK BOX IF REPORT TO COUNCIL IS ATTACHED
8. COMPLETE FOR ACCOUNTING PURPOSES

FUND	DEPT.	ORGANIZATION	OBJECT ACCOUNT	JOB ORDER	C.I.P. NUMBER	AMOUNT	9. ADDITIONAL INFORMATION / ESTIMATED COST:
	1317	1776	4022	420908	N/A		No cost to the City. All costs are recovered through a deposit account funded by the applicant.

10. ROUTING AND APPROVALS

ROUTE (#)	APPROVING AUTHORITY	APPROVAL SIGNATURE	DATE SIGNED	ROUTE (#)	APPROVING AUTHORITY	APPROVAL SIGNATURE	DATE SIGNED
1	ORIG. DEPT	MARCELA ESCOBAR	6/29/07	8	DEPUTY CHIEF	JAMES WARRING	7/2/07
2	EAS	MARTHA BLAKE	6-28-07	9	COO		
3	CPC/PLANNING	WILLIAM ANDERSON	6-29-07	10	CITY ATTORNEY	NINA FAIN	
4	CFO			11	ORIG. DEPT	MIKE WESTLAKE	6/28/07
5					DOCKET COORD:	COUNCIL LIAISON	
6					COUNCIL PRESIDENT	<input type="checkbox"/> SPOB <input type="checkbox"/> CONSENT <input type="checkbox"/> ADOPTION	
7					<input type="checkbox"/> REFER TO:	COUNCIL DATE:	

 11. PREPARATION OF: RESOLUTIONS ORDINANCE(S) AGREEMENT(S) DEED(S)

1) Council resolution certifying that the information contained in Project No. 6563 has been completed in compliance with the California Environmental Quality Act and State CEQA Guidelines, and that said Environmental Impact Report No. 6563, SCH No. 2003091106 reflects the independent judgement of the City of San Diego as Lead Agency, stating for the record that the final Environmental Impact Report has been reviewed and considered prior to approving the project, certifying the final Environmental Impact Report, adopting the Findings and Statement of Overriding Considerations, and adopting the Mitigation, Monitoring, and Reporting Program.

2) Council resolutions approving Progress Guide and General Plan, the University Community Plan, and the Costa Verde Specific Plan Amendment No. 10763.

3) Council resolutions approving the Vesting Tentative Map No. 372429, Easement Vacation No. 372423, and Public Right-of-way Vacation No. 372426.

4) Council resolutions approving the Planned Development Permit No. 10761, Site Development Permit No. 372422, and Public Right of Way Permit No. 464724.

11A. STAFF RECOMMENDATIONS:

Approve Resolutions.

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12. SPECIAL CONDITIONS (REFER TO A.R. 3.20 FOR INFORMATION ON COMPLETING THIS SECTION.)

COUNCIL DISTRICT(S): 1

COMMUNITY AREA(S): University

ENVIRONMENTAL IMPACT: The City of San Diego as Lead Agency under CEQA has prepared and completed a Environmental Impact Report, Project No. 6563, dated December 22, 2006 and Mitigation, Monitoring, and Reporting Program covering this activity.

CITY CLERK INSTRUCTIONS:

1. Public noticing is required.
2. Return copies of each resolution and permit to Tim Daly, MS-501 and a copy of the Plan amendment resolution to Mary Wright, MS 5A.
3. Council action requires a majority vote.

EXECUTIVE SUMMARY SHEET

DATE REPORT ISSUED: June 29, 2007

REPORT NO. PC-07-043

ATTENTION: Council President and City Council

ORIGINATING DEPARTMENT: Development Services Department

SUBJECT: Monte Verde - Project Number 6563

COUNCIL DISTRICT: 1

STAFF CONTACT: Tim Daly, (619) 446-5356, tdaly@san Diego.govREQUESTED ACTION:

Approval of the Monte Verde project, a request for the development of a 23-story building, two 22-story buildings, and a 21-story building with a total of 560 condominium units on the undeveloped 4.77-acre site at 8995 Costa Verde Boulevard in the University Community Planning area.

STAFF RECOMMENDATIONS:

1. ADOPT resolution and CERTIFY Environmental Impact Report No. 6563, ADOPT the Mitigation Monitoring and Reporting Program, and ADOPT the Findings and Statement of Overriding Consideration; and
2. ADOPT resolutions amending the Progress Guide and General Plan, the University Community Plan, and the Costa Verde Specific Plan; and
3. ADOPT resolutions and APPROVE Vesting Tentative Map No. 372429, Easement Vacation No. 372423, Public Right-of-way Vacation No. 372426, Planned Development Permit No. 10761, Site Development Permit No. 372422, and Public Right of Way Permit No. 464724.

EXECUTIVE SUMMARY:

The project, as originally proposed, was to develop the 4.77-acre site with two 35-story towers and two 32-story towers with a total of 800 condominiums as referenced in the Report to the Planning Commission No. PC-07-043, <http://www.sandiego.gov/planning-commission/pereports/07043.pdf>, (Attachment 1). However, in response to the recommendation made by the Planning Commission during the hearing on March 15, 2007 for a reduced development of 21-stories and a maximum of 408 units, the applicant has reduced the maximum height of the development to 23 stories and reduced the number of condominium units to 560. The majority of the project characteristics would remain unchanged and the applicant has provided exhibits for the reduced project (Attachment 2).

The Environmental Impact Report (EIR) for the proposed Monte Verde project analyzed and provided conclusions for the 800-unit "Project" as well as the recommended alternatives of a Reduced Project Alternative of which included both a 30-story development and a 21-story development. The 21-story alternative included 408 units while the 30-story alternative included 662 units. The City's Environmental Analysis Section (EAS) has reviewed the documents provided and has determined the proposed

560-unit project is not beyond the alternatives already discussed in the EIR. Therefore, the impacts of constructing 560 units can be deduced from the discussions of the impacts related to these two alternatives. EAS staff has prepared an Additional Information Statement (AIS) for the EIR and has concluded that the 560-unit project would not result in any new impacts when compared with the 800-unit project. Nor would it increase the intensity of impacts associated with the 800-unit project. In fact, in the case of visual/neighborhood character, the reduction in height would eliminate this significant impact on the building site associated with the 800-unit development; however, the visual impact on Rose Canyon from the offsite sewer line would remain. While the reduction in the number of residential units would not eliminate the significant traffic impacts, it would proportionately reduce them.

The reduced 560-unit project continues to comply with the applicable sections of the Municipal Code and adopted City Council policies. City staff has prepared resolutions and permits for the reduced project and recommends approval.

FISCAL CONSIDERATION:

All costs associated with the processing of this project are paid by the applicant.

COMMUNITY PARTICIPATION AND PUBLIC OUTREACH EFFORTS:

On March 15, 2007, the Planning Commission recommended the City Council accept the project's Environmental Impact Report's Reduced Project Alternative: 21-Story. This alternative would allow the development with the maximum building height of 21-stories with a maximum number of 408 condominium units. The Planning Commission was unable to find the extraordinary benefit that allows the Commissioners to make the Statement of Overriding Considerations for the project as defined by the applicant. The Commissioners recognize that the 21-story "Reduced Project Alternative" discussed in the Final Environmental Impact (FEIR) reduces the cumulative and unmitigable impacts; however, the Commissioners acknowledge that there remains a significant unmitigated negative impact of which the findings of overriding consideration for this "reduced alternative" cannot be made.

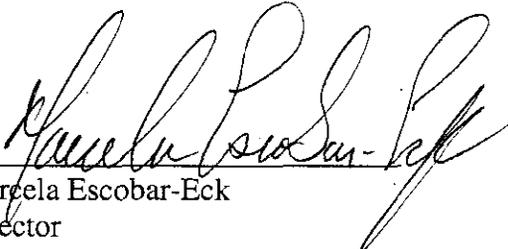
The Motion made by Commissioner Ontai, second by Commissioner Garcia. Passed by a 4-1-2 vote with Commissioner Naslund voting NAY, Commissioner Griswold not present, and one vacancy.

The University Community Planning Board voted 10:4:0, on February 13, 2007, to recommend denial of the project.

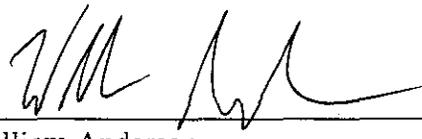
KEY STAKEHOLDERS:

Costa Verde Hotel, L.L.C, owners
University Community Planning Group

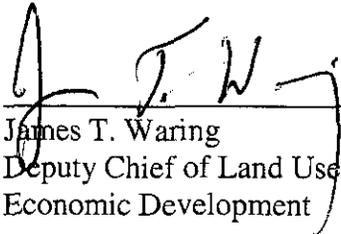
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Marcela Escobar-Eck
Director
Development Services Department



William Anderson
Director
City Planning and Community Investment



James T. Waring
Deputy Chief of Land Use and
Economic Development

ATTACHMENTS:

1. Planning Commission Report No. PC-07-043
2. Monte Verde Reduced Project Exhibits, May 14, 2007

000339

NOTICE OF DETERMINATION

TO: Recorder/County Clerk
P.O. Box 1750, MS A33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2422

Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

FROM: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

Project Number: 6563

State Clearinghouse Number: 2003091106

Permit Applicant: Costa Verde Hotel, LLC., 8530 Costa Verde Boulevard, San Diego, CA 92122, (858) 320-0018.

Project Title: MONTE VERDE

Project Location: Project site is bounded by La Jolla Village Driver to the north, Genesee Avenue to the east Costa Verde retail/commercial development to the south, and multi-family residential to the west within the University Community Planning area of the City and County of San Diego.

Project Description: UNIVERSITY COMMUNITY PLAN AMENDMENT, COSTA VERDE SPECIFIC PLAN AMENDMENT, VESTING TENTATIVE MAP, PLANNED DEVELOPMENT PERMIT, SITE DEVELOPMENT PERMIT, PUBLIC RIGHT OF WAY AND EASEMENT VACATIONS, AND RIGHT OF ENTRY PERMIT for the construction of four high-rise residential buildings with a combined area of 1,223,000 square feet, and 1,312 parking spaces in subterranean parking structures. Tower heights would range up to a maximum of 296 feet above existing ground level and between 21 and 23 stories. The towers would consist of 560 units of a combination of for-rent apartments and for-sale condominiums, or entirely condominiums depending on market conditions. The project would also include several offsite improvements including the construction of a pedestrian bridge over La Jolla Village Drive, enhancement of the existing pedestrian bridge over Genesee Avenue, and the replacement of an existing offsite 10- to 12-inch sewer line with an 18-inch sewer line commencing from the project, south along Genesee Avenue, and into Rose Canyon (Lot 12 of Costa Verde, Map No. 12045).

This is to advise that the City of San Diego City Counsel, on July 17, 2007, approved the above described project and made the following determinations:

1. The project in its approved form ___ will, will not, have a significant effect on the environment.
2. An Environmental Impact Report was prepared for this project and certified pursuant to the provisions of CEQA.
___ A Mitigated Negative Declaration was prepared for this project pursuant to the provisions of CEQA.
___ An addendum to Mitigated Negative Declaration was prepared for this project pursuant to the provisions of CEQA.

Record of project approval may be examined at the address above.

3. Mitigation measures were, ___ were not, made a condition of the approval of the project.
4. (EIR only) Findings were, ___ were not, made pursuant to CEQA Guidelines Section 15091.

5. **000340** (EIR Only) A Statement of Overriding Considerations X were, ___ was not, adopted for this project.

It is hereby certified that the final environmental report, including comments and responses, is available to the general public at the office of the Land Development Review Division, Fifth Floor, City Operations Building, 1222 First Avenue, San Diego, CA 92101.

Analyst: Shearer-Nguyen

Telephone: (619) 446-5369

Filed by:

Signature

Title



Monte Verde

Project No. 6563

Costa Verde Hotel, LLC

8530 Costa Verde Boulevard - Office
San Diego, CA 92122

858 320-0018

000341

May 14, 2007

Architect:

Design Lead, LLP Architecture and Planning

Shavash Khajezadeh / Nozar Ravanbakh
858 459-6114

Civil Engineer:

Hunsaker & Associates

Den Rehm / Ray Martin
858 558-4500

Landscape Architect:

Spurlock Poirier

Shannon Bretthorst
619 681-0090

Signage Design:

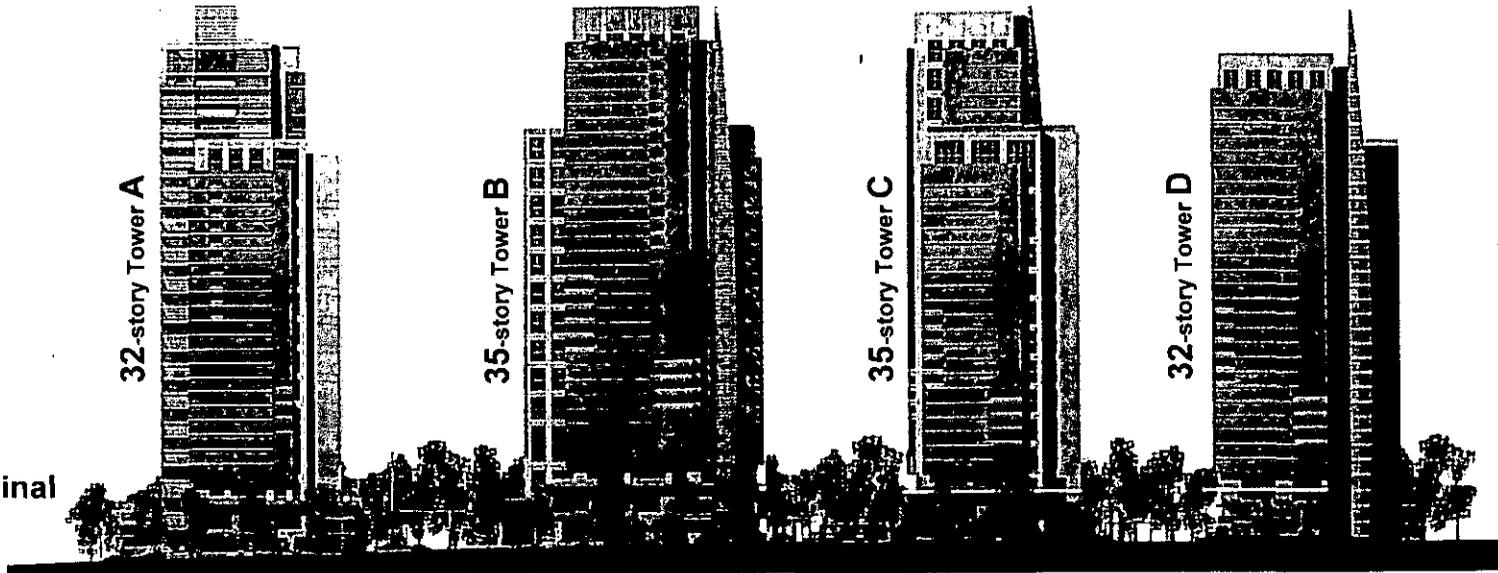
CWA Inc.

Calvin Woo / Gina Benzien
619 299-0431

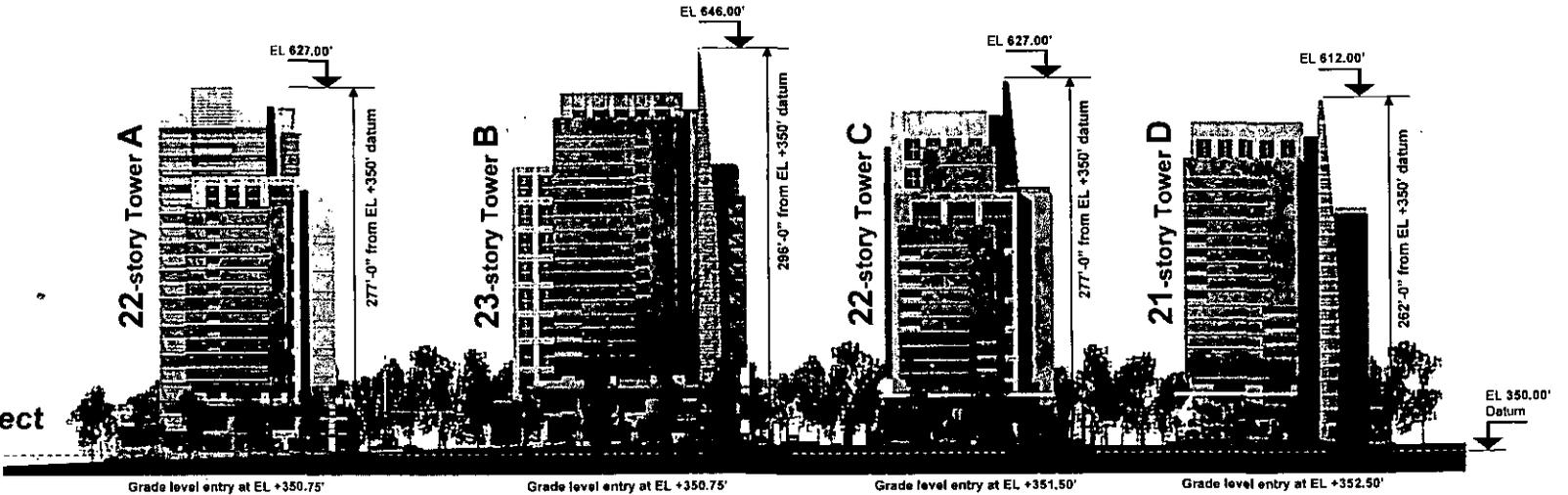
Monte Verde Elevation Comparison

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32/35-Story Original Project



21/23-Story Project



Monte Verde 21/23-Story and Original Project Comparison

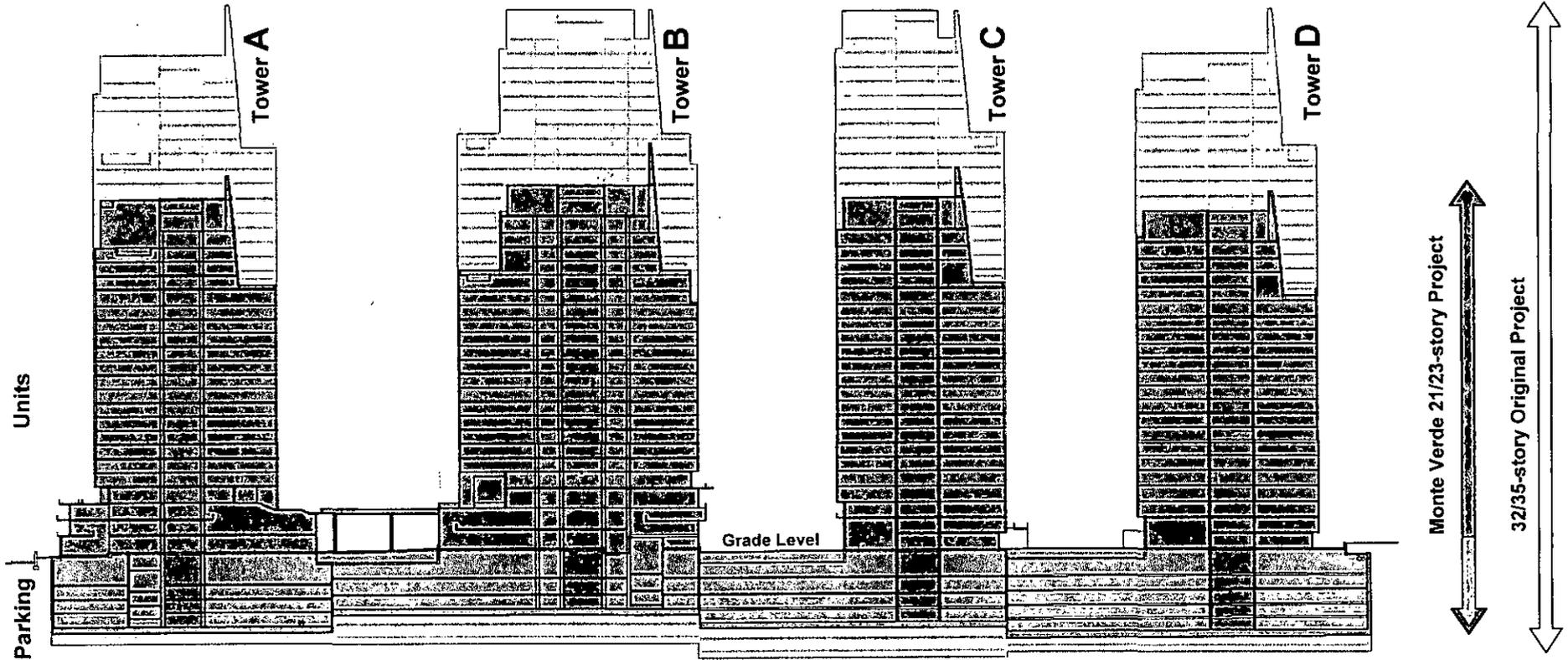
A	# of Floors	# of Units	Tower sq. ft. Area
Original Project	32	178	434,000
21/23-story Project	22	128	310,000

B	# of Floors	# of Units	Tower sq. ft. Area
Original Project	35	274	554,000
21/23-story Project	23	182	388,000

C	# of Floors	# of Units	Tower sq. ft. Area
Original Project	35	197	423,000
21/23-story Project	22	129	281,000

D	# of Floors	# of Units	Tower sq. ft. Area
Original Project	32	151	360,000
21/23-story Project	21	121	244,000

Total	# of Units	Total sq. ft. Gross Area
Original Project	800	1,771,000
21/23-story Project	560	1,223,000



A	# of Parking Levels	# of Parking
Original Project	5	388
21/23-story Project	4	272

B	# of Parking Levels	# of Parking
Original Project	5	561
21/23-story Project	3	371

C	# of Parking Levels	# of Parking
Original Project	6	423
21/23-story Project	4	275

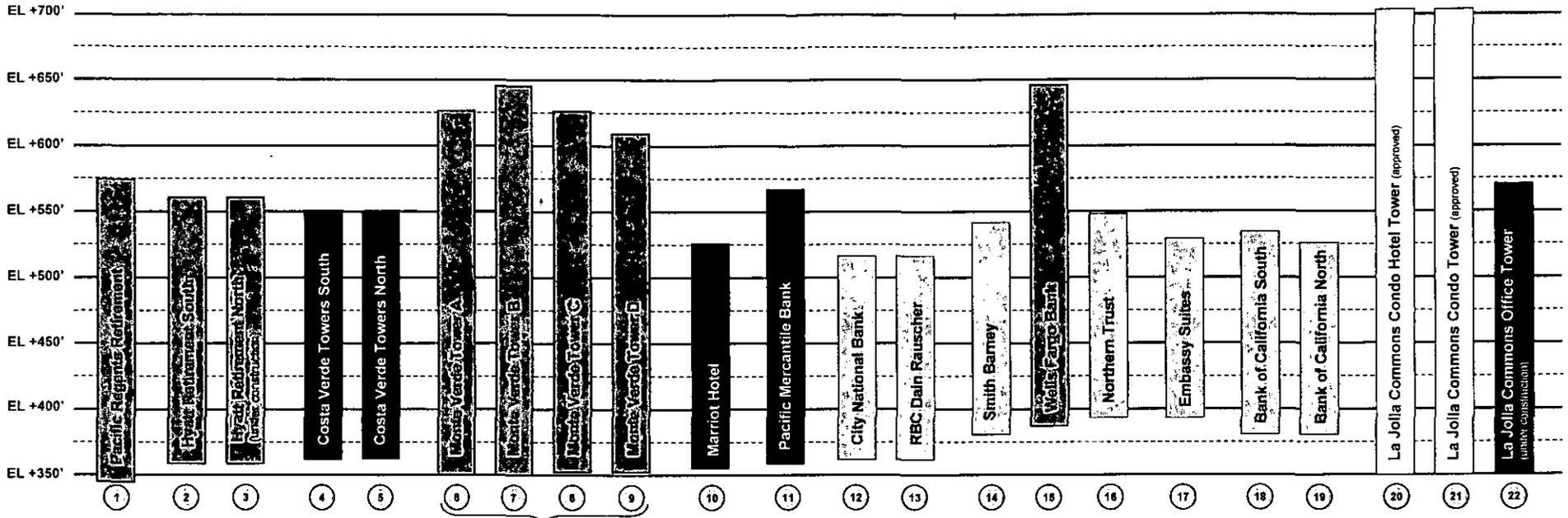
D	# of Parking Levels	# of Parking
Original Project	6	482
21/23-story Project	5	394*

Total Parking	
Original Project	1,854
21/23-story Project	1,312

* Including Trophy's 139 spaces

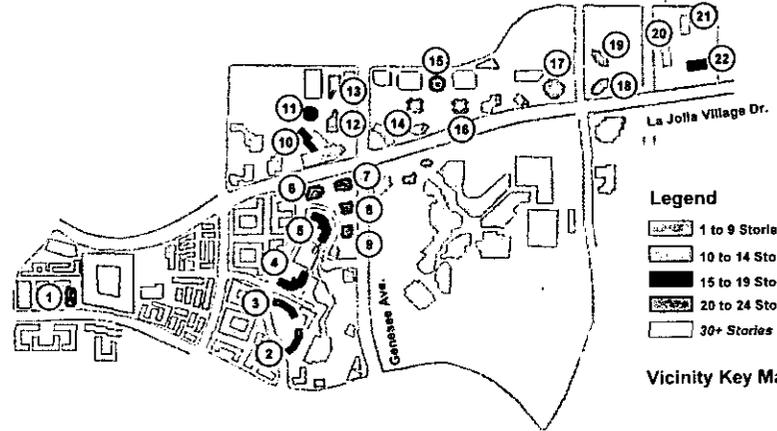
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Heights of Surrounding Properties

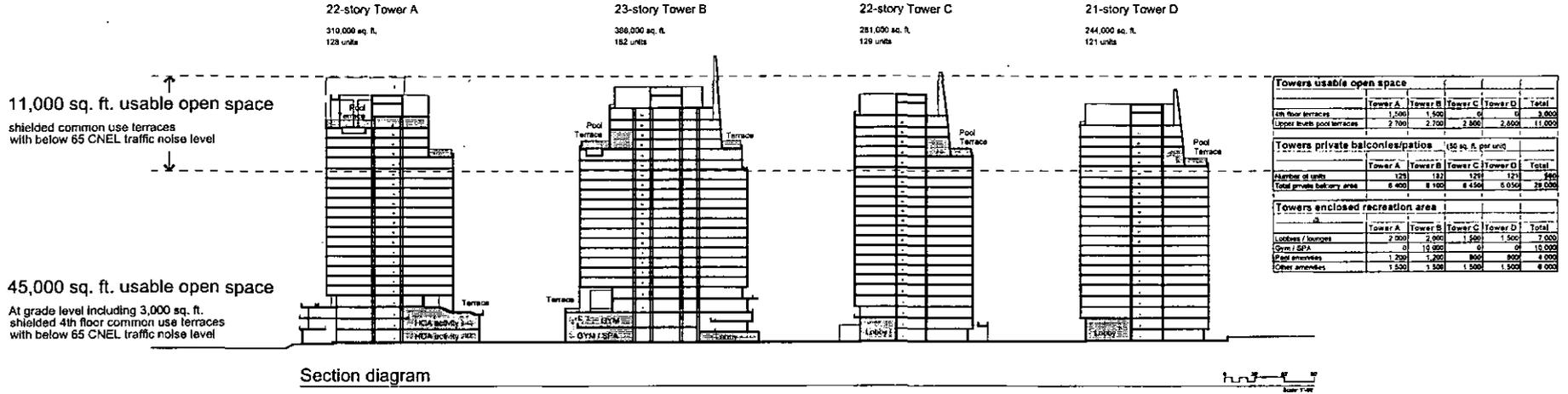


Monte Verde Towers

Maximum heights include top architectural features (30 feet for tower B)

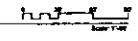


Height above MSL per City of San Diego GIS control NAVD 88 datum.
Source: Hunsaker & Associates



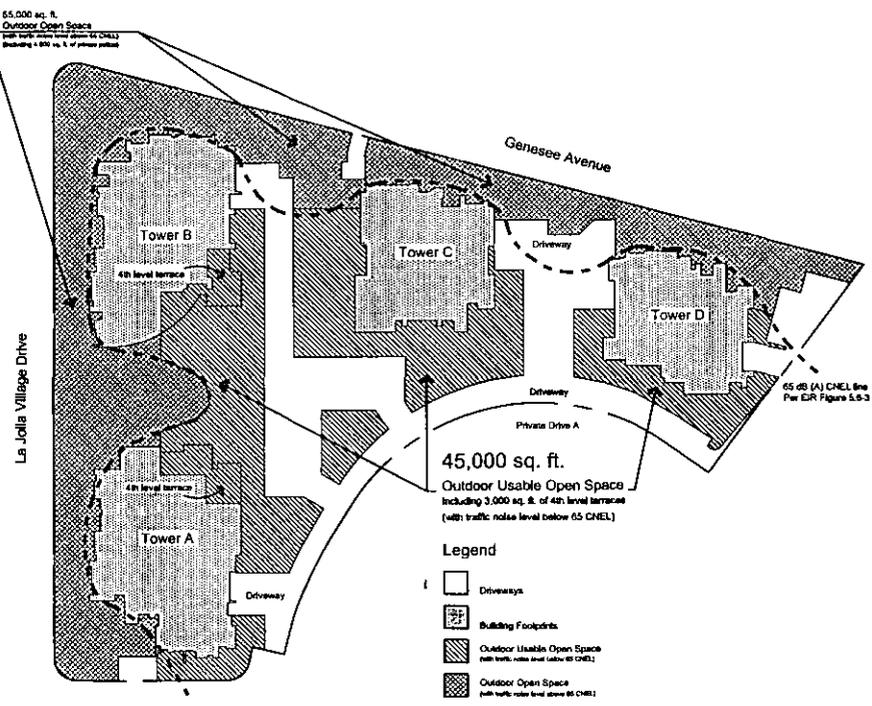
Towers usable open space					
	Tower A	Tower B	Tower C	Tower D	Total
4th floor terraces	1,000	1,500	0	0	2,500
Upper levels pool terraces	2,700	2,100	2,800	2,800	11,000
Towers private balconies/terraces (150 sq. ft. per unit)					
	Tower A	Tower B	Tower C	Tower D	Total
Number of units	128	182	128	121	560
Total private balcony area	6,400	8,100	4,504	6,054	25,058
Towers enclosed recreation area					
	Tower A	Tower B	Tower C	Tower D	Total
Lobbies / lounges	2,000	2,000	1,500	1,500	7,000
Gym / SPA	0	10,000	0	0	10,000
Mail room	1,200	1,000	800	800	4,800
Other amenities	1,500	1,500	1,500	1,500	6,000

Section diagram



Building and unit types	Total Units
Tower A	
1 Bdrm	41
2 Bdrms	71
3 Bdrms	16
Total	128
Tower B	
1 Bdrm	84
2 Bdrms	84
3 Bdrms	14
Total	182
Tower C	
1 Bdrm	45
2 Bdrms	57
3 Bdrms	27
Total	129
Tower D	
1 Bdrm	43
2 Bdrms	62
3 Bdrms	16
Total	121
Project Total	560

Gross area calculations per tower				
Levels	Tower A	Tower B	Tower C	Tower D
1	19,720	19,400	14,800	12,200
2	18,700	18,400	13,500	12,300
3	18,700	18,400	13,250	12,000
4	14,000	12,000	13,100	11,400
5	14,340	17,800	13,100	11,400
6	14,340	17,800	13,550	12,350
7	14,340	17,800	13,550	12,350
8	14,340	17,800	13,550	12,350
9	14,340	17,800	13,550	12,350
10	14,340	17,800	13,550	12,350
11	14,340	17,800	13,550	12,350
12	14,340	17,800	13,550	12,350
12 plus 1	14,340	17,800	13,550	12,350
14	14,340	17,800	13,550	12,350
15	14,340	17,800	13,550	12,350
16	14,340	17,800	13,550	12,350
17	13,910	17,800	13,400	12,350
18	13,910	17,400	13,400	9,100
19	10,000	17,400	9,400	9,100
20	10,000	11,400	8,400	9,100
21	10,000	11,400	8,400	9,100
22	7,000	11,400	8,400	
23		11,400		
Sub total	310,000	368,000	281,000	244,000
Not including basements				
Total	1,223,000	Gross sq. ft.		



65,000 sq. ft. Outdoor Open Space (with traffic noise level above 65 CNEL)

45,000 sq. ft. Outdoor Usable Open Space (including 3,000 sq. ft. of 4th level terraces (with traffic noise level below 65 CNEL))

Legend

- Driveways
- Building Footprints
- Outdoor Usable Open Space (with traffic noise level below 65 CNEL)
- Outdoor Open Space (with traffic noise level above 65 CNEL)

Site plan diagram



COVERAGE ANALYSIS		
ALL SQUARE FOOTAGES CALCULATED AS GROSS AREA		
BUILDING FOOTPRINTS (INCLUDES CANOPIES, OVERHANGS AND PROJECTIONS)	1.52 AC	66,000 SF
DRIVEWAYS	1.02 AC	44,780 SF
USABLE OPEN SPACE (PER CNEL)	0.98 AC	43,000 SF
OTHER OPEN SPACE (PER CNEL INCLUDING PRIVATE PATIOS)	1.26 AC	55,000 SF
TOTAL SITE AREA	4.77 AC	207,780 SF

OPEN SPACE ANALYSIS		
ALL SQUARE FOOTAGES CALCULATED AS GROSS AREA		
TOTAL OPEN SPACE REQUIRED (PER COSTA VERDE SPECIFIC PLAN)		
USABLE OPEN SPACE REQUIRED (LESS THAN 65 CNEL TRAFFIC NOISE LEVEL)	100 SF/UNIT X 560 UNITS	56,000 SF
PER UNIT, USABLE OPEN SPACE REQUIRED		100 SF
OTHER OPEN SPACE REQUIRED	140 SF/UNIT X 560 UNITS	22,400 SF
PER UNIT, USABLE OPEN SPACE REQUIRED		40 SF
TOTAL OPEN SPACE REQUIRED (EXCLUSIVE OF INTERIOR STREETS)	140 SF/UNIT X 560 UNITS	78,400 SF
PER UNIT, OPEN SPACE REQUIRED		140 SF
TOTAL PRIVATE OPEN SPACE REQUIRED (BALCONIES, TERRACES & PATIOS)	50 SF/UNIT X 560 UNITS	28,000 SF
PER UNIT, PRIVATE OPEN SPACE REQUIRED		50 SF

TOTAL OPEN SPACE PROVIDED		
USABLE OPEN SPACE PROVIDED (LESS THAN 65 CNEL NOISE LEVEL)	100 SF/UNIT X 560 UNITS	56,000 SF
At Grade	42,000 SF	
All 4th level common terraces (shaded)	3,000 SF	
All upper level common terraces (shaded)	11,000 SF	
PER UNIT, USABLE OPEN SPACE PROVIDED		100 SF
OTHER OPEN SPACE PROVIDED (AT GRADE INCLUDING 4,000 SF OF PRIVATE PATIOS)		55,000 SF
PER UNIT, OTHER OPEN SPACE PROVIDED		98 SF
TOTAL OPEN SPACE AREA PROVIDED	196 SF/UNIT X 560 UNITS	111,000 SF
PER UNIT, OPEN SPACE PROVIDED		198 SF
TOTAL PRIVATE OPEN SPACE PROVIDED (BALCONIES & PATIOS)	50 SF/UNIT X 560 UNITS	28,000 SF
PER UNIT, PRIVATE OPEN SPACE PROVIDED		50 SF

INTERIOR COMMON RECREATION ANALYSIS		
ALL SQUARE FOOTAGES CALCULATED AS GROSS AREA		
TOTAL COMMON RECREATION AREA REQUIRED (PER COSTA VERDE SPECIFIC PLAN)		
PER UNIT, COMMON RECREATION AREA REQUIRED	10 SF/UNIT X 560 UNITS	5,600 SF
TOTAL COMMON RECREATION AREA PROVIDED**		27,000 SF
GYM/SPA	10,000 SF	
HOA ACTIVITIES / AMENITIES	10,000 SF	
LOBBIES/LOUNGES	7,000 SF	
PER UNIT, INTERIOR RECREATION/COMMON USE AREA		48 SF

** IF PRIVATE OPEN SPACE IS NOT PROVIDED FOR ANY UNIT, THE EQUIVALENT SQUARE FOOTAGE WILL BE ADDED TO THE TOTAL USABLE OPEN SPACE. ** PER COSTA VERDE SPECIFIC PLAN INTERIOR COMMON SPACES CAN BE USED AS "USABLE OPEN SPACE"

Monte Verde 21/23-story Project

Parking Count per tower				
Tower A		Regular	Accessible	Total
P1	Visitors	38	3	41
P1	Residents	18	0	18
P2	Residents	64	5	69
P3	Residents	72	0	72
P4	Residents	74	0	74
Total provided		264	8	272
Total required		264	8	272
Tower B		Regular	Accessible	Total
P1	Visitors	53	3	56
P1	Residents	58	0	58
P2	Residents	115	7	125
P3	Residents	134	0	134
Total provided		361	10	371
Total required		361	10	371
Tower C		Regular	Accessible	Total
P1	Visitors	38	3	42
P1	Residents	23	0	23
P2	Residents	55	5	64
P3	Residents	72	0	72
P4	Residents	74	0	74
Total provided		267	8	275
Total required		267	8	275
Tower D		Regular	Accessible	Total
P1		0	0	0
P2	Visitors	5	0	5
P3	Visitors	31	2	33
P3	Residents	35	5	43
P4	Residents	66	0	66
P5	Residents	87	0	87
Total provided		248	7	255
Total required		248	7	255
Total residential parking provided		1,140	33	1,173
Total residential parking required		1,140	33	1,173
Tower D (Trophy's)		Regular	Accessible	Total
Grade		10	0	10
P1		62	5	67
P2		62	0	62
Total provided		134	5	139
Total required		134	5	139
Grand total provided		1,274	38	1,312
Grand total required		1,274	38	1,312

Project required parking count		
Building and unit type	Total Units	Number of Cars Required
Tower A		
1 Bdrm	41	72
2 Bdrms	71	100
3 Bdrms	18	40
Total	128	272
Tower B		
1 Bdrm	84	147
2 Bdrms	84	189
3 Bdrms	14	35
Total	182	371
Tower C		
1 Bdrm	45	79
2 Bdrms	57	128
3 Bdrms	27	66
Total	129	275
Tower D		
1 Bdrm	43	75
2 Bdrms	62	140
3 Bdrms	15	40
Total	121	255
Trophy's		139
Total tower D		384
Project Total	580	1,312
Motorcycle & bicycle count		
	Motorcycle	Bicycle
Tower A	13	62
Tower B	19	84
Tower C	13	63
Tower D	13	58
Trophy's	0	3
Total provided	58	270
Total required	58	270

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Monte Verde

Costa Verde Lot 12
 Costa Verde Hotel, LLC
 8530 Costa Verde Boulevard - Office
 San Diego, CA 92122
 Chris Teng
 619 320-0018

June 20, 2006

Civil Engineer:

Hunsaker and Associates
 Dan Nehm / Ray Marth
 619 528-4500

Drawings:

- C-1 Title Sheet
- C-2 Street Cross Sections / Project Summary
- C-3 Site Plan / Grading Plan
- C-4 Existing Topographic Map
- C-5 Existing Encumbrance Map
- C-6 Proposed Easement, Dedication and Vacation Map
- C-7 Site Cross Sections
- C-8 Offsite Sewer Improvements / Details
- C-9 Offsite Sewer Improvements

Landscape Architect:

Spurlock Poirier
 Shannon Brathorn
 619 581-0080

Drawings:

- L1.1 Design Intent and Renderings
- L1.2 Renderings
- L1.3 Landscape Development Plan: Ground Level
- L1.4 Landscape Development Plan: Upper Level
- L1.5 Landscape Legend
- L1.6 Landscape Calculations
- L1.7 Landscape Circulation Plan
- L1.8 Enlargement LJV/D Pedestrian Bridge Landing
- L1.9 Enlargement of Genesee Avenue Pedestrian Bridge Approach and Landing
- L1.10 Enlargement of Existing Genesee Avenue Pedestrian Bridge Landing and Approach
- L1.11 Townhome Enlargement Plan and Elevation
- L1.12 Enlargement of Genesee Avenue Pedestrian Bridge Approach and Landing

Signage Design:

CWA Inc.
 Calvin Woo / Gina Benzien
 619 295-0431

Drawings:

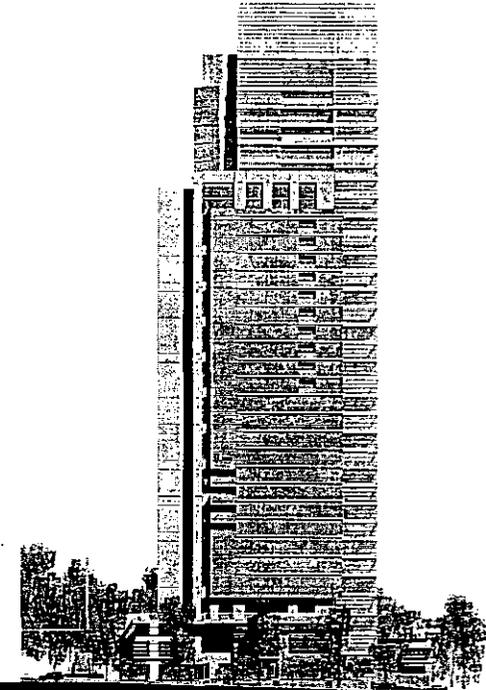
- LB1.1 Exterior Sign Plan
- LB1.2 Exterior Sign Plan

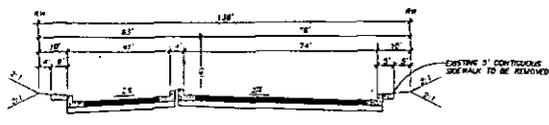
Architect:

Design Lead, LLP Architecture & Planning
 Stevash Khajezadeh / Nozar Ramenbach
 858 459-8114

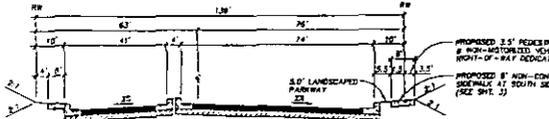
Drawings:

- A1.1 Architectural Site Plan
- A1.2 Site Plan Entry Level 1
- A1.3 Site Plan Level 2
- A1.4 Site Plan Level 3
- A1.5 Site Plan Level 4
- A1.6 Site Plan Level 5
- A1.7 Site Plan Level 6 to 25/26
- A1.8 Site Plan Levels 28 to 28
- A1.9 Site Plan Pool Levels 28/29
- A1.10 Site Plan Levels 29 to 34
- A1.11 Site Plan Top Levels
- A1.12 Architectural Site Roof Plan
- A1.13 Site Parking Plan (Level P1)
- A1.14 Site Parking Plan (Level P2)
- A1.15 Site Parking Plan (Level P3)
- A1.16 Site Parking Plan (Level P4)
- A1.17 Site Parking Plan (Level P5)
- A1.18 Site Parking Plan (Level P6)
- A2.1 Site Cross Section "A-A"
- A2.2 Site Cross Section "B-B"
- A3.1 Genesee Avenue Site Elevation
- A3.2 La Jolla Village Drive Site Elevation
- A3.3 La Jolla Village Drive Pedestrian Bridge
- A4.1 Open Space Calculations
- A4.2 Shadow Plans
- A4.3 Site Fire Access Plan
- A4.4 Site Plan Utilities Connection
- A4.5 Site Plan, Towers C & D Genesee Avenue Utilities Connection
- A4.6 Site Plan, Towers A & B Costa Verde Utilities Connection

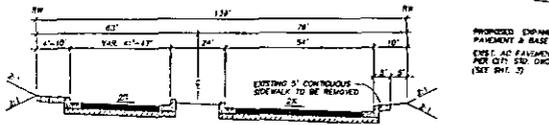




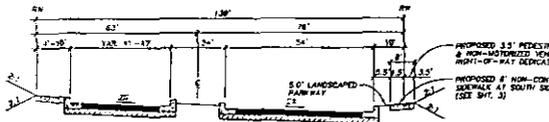
TYPICAL SECTION
EXISTING LA JOLLA VILLAGE DRIVE
AT STATION 97+00
NOT TO SCALE



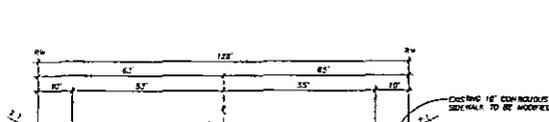
TYPICAL SECTION
PROPOSED LA JOLLA VILLAGE DRIVE-SIDEWALK MODIFICATION
AT STATION 97+00
NOT TO SCALE



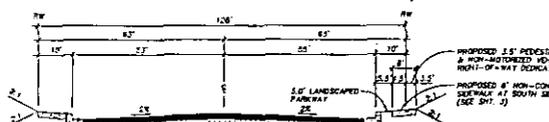
TYPICAL SECTION
EXISTING LA JOLLA VILLAGE DRIVE
AT STATION 88+00
NOT TO SCALE



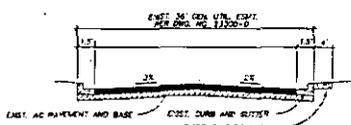
TYPICAL SECTION
PROPOSED LA JOLLA VILLAGE DRIVE-SIDEWALK MODIFICATION
AT STATION 88+00
NOT TO SCALE



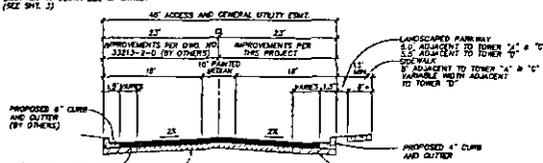
TYPICAL SECTION
EXISTING GENESSEE AVENUE
NOT TO SCALE



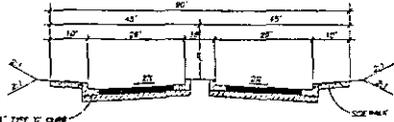
TYPICAL SECTION
PROPOSED GENESSEE AVENUE-SIDEWALK MODIFICATION
NOT TO SCALE



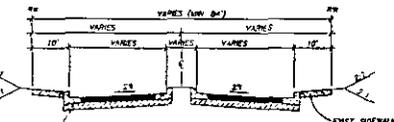
TYPICAL SECTION
EXISTING PRIVATE DRIVE "A"
FROM COSTA VERDE BLVD. TO ESPLANADE CT.
NOT TO SCALE



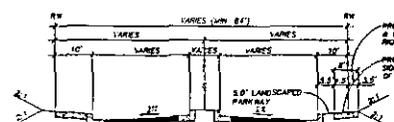
TYPICAL SECTION
PROPOSED PRIVATE DRIVE "A"
IMPROVEMENTS AT PROJECT FRONTAGE
FOR REFERENCE ONLY
NOT TO SCALE



TYPICAL SECTION
EXISTING ESPLANADE COURT @ GENESSEE AVENUE
FOR REFERENCE ONLY
NOT TO SCALE



TYPICAL SECTION
EXISTING COSTA VERDE BOULEVARD
NOT TO SCALE



TYPICAL SECTION
PROPOSED COSTA VERDE BOULEVARD-SIDEWALK MODIFICATION
NOT TO SCALE

MONTE VERDE PARKING SUMMARY

REQUIRED PARKING

TOWER	TYPE	NO. OF UNITS	SPACES REQUIRED	TOTAL SPACES REQUIRED	REPLACEABLE SPACES	NET SPACES REQUIRED	PROVIDED SPACES	DEFICIT
TOWER A - 22 STORIES	RESIDENTIAL	100	100	100	100	0	100	0
	OFFICE	100	100	100	100	0	100	0
	RETAIL	100	100	100	100	0	100	0
	TOTAL	300	300	300	300	0	300	0

TOWER B - 26 STORIES

TOWER	TYPE	NO. OF UNITS	SPACES REQUIRED	TOTAL SPACES REQUIRED	REPLACEABLE SPACES	NET SPACES REQUIRED	PROVIDED SPACES	DEFICIT
TOWER B - 26 STORIES	RESIDENTIAL	100	100	100	100	0	100	0
	OFFICE	100	100	100	100	0	100	0
	RETAIL	100	100	100	100	0	100	0
	TOTAL	300	300	300	300	0	300	0

TOWER C - 26 STORIES

TOWER	TYPE	NO. OF UNITS	SPACES REQUIRED	TOTAL SPACES REQUIRED	REPLACEABLE SPACES	NET SPACES REQUIRED	PROVIDED SPACES	DEFICIT
TOWER C - 26 STORIES	RESIDENTIAL	100	100	100	100	0	100	0
	OFFICE	100	100	100	100	0	100	0
	RETAIL	100	100	100	100	0	100	0
	TOTAL	300	300	300	300	0	300	0

TOWER D - 22 STORIES

TOWER	TYPE	NO. OF UNITS	SPACES REQUIRED	TOTAL SPACES REQUIRED	REPLACEABLE SPACES	NET SPACES REQUIRED	PROVIDED SPACES	DEFICIT
TOWER D - 22 STORIES	RESIDENTIAL	100	100	100	100	0	100	0
	OFFICE	100	100	100	100	0	100	0
	RETAIL	100	100	100	100	0	100	0
	TOTAL	300	300	300	300	0	300	0

TOTALS

TOTAL REQUIRED	1200
TOTAL PROVIDED	1200
DEFICIT	0

PROVIDED PARKING

TOWER	TYPE	NO. OF UNITS	SPACES PROVIDED	TOTAL SPACES PROVIDED
TOWER A - 22 STORIES	RESIDENTIAL	100	100	100
	OFFICE	100	100	100
	RETAIL	100	100	100
	TOTAL	300	300	

COVERAGE ANALYSIS

TYPE	AREA (SQ. FT.)	COVERAGE (%)
RESIDENTIAL	100,000	100%
OFFICE	100,000	100%
RETAIL	100,000	100%
TOTAL	300,000	100%

OPEN SPACE ANALYSIS

TYPE	AREA (SQ. FT.)	PROVIDED (%)
RESIDENTIAL	100,000	100%
OFFICE	100,000	100%
RETAIL	100,000	100%
TOTAL	300,000	100%

TOWER A - 22 STORIES

TYPE	AREA (SQ. FT.)	PROVIDED (%)
RESIDENTIAL	100,000	100%
OFFICE	100,000	100%
RETAIL	100,000	100%
TOTAL	300,000	100%

TOWER B - 26 STORIES

TYPE	AREA (SQ. FT.)	PROVIDED (%)
RESIDENTIAL	100,000	100%
OFFICE	100,000	100%
RETAIL	100,000	100%
TOTAL	300,000	100%

TOWER C - 26 STORIES

TYPE	AREA (SQ. FT.)	PROVIDED (%)
RESIDENTIAL	100,000	100%
OFFICE	100,000	100%
RETAIL	100,000	100%
TOTAL	300,000	100%

TOWER D - 22 STORIES

TYPE	AREA (SQ. FT.)	PROVIDED (%)
RESIDENTIAL	100,000	100%
OFFICE	100,000	100%
RETAIL	100,000	100%
TOTAL	300,000	100%

MONTE VERDE BUILDING SUMMARY

TOWER A - 22 STORIES

TYPE	NO. OF UNITS	AREA (SQ. FT.)	VALUE (\$)
RESIDENTIAL	100	100,000	10,000,000
OFFICE	100	100,000	10,000,000
RETAIL	100	100,000	10,000,000
TOTAL	300	300,000	30,000,000

TOWER B - 26 STORIES

TYPE	NO. OF UNITS	AREA (SQ. FT.)	VALUE (\$)
RESIDENTIAL	100	100,000	10,000,000
OFFICE	100	100,000	10,000,000
RETAIL	100	100,000	10,000,000
TOTAL	300	300,000	30,000,000

TOWER C - 26 STORIES

TYPE	NO. OF UNITS	AREA (SQ. FT.)	VALUE (\$)
RESIDENTIAL	100	100,000	10,000,000
OFFICE	100	100,000	10,000,000
RETAIL	100	100,000	10,000,000
TOTAL	300	300,000	30,000,000

TOWER D - 22 STORIES

TYPE	NO. OF UNITS	AREA (SQ. FT.)	VALUE (\$)
RESIDENTIAL	100	100,000	10,000,000
OFFICE	100	100,000	10,000,000
RETAIL	100	100,000	10,000,000
TOTAL	300	300,000	30,000,000

APPLICANT
Costa Verde Hotel LLC
6500 Costa Verde Blvd - Office
San Diego, California 92121

PREPARED BY:
HUNSAKER & ASSOCIATES
SAN DIEGO, CALIF.
6500 Costa Verde Blvd - Office
San Diego, California 92121

DESIGN LEAD
7810 Grand Ave, Suite 200
La Jolla, California 92037
Phone: 619-438-4114
Fax: 619-438-4111

PERMITTING SCHEDULE

NO.	DESCRIPTION	DATE
1	Received by permittee from applicant	March 09 2006
2	Received by City of San Diego	December 09 2005
3	Received by City of San Diego	December 13 2005
4	Received by City of San Diego	December 17 2005
5	Received by City of San Diego	December 18 2005
6	Received by City of San Diego	December 19 2005
7	Received by City of San Diego	December 20 2005
8	Received by City of San Diego	December 21 2005
9	Received by City of San Diego	December 22 2005
10	Received by City of San Diego	December 23 2005
11	Received by City of San Diego	December 24 2005
12	Received by City of San Diego	December 25 2005

PROJECT TITLE
Monte Verde
SPENDING PLAN GENERAL PLAN
COMPLIANCE PLAN
SITE DEVELOPMENT PERMIT
SPECIFIC PLAN AMENDMENT
LARGE MEET VACATIONS

DRAWING TITLE
STREET CROSS SECTIONS / PROJECT SUMMARY

DATE	SCALE
03/09/06	AS SHOWN

SHEET #
C-2

000352

APPLICANT
Costa Verde Hotel LLC
 8530 Camino Verde Blvd. - Office
 San Diego, California 92122

PREPARED BY:
 **HUNSAKER & ASSOCIATES**
 SAN DIEGO, CA
 16100 San Marcos Avenue
 San Marcos, CA 92069
 (619) 444-1100

DESIGN LEAD
 EXP.

 7961 Girard Ave. Suite 200
 La Jolla, California 92037
 Phone: (619) 454-1111
 Fax: (619) 454-1131

Revised

No.	Date	Description
1	08/08/08	Initial design
2	09/02/08	Revised for engineering review
3	09/02/08	Revised for engineering review
4	09/02/08	Revised for engineering review
5	09/02/08	Revised for engineering review
6	09/02/08	Revised for engineering review
7	09/02/08	Revised for engineering review
8	09/02/08	Revised for engineering review
9	09/02/08	Revised for engineering review
10	09/02/08	Revised for engineering review
11	09/02/08	Revised for engineering review
12	09/02/08	Revised for engineering review
13	09/02/08	Revised for engineering review
14	09/02/08	Revised for engineering review
15	09/02/08	Revised for engineering review
16	09/02/08	Revised for engineering review
17	09/02/08	Revised for engineering review
18	09/02/08	Revised for engineering review
19	09/02/08	Revised for engineering review
20	09/02/08	Revised for engineering review

PROJECT TITLE
Monte Verde
 VTM PLANNED DEVELOPMENT PERMIT
 GRADING PLAN, CROSSLINK PLAN
 (Costa Verde Lot 17)
 C/COMMUNITY PLAN
 SITE DEVELOPMENT PERMIT
 SPECIFIC PLAN INSTRUMENT
 EASEMENT VACA TRACT

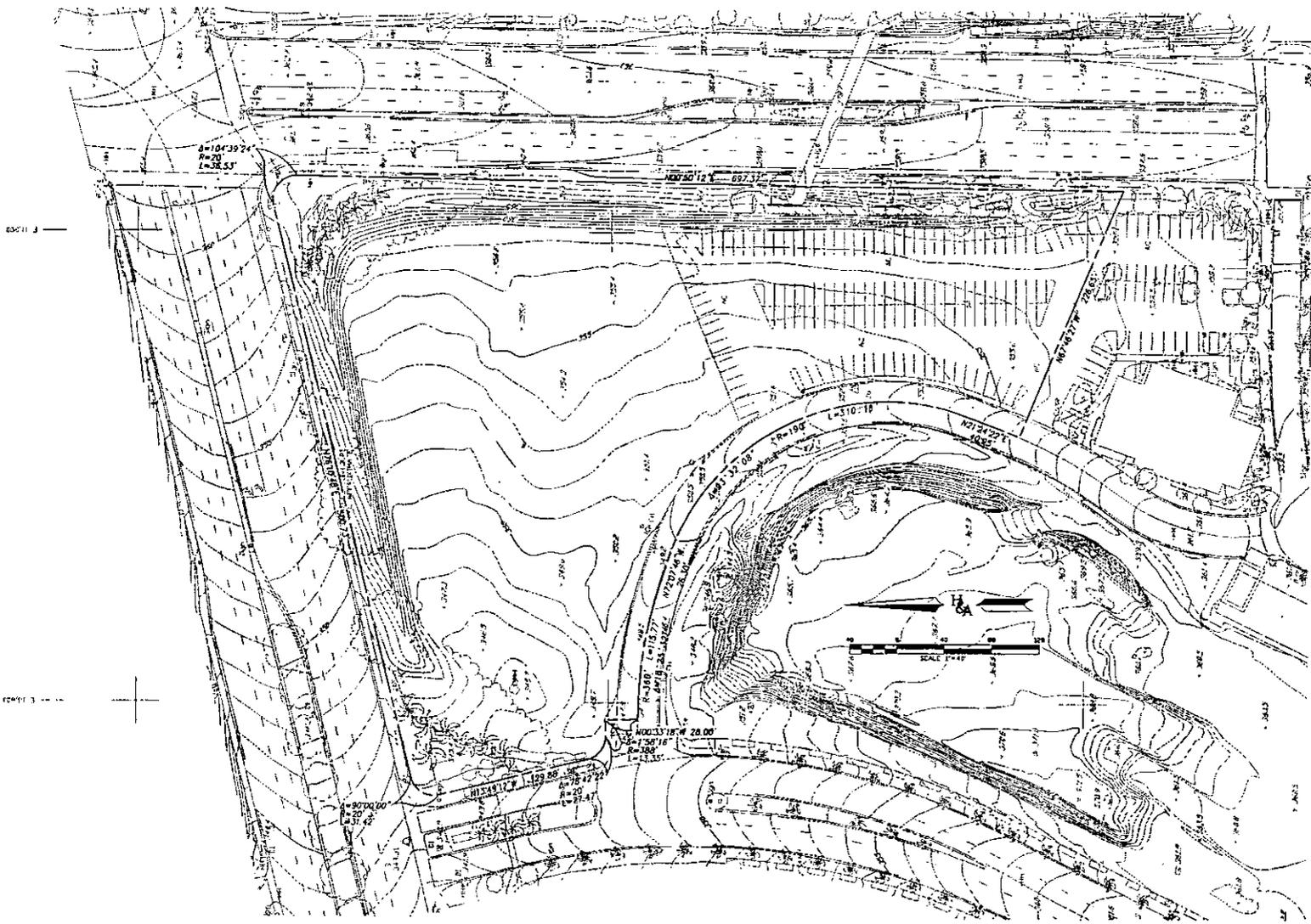
EXISTING TOPOGRAPHIC MAP

JOB #
 080001

DATE
 September 11, 2008 (Revised)

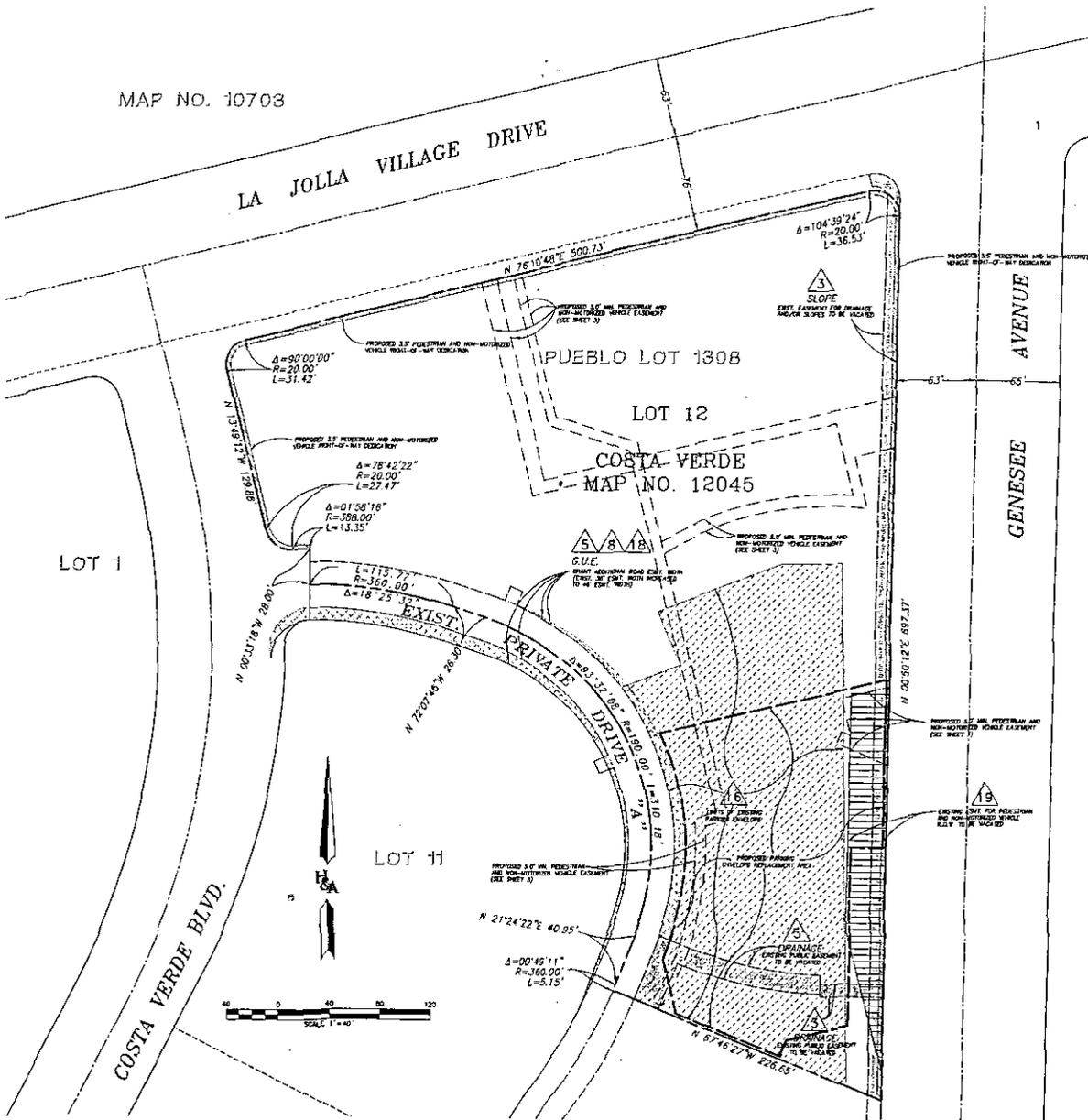
SCALE
 1" = 40'

SHEET #
C-4



000354

MAP NO. 10708



MAP NO. 8332
PARCEL MAP NO. 6481

MAP NO. 8333
PARCEL MAP NO. 12803

PRELIMINARY TITLE REPORT FURNISHED BY CHICAGO TITLE COMPANY,
ORDER NO. 13064002, DATED SEPTEMBER 18, 2002.

- ▲ INDICATES EXISTING EASEMENT GRANTED TO THE CITY OF SAN DIEGO FOR DRAINAGE AND OR SLOPES, RECORDED ON MAY 1, 1989 AS FILE NO. 77022 OF O.R.
- ▲ INDICATES EXISTING EASEMENT GRANTED TO THE CITY OF SAN DIEGO FOR DRAINAGE AND OR WATER AND OR SEWER FACILITIES, RECORDED ON SEPTEMBER 1, 1987 AS FILE NO. 87-000662 OF O.R.
- ▲ INDICATES EXISTING EASEMENT GRANTED TO AMERICAN TELEVISION AND CABLE CORP. OVER SOUTHWESTERN CABLE TV, RECORDED ON JANUARY 18, 1988 AS FILE NO. 88-002249 OF O.R.
(THE EXACT LOCATION OF EASEMENT IS NOT DEVELOPED IN SAID DOCUMENT AND THEREFORE IS UNDEVELOPABLE.)
- ▲ INDICATES EXISTING EASEMENT FOR PRIVATE DRIVEWAY PURPOSES AS DEPICTED ON MAP NO. 12045
- ▲ INDICATES EXISTING EASEMENT GRANTED TO SAN DIEGO GAS & ELECTRIC COMPANY FOR PUBLIC UTILITIES, PIPES, AND SERVICES, RECORDED ON NOVEMBER 17, 1988 AS FILE NO. 88-581731 OF O.R.
(THE EXACT LOCATION OF EASEMENT IS NOT DEVELOPED IN SAID DOCUMENT AND THEREFORE IS UNDEVELOPABLE.)
- ▲ INDICATES LIMITS OF EXISTING PARKING ENVELOPE PER GRANT OF EASEMENT (10) AND (10) AS GRANTED ACCORDING TO EASEMENT AGREEMENT FOR PARKING BETWEEN CSC REALTY CORPORATION AND COSTA VERDE ASSOCIATED LIMITED PARTNERSHIP, RECORDED ON OCTOBER 2, 1992 AS FILE NO. 92-532249 OF O.R.
- ▲ (THE EXACT LOCATION OF EASEMENT IS NOT DEVELOPED IN SAID DOCUMENT AND THEREFORE IS UNDEVELOPABLE.)
- ▲ INDICATES EXISTING PROPOSED ACCESS EASEMENT GRANTED TO CSC, RECORDED ON OCTOBER 1, 1990 AS FILE NO. 90-537940 OF O.R.
- ▲ INDICATES EXISTING EASEMENT GRANTED TO THE CITY OF SAN DIEGO FOR PEDESTRIAN AND NON-MOTOR VEHICLE E.O.B., RECORDED ON OCTOBER 16, 1990 AS FILE NO. 1990-549623 OF O.R.
- ▲ INDICATES EXISTING EASEMENT GRANTED TO SOUTHWESTERN CABLE TV, RECORDED ON DECEMBER 19, 1997 AS FILE NO. 97-644825 OF O.R.
(THE EXACT LOCATION OF EASEMENT IS NOT DEVELOPED IN SAID DOCUMENT AND THEREFORE IS UNDEVELOPABLE.)

EASEMENT LEGEND

- EXISTING PARKING ENVELOPE TO BE RELOCATED ▲(1)(4)
- PROPOSED PARKING ENVELOPE REPLACEMENT AREA ▲(1)(3)
- PROPOSED PEDESTRIAN/MOTOR VEHICLE EASEMENT VACATION ▲
- PROPOSED DRAINAGE EASEMENT VACATION ▲ (PORTION OF)
- PROPOSED ROAD EASEMENT (BY OTHER)
- PROPOSED PEDESTRIAN AND NON-MOTORIZED VEHICLE RIGHT-OF-WAY DEDICATION

PREPARED BY:
HUNSAKER & ASSOCIATES
SAN DIEGO, CALIF.
PLANNING: 1000 Holladay Drive
INGENIERIA: San Diego, CA 92108
SURVEYING: PUEBLO LOT 1308-1309

DESIGN LEAD
1981 Grand Ave., Suite 200
La Jolla, California 92037
PH: 858-469-8114
FAX: 858-469-0131

No.	Date	Description
1	March 02 2004	Revised for administrative review
2	December 06 2003	Revised for submittal to City
3	December 12 2003	Revised for submittal to City
4	December 12 2003	Revised for submittal to City
5	December 12 2003	Revised for submittal to City
6	December 12 2003	Revised for submittal to City
7	December 12 2003	Revised for submittal to City
8	December 12 2003	Revised for submittal to City
9	December 12 2003	Revised for submittal to City
10	December 12 2003	Revised for submittal to City
11	December 12 2003	Revised for submittal to City
12	December 12 2003	Revised for submittal to City

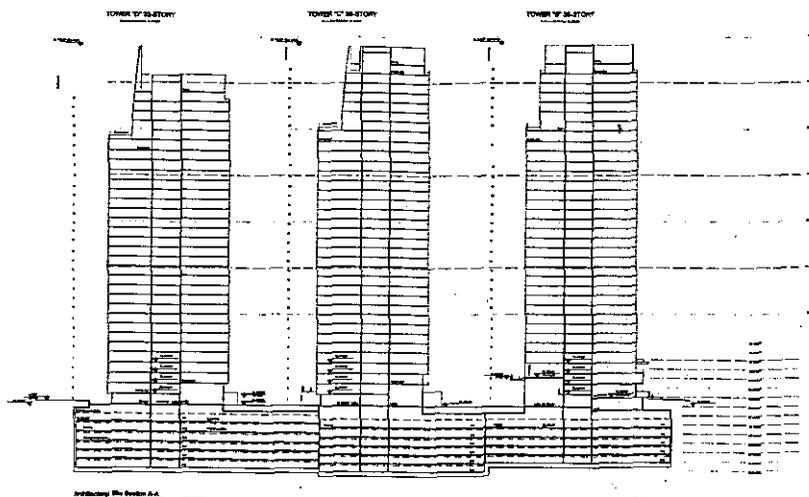
PROJECT TITLE: THE PLANNED DEVELOPMENT PERMIT/ GRADING PLAN GENERAL PLAN / COMMUNITY PLAN / SITE DEVELOPMENT PERMIT / SPECIFIC PLAN/ MANAGEMENT EASEMENT VACATIONS

DRAWING TITLE: PROPOSED EASEMENT, DEDICATION, AND VACATION MAP

JOB #	SITE
000000	000000
DRAWN	SCALE
	1" = 40'

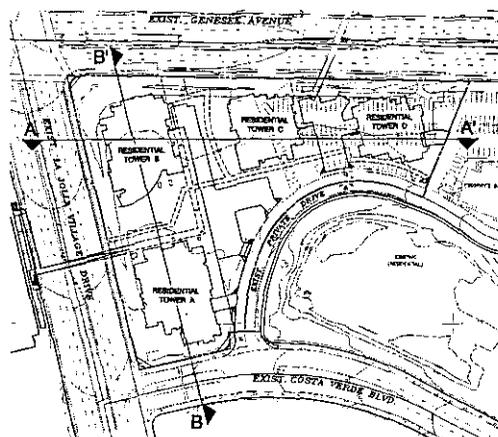
SHEET #
C-6

ATTACHMENT
000355

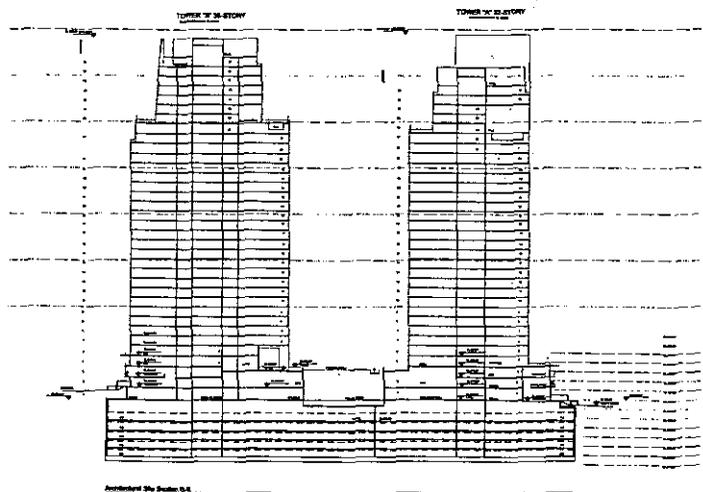


SECTION A'-A

HOR. SCALE: 1" = 60'
VER. SCALE: 1" = 60'



KEY MAP
SCALE: 1" = 100'



SECTION B'-B

HOR. SCALE: 1" = 60'
VER. SCALE: 1" = 60'

NOTE: SEE ARCHITECTURAL DRAWINGS FOR BUILDING DETAILS

APPLICANT
Costa Verde Hotel LLC
8520 Costa Verde Blvd., Office
San Diego, California 92122

PREPARED BY:
HUNSAKER & ASSOCIATES
P.A.C. PLLC
PLANNING: 8707 Hamden Street
SAN DIEGO: San Diego, CA 92121
SUNNYVALE: Palo Alto, CA 94303

DESIGN LEAD
LP
7881 Oxford Ave., Suite 200
La Jolla, California 92037
Tel: 858-468-9114
Fax: 858-468-9131

Sheet	Date
1	Revised for development review
2	Revised for development review
3	Revised for development review
4	Revised for development review
5	Revised for development review
6	Revised for development review
7	Revised for development review
8	Revised for development review
9	Revised for development review
10	Revised for development review
11	Revised for development review
12	Revised for development review

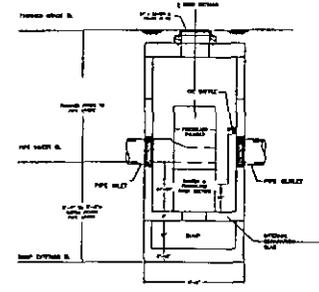
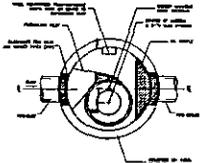
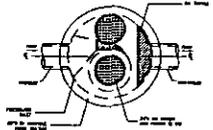
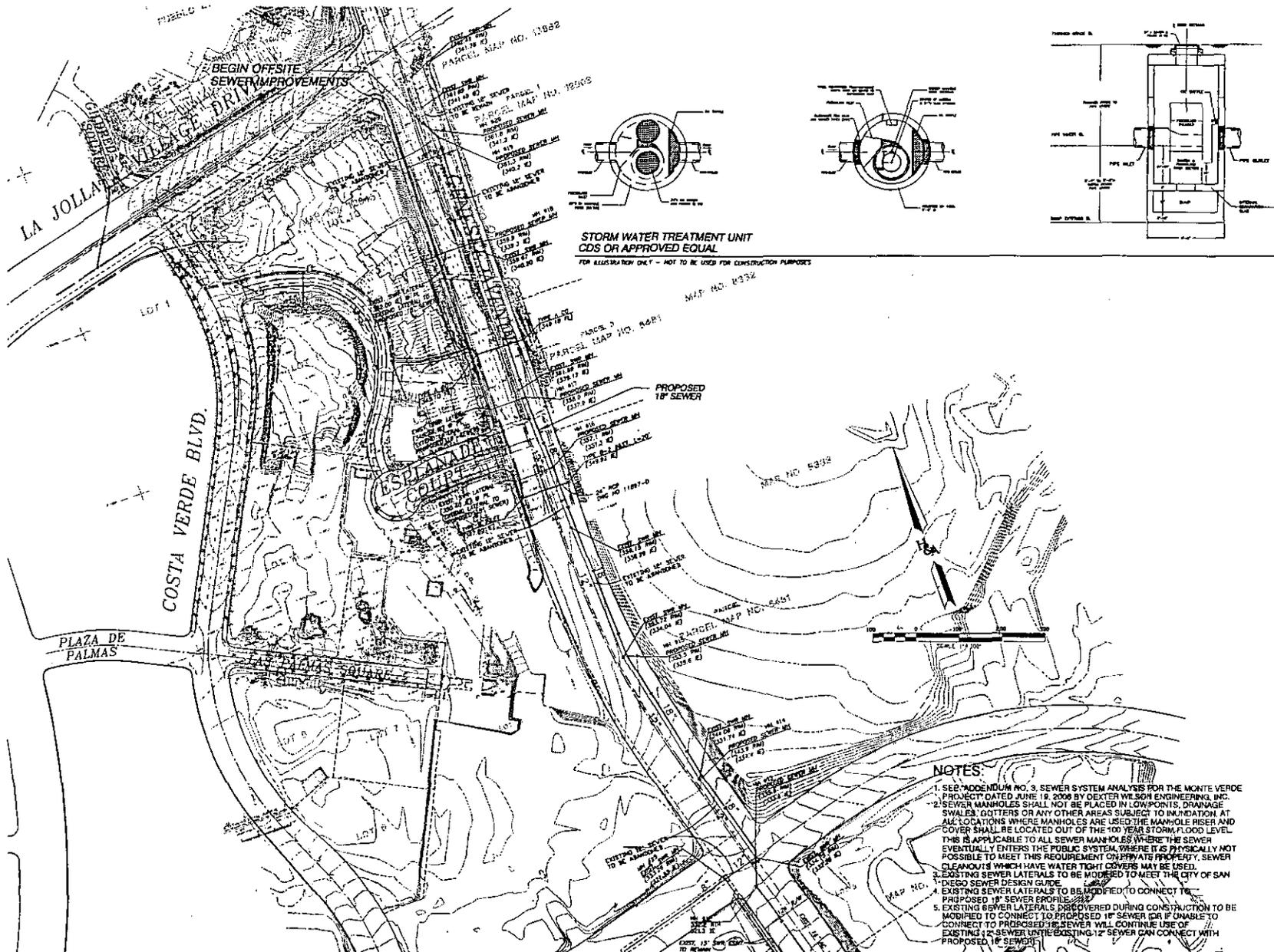
PROJECT TITLE
Monte Verde
1 Costa Verde Lot 157
8520 Costa Verde Blvd., Office
San Diego, California 92122

VTM PLANNED DEVELOPMENT PERMIT/
DRIVING PLAN GENERAL PLAN
COMMUNITY PLAN
SITE DEVELOPMENT PERMIT/
PROJECT PLAN INSTRUMENT
EASTMENT VACATIONS

DRAWING TITLE
SITE CROSS SECTIONS

DESIGNER	DATE
SCALE	DATE

SHEET #
C-7



STORM WATER TREATMENT UNIT
CDS OR APPROVED EQUAL

FOR ILLUSTRATION ONLY - NOT TO BE USED FOR CONSTRUCTION PURPOSES

- NOTES**
1. SEE ADDENDUM NO. 3, SEWER SYSTEM ANALYSIS FOR THE MONTE VERDE PROJECT DATED JUNE 18, 2008 BY GENTER WILSON ENGINEERING, INC.
 2. SEWER MANHOLES SHALL NOT BE PLACED IN LOWPOINTS, DRAINAGE SWALES, DITCHES OR ANY OTHER AREAS SUBJECT TO INUNDATION. AT ALL LOCATIONS WHERE MANHOLES ARE USED THE MANHOLE RISER AND COVER SHALL BE LOCATED OUT OF THE 100 YEAR STORM FLOOD LEVEL. THIS IS APPLICABLE TO ALL SEWER MANHOLES WHERE THE SEWER EVENTUALLY ENTERS THE PUBLIC SYSTEM, WHERE IT IS PHYSICALLY NOT POSSIBLE TO MEET THIS REQUIREMENT ON PRIVATE PROPERTY, SEWER CLEANOUTS WHICH HAVE WATER TIGHT COVERS MAY BE USED.
 3. EXISTING SEWER LATERALS TO BE MODIFIED TO MEET THE CITY OF SAN DIEGO SEWER DESIGN GUIDE.
 4. EXISTING SEWER LATERALS TO BE MODIFIED TO CONNECT TO PROPOSED 18" SEWER PROFILE.
 5. EXISTING SEWER LATERALS DISCOVERED DURING CONSTRUCTION TO BE MODIFIED TO CONNECT TO PROPOSED 18" SEWER OR IF UNABLE TO CONNECT TO PROPOSED 18" SEWER WILL CONTINUE USE OF EXISTING 12" SEWER UNTIL EXISTING 12" SEWER CAN CONNECT WITH PROPOSED 18" SEWER.

SEE SHEET C-9

APPLICANT
Costa Verde Hotel LLC
8820 Costa Verde Blvd., 10th Fl.
San Diego, California 92128

PREPARED BY:
HUNSAKER & ASSOCIATES
1144 B STREET, 1100
SAN DIEGO, CALIFORNIA 92101
TEL: 619-594-8800
WWW.HUNSAKER.COM

DESIGN LEAD
7701 Grand Ave., Suite 200
La Jolla, California 92037
Phone: 858-584-1114
Fax: 858-584-9131

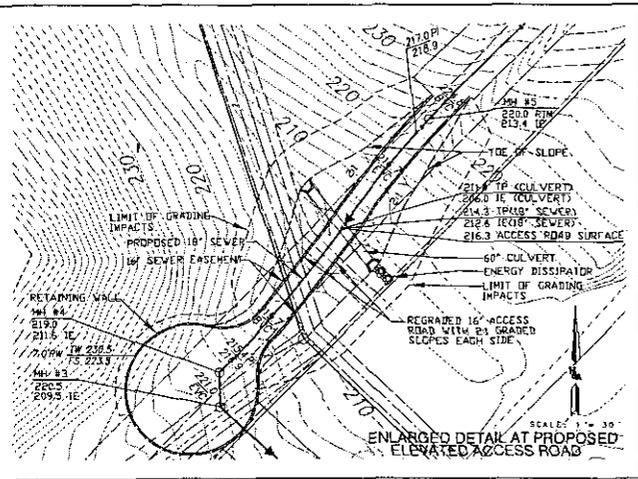
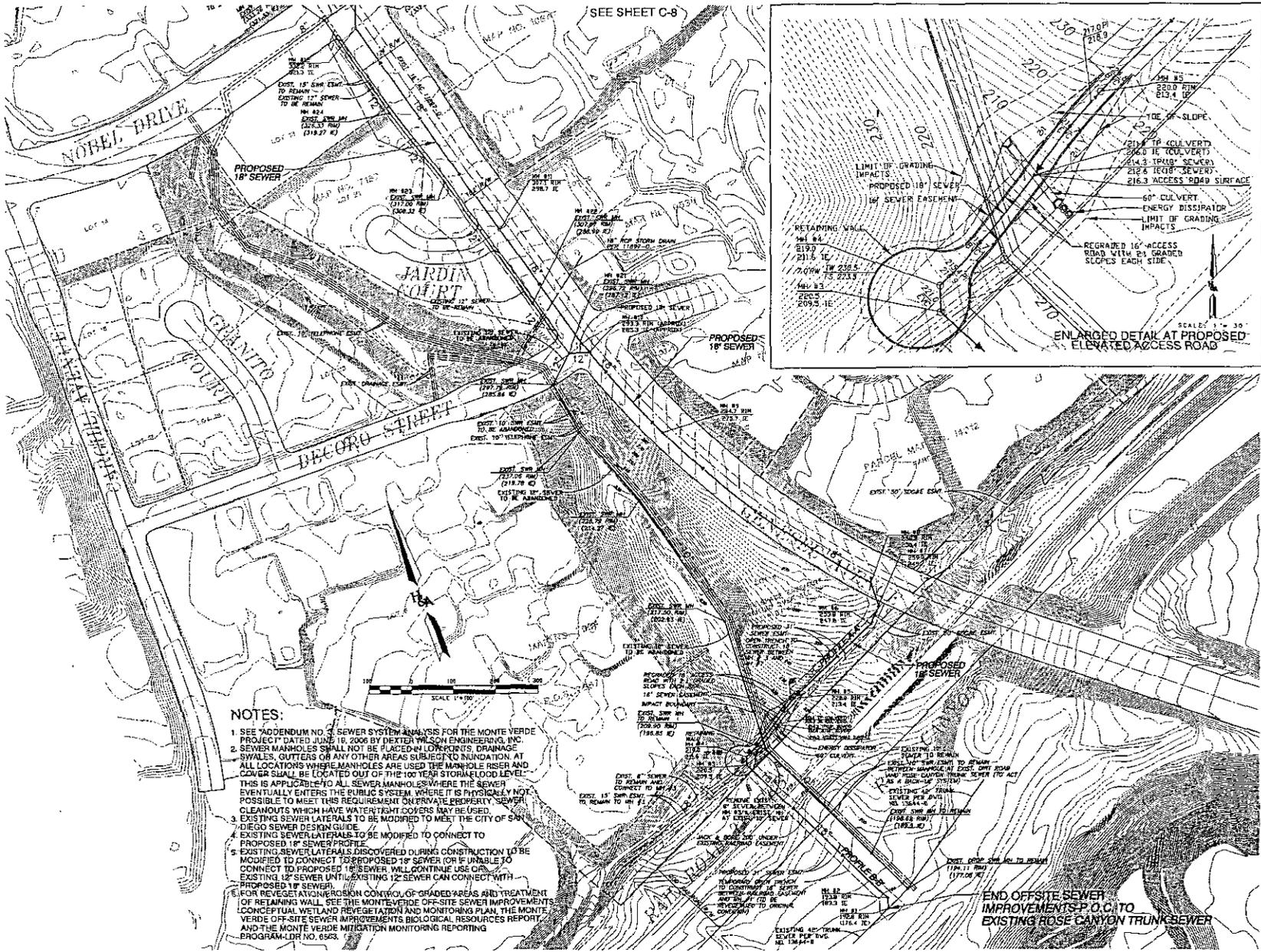
Rev.	Description	Date
1	Issued for construction review	March 04, 2009
2	Issued for construction review	September 04, 2009
3	Issued for construction review	September 04, 2009
4	Issued for construction review	November 19, 2009
5	Issued for construction review	January 17, 2010
6	Issued for construction review	February 27, 2010
7	Issued for construction review	December 09, 2010
8	Issued for construction review	December 14, 2010
9	Issued for construction review	February 17, 2011
10	Issued for construction review	June 09, 2011
11	Issued for construction review	September 27, 2011

PROJECT TITLE
VTM PLANNED DEVELOPMENT PERMIT
SEWERING PLAN GENERAL PLAN
COMMUNITY PLAN
COSTA VERDE HOTEL LLC
OFFSITE SEWER IMPROVEMENTS
EASEMENT VACATION

DATE
September 11, 2009 (Revised)

SCALE
1" = 100'

SHEET #
C-8



- NOTES:**
1. SEE ADDENDUM NO. 2 SEWER SYSTEM ANALYSIS FOR THE MONTE VERDE PROJECT DATED JUNE 16, 2006 BY DEXTER WILSON ENGINEERING, INC.
 2. SEWER MANHOLES SHALL NOT BE PLACED IN LOW POINTS, DRAINAGE SWALES, GUTTERS OR ANY OTHER AREAS SUBJECT TO INUNDATION AT ALL LOCATIONS WHERE MANHOLES ARE USED. THE MANHOLE RISER AND COVER SHALL BE LOCATED OUT OF THE 100 YEAR STORM FLOOD LEVEL. THIS IS APPLICABLE TO ALL SEWER MANHOLES WHERE THE SEWER EVENTUALLY ENTERS THE PUBLIC SYSTEM, WHERE IT IS PHYSICALLY NOT POSSIBLE TO MEET THIS REQUIREMENT ON PRIVATE PROPERTY, SEWER CLEANOUTS WHICH HAVE WATER TIGHT COVERS MAY BE USED.
 3. EXISTING SEWER LATERALS TO BE MODIFIED TO MEET THE CITY OF SAN DIEGO SEWER DESIGN GUIDE.
 4. EXISTING SEWER LATERALS TO BE MODIFIED TO CONNECT TO PROPOSED 18" SEWER PROFILE.
 5. EXISTING SEWER LATERALS DISCOVERED DURING CONSTRUCTION TO BE MODIFIED TO CONNECT TO PROPOSED 18" SEWER (OR IF UNABLE TO CONNECT TO PROPOSED 18" SEWER WILL CONTINUE USE OR EXISTING 12" SEWER UNTIL EXISTING 12" SEWER CAN CONNECT WITH PROPOSED 18" SEWER).
 6. FOR REVEGETATION, EROSION CONTROL OF GRADED AREAS AND TREATMENT OF RETAINING WALL. SEE THE MONTE VERDE OFF-SITE SEWER IMPROVEMENTS CONCEPTUAL WETLAND REVEGETATION AND MONITORING PLAN, THE MONTE VERDE OFF-SITE SEWER IMPROVEMENTS BIOLOGICAL RESOURCES REPORT, AND THE MONTE VERDE MITIGATION MONITORING REPORTING PROGRAM (DR NO. 6563).

APPLICANT
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 8200 Costa Verde Blvd., Office
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PREPARED BY:

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REVISIONS

Rev	Date	Description
1	06/16/06	Issued for pre-construction
2	06/20/06	Issued for pre-construction
3	06/20/06	Issued for pre-construction
4	06/20/06	Issued for pre-construction
5	06/20/06	Issued for pre-construction
6	06/20/06	Issued for pre-construction
7	06/20/06	Issued for pre-construction
8	06/20/06	Issued for pre-construction
9	06/20/06	Issued for pre-construction
10	06/20/06	Issued for pre-construction
11	06/20/06	Issued for pre-construction
12	06/20/06	Issued for pre-construction

PROJECT TITLE
 VTM PLANNED DEVELOPMENT PERMIT
 BRIDGE PLUM GOLF COURSE PLUM
 COMMUNITY PLAN
 (Costa Verde Lot 12)
 SPECIFIC PLAN AMENDMENT
 EASEMENT VACATIONS

DRAWN TITLE
 OFFSITE SEWER IMPROVEMENTS

DATE
 06/16/06

SCALE
 1" = 100'

SHEET #
 C-9

000358



Monte Verde

Costa Verde Lot 12
Costa Verde Hotel, LLC
8530 Costa Verde Boulevard - Office
San Diego, CA 92122
Chris Teng
656 320-0016

June 20, 2006

Civil Engineer:

Hunsaker & Associates
Dan Rehm / Ray Martin
659 558-4500

Drawings:

- C-1 Title Sheet
- C-2 Street Cross Sectional / Project Summary
- C-3 Site Plan / Grading Plan
- C-4 Existing Topographic Map
- C-5 Existing Encumbrance Map
- C-6 Proposed Easement, Dedication & Vacation Map
- C-7 Site Cross Sections
- C-8 Offsite Sewer Improvements / Details
- C-9 Offsite Sewer Improvements

Landscape Architect:

Spurlock Poirier
Shannon Bratton
619 681-0090

Drawings:

- L11 Design Intent and Renderings
- L12 Renderings
- L13 Landscape Development Plan Ground Level
- L14 Landscape Development Plan Upper Level
- L15 Landscape Legend
- L16 Landscape Calculations
- L17 Landscape Circulation Plan
- L18 Enlargement LVD Pedestrian Bridge Landing
- L19 Enlargement of Genesee Avenue Pedestrian Bridge Approach and Landing
- L110 Enlargement of Existing Genesee Avenue Pedestrian Bridge Landing and Approach
- L111 Townhome Enlargement Plan and Elevation
- L112 Enlargement of Genesee Avenue Pedestrian Bridge Approach and Landing

Signage Design:

CWA Inc.
Calvin Woo / Gina Benzien
619 299-0401

Drawings:

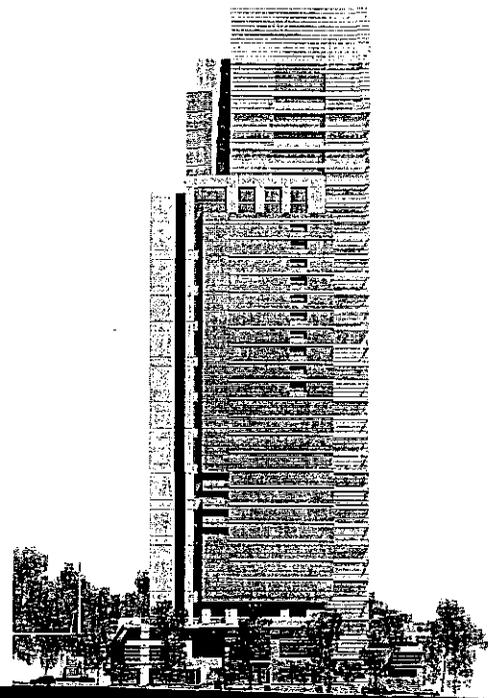
- LS11 Exterior Sign Plan
- LS12 Exterior Sign Plan

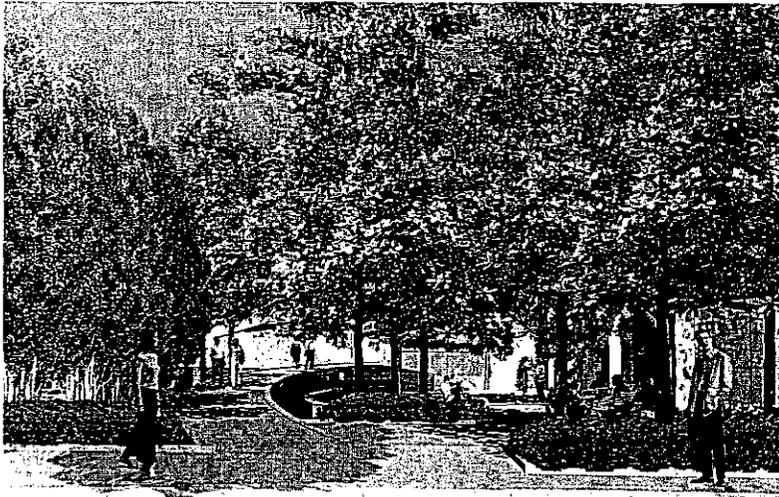
Architect:

Design Lead, LLP Architecture & Planning
Sivash Khajezadeh / Nozar Ravenbach
656 499-6114

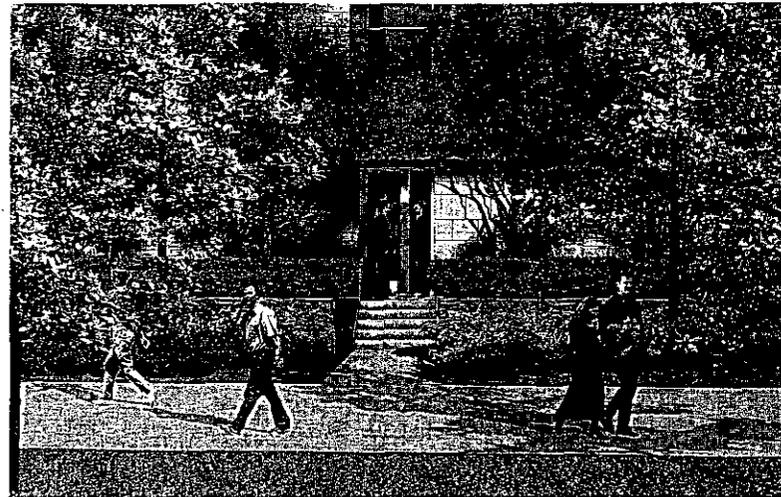
Drawings:

- A1.1 Architectural Site Plan
- A1.2 Site Plan Entry Level 1
- A1.3 Site Plan Level 2
- A1.4 Site Plan Level 3
- A1.5 Site Plan Level 4
- A1.6 Site Plan Level 5
- A1.7 Site Plan Level 6 to 25/26
- A1.8 Site Plan Levels 26 to 28
- A1.9 Site Plan Pool Levels 29/29
- A1.10 Site Plan Levels 29 to 34
- A1.11 Site Plan Top Levels
- A1.12 Architectural Site Roof Plan
- A1.13 Site Parking Plan (Level P1)
- A1.14 Site Parking Plan (Level P2)
- A1.15 Site Parking Plan (Level P3)
- A1.16 Site Parking Plan (Level P4)
- A1.17 Site Parking Plan (Level P5)
- A1.18 Site Parking Plan (Level P6)
- A2.1 Site Cross Section "A-A"
- A2.2 Site Cross Section "B-B"
- A3.1 Genesee Avenue Site Elevation
- A3.2 La Jolla Village Drive Site Elevation
- A3.3 La Jolla Village Drive Pedestrian Bridge
- A4.1 Open Space Calculations
- A4.2 Shadow plans
- A4.3 Site Fire Access Plan
- A4.4 Site Plan Utilities Connection
- A4.5 Site Plan Towers C & D Genesee Avenue Utilities Connection
- A4.6 Site Plan, Towers A & B Costa Verde Utilities Connection





1 Genesee Avenue Pocket Park Rendering
scale: N.T.S.



2 Typical Townhome Entry Rendering
scale: N.T.S.

DESIGN INTENT

THE SITE DESIGN PROVIDES A SEQUENCE OF INTERCONNECTED OUTDOOR COURTYARDS AND GARDENS FOR BOTH PUBLIC AND PRIVATE USE. THESE SPACES ALLOW UNINTERRUPTED PUBLIC ACCESS INTO AND THROUGH THE SITE CONNECTING MONTE VERDE WITH ITS NEIGHBORS - 24 HOURS A DAY. INCLUDED ARE A LAZIO, ONE OPEN GREEN SPACE, A POCKET PARK, PLAZAS, AND GARDENS FEATURING NATIVE PLANTS, FLOWERS, AND MOST IMPORTANTLY TREES. THESE OPEN SPACE ELEMENTS WILL BE MAINTAINED BY THE PROJECT PLUS CREATING PUBLIC BENEFIT THAT RELIES BEHIND ON CITY PARKS AND MAINTENANCE BUDGETS. THE DESIGN HAS BEEN GUIDED BY THE UNIVERSITY CITY COMMUNITY PLAN WITH KEY EXCEPTS QUOTED IN THE FOLLOWING NARRATIVE.

LANDSCAPE CONCEPT

"MONTE VERDE WILL DISCOVER AND EXPERIENCE BOTH THE NATURAL AND MAN-MADE ASSETS OF THE AREA." THE FOUR TOWERS OF MONTE VERDE REST GRACEFULLY IN A SETTING THAT IS DESIGNED TO SYNTHESIZE THE DOMINANT FEATURES OF THE NATURAL AND CULTURAL LANDSCAPE OF THE UNIVERSITY CITY ENVIRONMENT - THE RIVER VALLEYS AND CANYONS WITH CALIFORNIA STYCAMORS, THE SHORTLINE BLUFFS DOTTED WITH TORREY PINES, AND THE PATTERNS OF AGRICULTURE SEEN IN THE EUCALYPTUS GROVES AND IMPROBABLES. THE URBAN CANYONS CREATED BY THE TOWER BUILDINGS PROVIDE DRAMATIC LIGHT AND SHADOW PATTERNS MUCH LIKE THE NATURAL CANYONS. THESE SPACES BETWEEN THE TOWERS ARE EACH DEVELOPED WITH THEIR OWN UNIQUE PALETTE OF PLANTS TO PROVIDE A VARIETY OF EXPERIENCES AND SEASONAL CHANGE.

PEDESTRIAN CONNECTIVITY

"DESIGNING OVERPASSES AS INTEGRAL PARTS... NOT AS 'AFTER THOUGHTS', FREESTANDING OVERPASSES SHOULD BE AVOIDED." THE PEDESTRIAN BRIDGE SYSTEM AT MONTE VERDE OFFERS MEANINGFUL, INTEGRATED CONNECTIONS THROUGH THE SITE AT BOTH THE ELEVATED BRIDGE LEVEL AND DOWN TO THE GROUND LEVEL. THE SECOND LEVEL CONNECTIONS ARE NOT ONLY THROUGH THE SITE BUT LINK PEDESTRIANS TO THE TOWNHOMES AND RESIDENTIAL BUILDING LOBBIES OF TOWERS A AND B AT THE UPPER LEVELS. THE BRIDGE LINKAGES WITHIN THE SITE ARE DESIGNED AS INTEGRAL PARTS OF THE BUILDING ARCHITECTURE WITH SLENDER, UNOBTRUSIVE STEEL MEMBERS. RESIDENTS CAN EXIT THE TOWER AT THE BRIDGE LEVEL AND WALK DIRECTLY TO THE UPPER LEVEL SPA FACILITIES OR ACROSS LA JOLLA VILLAGE DRIVE AND GENESSEE AVENUE. LIKEWISE, VISITORS USING THE BRIDGES CAN DIRECTLY ACCESS THE RESIDENTIAL TOWER LOBBIES. THESE INTEGRATED FEATURES AND FUTURE UPPER LEVEL CONNECTIONS ON NEIGHBORING PARCELS ENHANCE THE FUNCTIONALITY OF THE PEDESTRIAN OVERPASS SYSTEM FOSTERING THE GOALS OF THE COMMUNITY PLAN.

THE NEW LA JOLLA VILLAGE DRIVE PEDESTRIAN BRIDGE ITSELF WILL BE A STATE OF THE ART CABLE STAY ENGINEERING MARVEL AND STAND AS THE GATEWAY TO UNIVERSITY CITY IN THE SAME MANNER AS THE SCORPUS CROSSING AT LA JOLLA SHORES CELEBRATES THE SCORPUS INSTITUTE. MONTE VERDE'S UPPER LEVEL CONNECTION FROM LA JOLLA VILLAGE DRIVE IS DESIGNED TO CONNECT TO A FUTURE BRIDGE TO BE BUILT BY OTHERS OVER GENESSEE AVENUE. IT IS ENVISIONED THAT THIS BRIDGE WILL SERVE AS A PEDESTRIAN LINK TO UIC. FOR THE INTERIM CONNECTION, THE EXISTING OVERPASS BRIDGE WILL REMAIN IN ITS PRESENT LOCATION. THE EXISTING RAMP ON THE MONTE VERDE SIDE OF GENESSEE WILL BE REMOVED AND REPLACED WITH A NEW ELEVATOR AND STAIRWAY.

THE FUTURE MID TRANSIT CENTER WILL BE A SIGNIFICANT DESTINATION IN THE AREA AND OFFERS GREAT POTENTIAL FOR LINKAGE TO THE PEDESTRIAN OVERPASS SYSTEM. GIVEN THE UNKNOWN LOCATION FOR THE MID TRANSIT CENTER AT THIS TIME, THE PLAN ILLUSTRATES A FLEXIBLE SOLUTION FOR THE MONTE VERDE PROJECT UTILIZING THE GENESSEE BRIDGE IN THE EXISTING LOCATION IN A TEMPORARY MANNER.

"DESIGNATE AND CLEARLY DEFINE A PRIMARY PEDESTRIAN NETWORK... PATHS SHOULD BE OPEN AND ACCESSIBLE TO THE PUBLIC AT ALL TIMES AND CONNECT WITH THE STREET OR NEARBY PEDESTRIAN NETWORK."

MONTE VERDE IMPROVES THE CONNECTIVITY TO AN ALREADY BROAD SELECTION OF DESIRABLE RESIDENTIAL, SERVICE DESTINATIONS, THE UNIVERSITY TOWN CENTER REGIONAL SHOPPING MALL, THE COSTA VERDE SHOPPING CENTER, AND THE MARSHLET HOTEL. MULTIPLE PATHS, MOST UNIVERSALLY ACCESSIBLE, PROVIDE A VARIETY OF CONNECTIONS. THE URBAN CORE NETWORK OF PEDESTRIAN PATHS IS COMPLETED WITH A NEW CONTEMPORARY CABLE STAY PEDESTRIAN BRIDGE OVER LA JOLLA VILLAGE DRIVE CONNECTING THE UNIVERSITY PARK NEIGHBORHOOD WITH THE MONTE VERDE PROJECT AND GREATER COSTA VERDE NEIGHBORHOOD. PEDESTRIAN AND NON-MOTOR VEHICLE R.O.M. DEDICATIONS ARE DESIGNED TO ALLOW 24 HOUR PUBLIC ACCESS THROUGH THE MONTE VERDE SITE.

CALIFORNIA STYCAMORE CANYON

"NATURAL CANYONS LINK THE COMMUNITY AND WILL PROVIDE VISUAL REFLECT FROM UNBANNEDIZATION." BETWEEN THE TOWERS OF MONTE VERDE, THE PUBLIC ENCOUNTERS A CANON LANDSCAPE OF CALIFORNIA STYCAMORS, SLOPING LAWNSHIPS AND ASSOCIATED RHAPSODY NATIVE PLANTS THAT WILL LEAD THE PUBLIC THROUGH TO OTHER PEDESTRIAN BRIDGES. THE BRIDGES ARE VISIBLE ABOVE THE CANYON LANDSCAPE AND PROVIDE A VISUAL AND PHYSICAL LINK TO THE OTHER NEIGHBORHOOD USES AND THE REGIONAL NETWORK OF CANYONS.

PEDESTRIANS ARE INVITED TO EXPERIENCE THE CANYON LANDSCAPE AND UNDER UNDERNEATH THE COOLING CANOPY OF TREES. MOVABLE TABLES AND CHAIRS, BENCHES AND SITE WALLS IN THE GRC GREEN AND POCKET PARK PROVIDE SEATING OPPORTUNITIES FOR THE PUBLIC. A SLIDING WALKWAY SURROUNDED BY THE STYCAMORE CANYON LEADS THE PEDESTRIAN UP TO THE SIDEWALK LEVEL OF GENESSEE AVENUE WHERE THE PEDESTRIAN CAN CONTINUE TO WALK ON THE PUBLIC SIDEWALK OR USE THE ELEVATOR OR STAIRS TO ACCESS THE SECOND LEVEL WALKWAY AND PROPOSED FUTURE CENTER BRIDGE TO BE BUILT BY OTHERS AND IN THE INTERIM, THE EXISTING GENESSEE BRIDGE - TO THE REGIONAL SHOPPING CENTER, UIC, AND BEYOND, WHERE THEY CAN CONNECT AGAIN TO A NATURAL CANYON AND PARK LEADING DOWN TO THE RENAISSANCE DEVELOPMENT.

INDIVIDUALIZED SPACES

#TOWNHOMES AND TOWN HOME PATRIES

CONFORMING TO THE COMMUNITY PLAN, A REGULAR PATTERN OF CANOPY STREET TREES LINKS THE 160-FOOT STREETS. NON-CORNERING 8' WIDE PUBLIC SIDEWALKS, PLANNED BY STREET TREES ON BOTH SIDES, SERVE TO BUFFER THE PEDESTRIANS FROM THE HIGH SPEED AUTOMOBILE TRAFFIC. GENEROUSLY SIZED FRONT YARD PATIO SPACES FURTHER BUFFER THE TOWN HOMES FROM THE TRAFFIC WHILE PROVIDING DIRECT PEDESTRIAN ACCESS TO THE PUBLIC SIDEWALK. RESIDENTS CAN WALK OUT THEIR FRONT DOOR DIRECTLY TO THE PUBLIC SIDEWALK AND ON TO THE SURROUNDING SHOPPING AND ENTERTAINMENT VENUES. THE ENTRY GARDEN PATIOS ARE ELEVATED OFF THE PUBLIC SIDEWALK AND FEATURE PRIVATE STONE WALLS PLANTED WITH VINES, GARDEN TREES, ENHANCED PAVING AND COLORED PLANTING. LOW INDIVIDUAL GARDEN BARRIERS DELINEATE THE ENTRY TO EACH TOWN HOME. A CONTINUOUS CURVED STONE RETAINING WALL SURROUNDS EACH BANK OF TOWN HOMES REVEALING THE SLOPING GRADE OF THE SITE, AND COMPLEMENTING THE SIGNATURE CURVED 'LEAF' FACADE OF THE BUILDING PORTION. AT THE CORNERS OF THE SITE, THE TREES OPEN UP AND THE LANDFORM RISES TO ACCENTUATE THE INTERSECTION OF THE SITE WALLS AND THE 'LEAF' THROUGHOUT, THE CURVED STONE SITE WALLS ARE SEALED TO THE TOWERS AND ROADWAYS, WHILE AT THE SAME TIME ACTING AS A NEIGHBORLY GESTURE INVITING PEDESTRIANS INTO AND THROUGH THE PROJECT AND SUPPORTING PROJECT IDENTIFICATION SIGNALS.

CIVIC SPACES

A VARIETY OF LARGE, LANDSCAPED OPEN SPACES ARE PROVIDED FOR THE USE OF THE COMMUNITY AT LARGE. CONVENIENTLY LOCATED ALONG THE PUBLIC SIDEWALKS THESE SPACES FURTHER ENHANCE THE WALKING EXPERIENCE. A PRIVATELY FUNDED SHUTTLE SERVICE HAS A STOP STRATEGICALLY LOCATED AT THE MAIN ARRIVAL PLAZA WITH CHAIRS AND AN OVERHEAD CANOPY FOR WEATHER PROTECTION.

CIVIC SPACES

THIS SPACE AT THE BASE OF THE PEDESTRIAN BRIDGE OVER LA JOLLA VILLAGE DRIVE FEATURES A BROAD LAWN AND LARGE PLAZA FILLED WITH MOVABLE TABLES AND CHAIRS AND BENCHES. THE GREEN IS PART OF THE GREATER CALIFORNIA STYCAMORE CANYON LANDSCAPE COVERED BY THE DAPPLED SHADE OF CANOPY TREES. LUSH PLANTING AREAS BORDERED BY SITE WALLS ARE LOCATED UNDER THE TREES. THE WALLS AND PLAZA SURFACE ARE MADE OF ENHANCED CONCRETE AND NATURAL STONE.

POCKET PARK

THE AREA NESTLED BETWEEN THE SLOPED WALKWAY AND THE TOWER C PROVIDES AN OUTDOOR SPACE THAT IS SHIELDED FROM TRAFFIC NOISE OF THE GENESSEE AVENUE. THE POCKET PARK PROVIDES A RESPITE WHERE THE PUBLIC CAN EAT THEIR LUNCH OR ENJOY OTHER PASSIVE RECREATION ACTIVITIES. THE SPACE IS FURNISHED WITH EASILY MOVABLE TABLES AND CHAIRS SO THAT NEIGHBORHOOD OUTDOOR CATERING AREA FOR PARTIES AND EVENTS CAN BE ACCOMMODATED.

PRIVATE OUTDOOR RECREATION AREA

AN AREA ON THE THIRD LEVEL OF TOWERS A AND B WILL INCLUDE A SUN-DECK, PLANTING AREAS, LAP POOLS, OUTDOOR KITCHEN, BARBECUE AREA AND OUTDOOR FIRE PLACE. OTHER SWIMMING POOL DECKS ARE LOCATED ON THE SEVEN AND SEVEN LEVELS OF THE BUILDINGS TO TAKE ADVANTAGE OF SUN ACCESS AND VIEWS AS WELL AS LEADING UNIQUE ARCHITECTURAL INTEREST FROM THE GROUND. ADDITIONALLY, ALL BUILDING ROOFS PROVIDE VIEW DECKS ACCESSIBLE BY ALL RESIDENTS TO ENJOY THE SPECTACULAR VIEWS.

MAIN ENTRY COURTYARD AND AUTOCOURT LANDSCAPE

CALIFORNIA STYCAMORES ARE THE FEATURED TREE AT THE MAIN ENTRY AND AT THE AUTO COURTS BETWEEN THE BUILDING TOWERS. THE TREES IN THE MAIN ARRIVAL COURT ARE SURROUNDED WITH NATIVE PLANTS AND BOLDERS FOR CASUAL SEATING. THE TREES AT THE AUTO COURT REMAINS ARE PLANTED IN A TERRACED LANDSCAPE EXISTING THE EDGES OF THE AUTO COURT. OVERHEAD CANOPIES PLANTED WITH VINES PROVIDE FURTHER SHADE AND PARTIALLY SCREEN THE GARAGE ENTRIES. LINEAR ROWS OF LIMBARTY POPLARS ACCENT THE MAIN EAST-WEST WALKWAYS.

ART PROGRAM

CALIFORNIA STYCAMORES ARE THE FEATURED TREE AT THE MAIN ENTRY AND AT THE AUTO COURTS BETWEEN THE BUILDING TOWERS. THE TREES IN THE MAIN ARRIVAL COURT ARE SURROUNDED WITH NATIVE PLANTS AND BOLDERS FOR CASUAL SEATING. THE TREES AT THE AUTO COURT REMAINS ARE PLANTED IN A TERRACED LANDSCAPE EXISTING THE EDGES OF THE AUTO COURT. OVERHEAD CANOPIES PLANTED WITH VINES PROVIDE FURTHER SHADE AND PARTIALLY SCREEN THE GARAGE ENTRIES. LINEAR ROWS OF LIMBARTY POPLARS ACCENT THE MAIN EAST-WEST WALKWAYS.

AUTOMOBILE APPROVAL AND CIRCULATION

THE SITE PLAN PROVIDES FOR RELAXATION BETWEEN PEDESTRIAN AND VEHICULAR CIRCULATION AREAS. PEDESTRIAN CROSSWALKS ARE RAISED TO SLOW TRAFFIC. THE BUILDING ENTRY LOBBIES FOR TOWERS A, B, AND C FRONT ONTO A MAIN ARRIVAL COURTYARD, WITH EACH TOWER PROVIDED ITS OWN AUTOMOBILE DROP-OFF AREA. TOWER B HAS ITS OWN SEPARATE AUTOMOBILE COURT WITH DROP-OFF ADJACENT TO ITS ENTRY LOBBY. THE BUILDINGS ARE LOCATED TO CREATE A STREET-LIKE EDGE ADJACENT TO THE AUTO COURTS. CARS PASS THROUGH THE ARRIVAL COURTS TO THE UNDERGROUND PARKING GARAGES.

APPLICANT
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8500 Costa Verde Blvd. - Office
San Diego, California 92122

SPURLOCK POIRIER
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L.P.

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REVISION	DATE
1	Revised for preliminary review
2	Revised for preliminary review
3	Revised for preliminary review
4	Revised for preliminary review
5	Revised for preliminary review
6	Revised for preliminary review
7	Revised for preliminary review
8	Revised for preliminary review
9	Revised for preliminary review
10	Revised for preliminary review
11	Revised for preliminary review
12	Revised for preliminary review
13	Revised for preliminary review
14	Revised for preliminary review
15	Revised for preliminary review
16	Revised for preliminary review
17	Revised for preliminary review
18	Revised for preliminary review
19	Revised for preliminary review
20	Revised for preliminary review

PROJECT TITLE
Monte Verde
(Costa Verde Lot 12)
8500 Costa Verde Blvd. - Office
San Diego, California 92122

DESIGN TITLE
Design Intent and Renderings

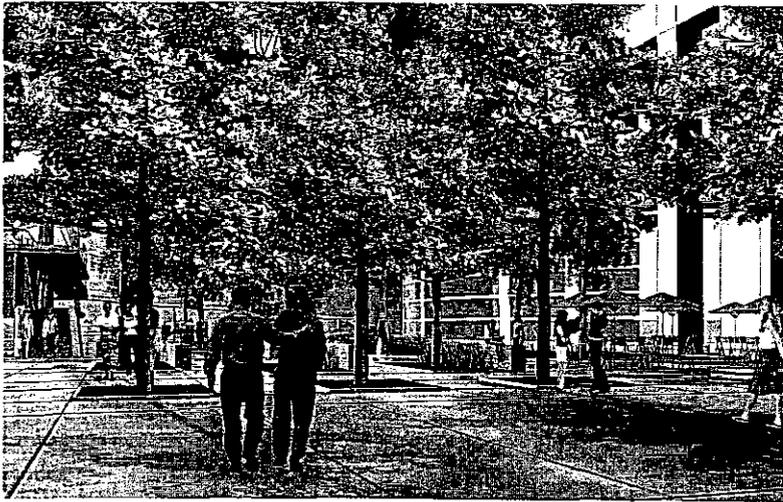
JOB #	DATE
800001	June 10, 2008

DESIGNER
SPURLOCK POIRIER

SCALE
N.T.S.

SHEET #
L1.1

000360



1 Rendering of the Civic Green Looking North Toward LJV D
scale: N.T.S.



2 Rendering from LJV D Looking South Into the Civic Green
scale: N.T.S.



3 Rendering of the Civic Green Bench and Seatwall Looking South
scale: N.T.S.

APPLICANT
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NO.	DATE	DESCRIPTION
1	March 03 2009	Issued for informational review
2	September 09 2009	Issued for informational review
3	December 15 2009	Issued for informational review
4	November 19 2009	Issued for informational review
5	June 17 2009	Issued for informational review
6	November 21 2009	Issued for informational review
7	February 17 2009	Issued for informational review
8	June 08 2009	Issued for informational review
9		
10		
11		
12		

PROJECT TITLE
Monte Verde
 (Costa Verde Lot 12)

OWNER TITLE
Renderings

JOB #	DATE
00001	June 08 2009
DRAWN	SCALE
JMP/BJ	1:1 N.T.S.

SHEET #
L1.2

000361

APPLICANT
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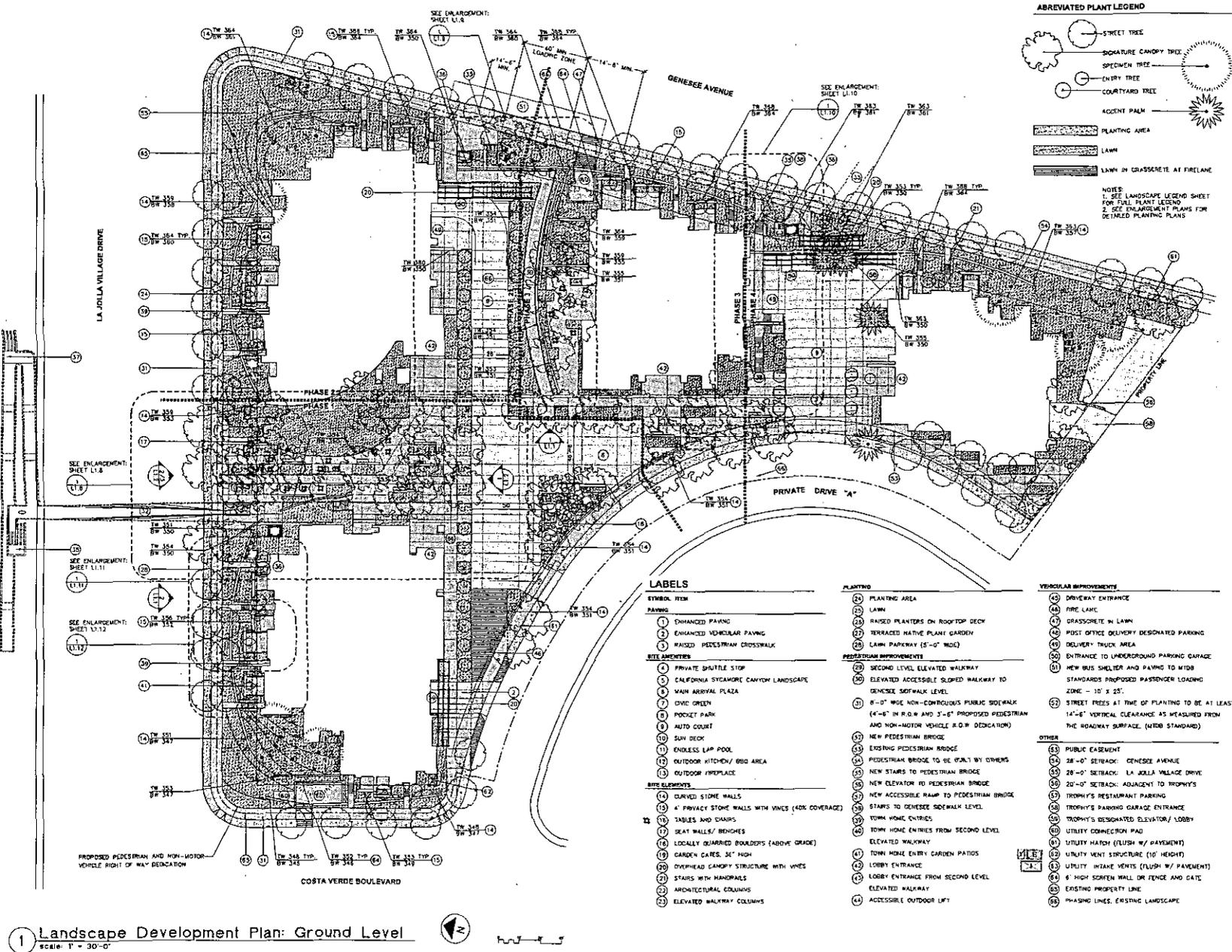
DATE: 02/20/20
 1. Issued for recordation in City: November 02, 2019
 2. Issued for recordation in City: November 02, 2019
 3. Issued for recordation in City: November 12, 2019
 4. Issued for recordation in City: November 12, 2019
 5. Issued for recordation in City: November 12, 2019
 6. Issued for recordation in City: November 12, 2019
 7. Issued for recordation in City: January 17, 2020
 8. Issued for recordation in City: June 01, 2020

PROJECT TITLE
Monte Verde
 (Costa Verde Lot 12)

PROJECT TITLE
Landscape Development Plan: Ground Level

DATE: June 26, 2020
 SCALE: 1" = 30'-0"

SHEET #
L1.3



- ABBREVIATED PLANT LEGEND**
- (Symbol: Circle with leaf pattern) STREET TREE
 - (Symbol: Circle with leaf pattern) SIGNATURE CANOPY TREE
 - (Symbol: Circle with leaf pattern) SPECIMEN TREE
 - (Symbol: Circle with leaf pattern) ENTRY TREE
 - (Symbol: Circle with leaf pattern) COURTYARD TREE
 - (Symbol: Circle with leaf pattern) ACCENT PALM
 - (Symbol: Rectangle with diagonal lines) PLANTING AREA
 - (Symbol: Rectangle with horizontal lines) LAWN
 - (Symbol: Rectangle with vertical lines) LAWN IN GRAVISEMITE AT FIRELANE
- NOTES:
 1. SEE LANDSCAPE LEGEND SHEET FOR FULL PLANT LEGEND
 2. SEE ENLARGEMENT PLANS FOR DETAILED PLANNING PLANS

- LABELS**
- SYMBOL ITEM
- PAVING**
- 1 ENHANCED PAVING
 - 2 ENHANCED VEHICULAR PAVING
 - 3 RAISED PEDESTRIAN CROSSWALK
- SITE AMENITIES**
- 4 PRIVATE SHUTTLE STOP
 - 5 CALIFORNIA SYCAMORE CANYON LANDSCAPE
 - 6 MAIN ARRIVAL PLAZA
 - 7 CIVIC GREEN
 - 8 POCKET PARK
 - 9 AUTO COURT
 - 10 SUN DECK
 - 11 ENDLESS LAP POOL
 - 12 OUTDOOR KITCHEN/ BBQ AREA
 - 13 OUTDOOR FIREPLACE
- SITE ELEMENTS**
- 14 CURVED STONE WALLS
 - 15 4' PRIVACY STONE WALLS WITH VINYS (40% COVERAGE)
 - 16 TABLES AND CHAIRS
 - 17 BEAT WALLS/ BENCHES
 - 18 LOCALLY QUARRIED BOUNDARIES (ABOVE GRADE)
 - 19 GARDEN GATES, 36" HIGH
 - 20 OVERHEAD CANOPY STRUCTURE WITH VINYS
 - 21 STAIRS WITH HANDRAILS
 - 22 MONUMENTAL COLUMNS
 - 23 ELEVATED WALKWAY COLUMNS
- PLANTING**
- 24 PLANTING AREA
 - 25 LAWN
 - 26 RAISED PLANTERS ON ROOFTOP DECK
 - 27 TERRACED NATIVE PLANT GARDEN
 - 28 LAWN PARKWAY (5'-0" WIDE)
- PEDESTRIAN IMPROVEMENTS**
- 29 SECOND LEVEL ELEVATED WALKWAY
 - 30 ELEVATED ACCESSIBLE SLOPED WALKWAY TO GENESSEE SOFTWALK LEVEL
 - 31 8'-0" WIDE NON-CORROUSIVE PUBLIC SIDEWALK (4'-6" IN R.O.W AND 3'-6" PROPOSED PEDESTRIAN AND NON-MOTOR VEHICLE R.O.W DEDICATION)
 - 32 NEW PEDESTRIAN BRIDGE
 - 33 EXISTING PEDESTRIAN BRIDGE
 - 34 PEDESTRIAN BRIDGE TO BE FUNG BY OTHERS
 - 35 NEW STAIRS TO PEDESTRIAN BRIDGE
 - 36 NEW ELEVATOR TO PEDESTRIAN BRIDGE
 - 37 NEW ACCESSIBLE RAMP TO PEDESTRIAN BRIDGE
 - 38 STAIRS TO GENESSEE SIDEWALK LEVEL
 - 39 TOWN HOME ENTRIES
 - 40 TOWN HOME ENTRIES FROM SECOND LEVEL ELEVATED WALKWAY
 - 41 TOWN HOME ENTRY GARDEN PATIOS
 - 42 LOBBY ENTRANCE
 - 43 LOBBY ENTRANCE FROM SECOND LEVEL ELEVATED WALKWAY
 - 44 ACCESSIBLE OUTDOOR LIFT
- VEHICULAR IMPROVEMENTS**
- 45 DRIVEWAY ENTRANCE
 - 46 FIRE LANE
 - 47 GRASSCOTE IN LAWN
 - 48 POST OFFICE DELIVERY DESIGNATED PARKING
 - 49 DELIVERY TRUCK AREA
 - 50 ENTRANCE TO UNDERGROUND PARKING GARAGE
 - 51 NEW BRIS SHELTER AND PAVING TO MTDB STANDARDS PROPOSED PASSENGER LOADING ZONE - 10' X 25'
 - 52 STREET TREES AT TIME OF PLANTING TO BE AT LEAST 14'-6" VERTICAL CLEARANCE AS MEASURED FROM THE ROADWAY SURFACE. (WIDTH STANDARD)
- OTHER**
- 53 PUBLIC EASEMENT
 - 54 28'-0" SETBACK: GENESSEE AVENUE
 - 55 28'-0" SETBACK: LA JOLLA VILLAGE DRIVE
 - 56 25'-0" SETBACK: ADJACENT TO TROPHY'S
 - 57 TROPHY'S RESTAURANT PARKING
 - 58 TROPHY'S PARKING GARAGE ENTRANCE
 - 59 TROPHY'S DESIGNATED ELEVATOR/ LOBBY
 - 60 UTILITY CONNECTION PAD
 - 61 UTILITY MATCH (FLUSH W/ PAVEMENT)
 - 62 UTILITY VENT STRUCTURE (10' HEIGHT)
 - 63 UTILITY INTAKE VENTS (FLUSH W/ PAVEMENT)
 - 64 6" HIGH SCREEN WALL OR FENCE AND GATE
 - 65 EXISTING PROPERTY LINE
 - 66 PHASING LINES, EXISTING LANDSCAPE

1 Landscape Development Plan: Ground Level
 SCALE: 1" = 30'-0"

APPLICANT
Costa Verde Hotel LLC
 8500 Costa Verde Blvd., Office
 San Diego, California 92122

000362

SPURLOCK POIRIER
 Landscape Architects

DESIGN LEAD

TOMMY DESIGN ARCH. SUITE 200
 LA JOLLA, CALIFORNIA 92037
 PH: 609-438-1144
 FAX: 609-438-0131

Item	Desc	Est. Cost
1	Required for transportation studies	\$0.00
2	Required for transportation studies	\$0.00
3	Required for transportation studies	\$0.00
4	Required for transportation studies	\$0.00
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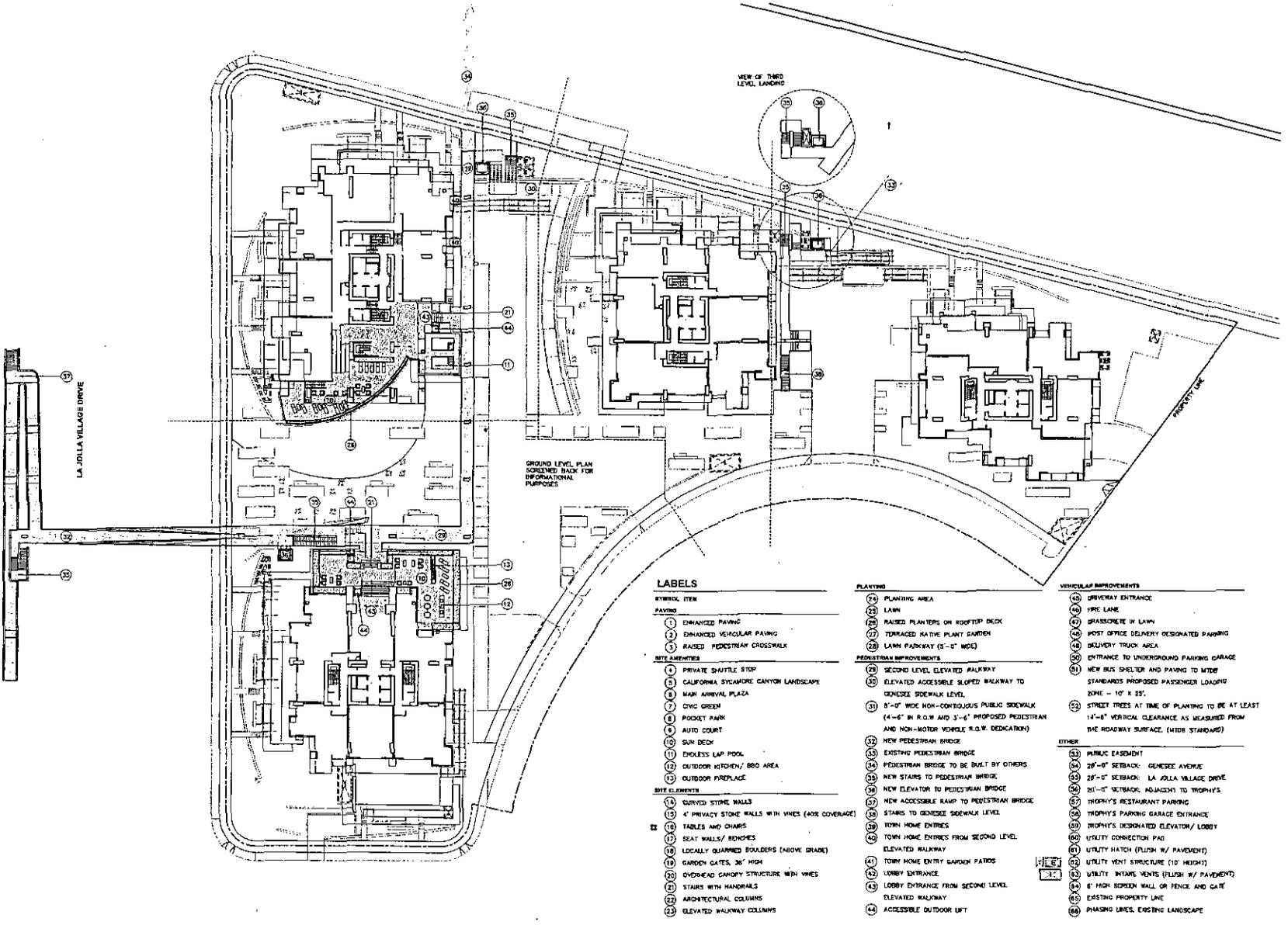
PROJECT TITLE
Monte Verde
 (Costa Verde Lot 12)
 8500 Costa Verde Blvd., Office
 San Diego, California 92122

ISSUING TITLE
**Landscape Development Plan:
 Upper Level**

DATE June 26, 2025	SCALE 1" = 30'-0"
-----------------------	----------------------

SHEET #
L1.4

Landscape Development Plan: Upper Level
 scale: 1" = 30'



- LABELS**
- VEHICULAR ITEM**
- 1 ENHANCED PAVING
 - 2 ENHANCED VEHICULAR PAVING
 - 3 RAISED PEDESTRIAN CROSSWALK
- PAVING**
- 4 PRIVATE SHUTTLE STOP
 - 5 CALIFORNIA SYCAMORE CANYON LANDSCAPE
 - 6 MAIN ARRIVAL PLAZA
 - 7 CIVIC GREEN
 - 8 POCKET PARK
 - 9 AUTO COURT
 - 10 SUN DECK
 - 11 INDOOR LAP POOL
 - 12 OUTDOOR KITCHEN/ BBQ AREA
 - 13 OUTDOOR PREFRIDGE
- VEHICLE IMPROVEMENTS**
- 14 GRAVED STONE WALLS
 - 15 6" PRIVACY STONE WALLS WITH VINES (40% COVERAGE)
 - 16 TABLES AND CHAIRS
 - 17 SEAT WALLS/ BENCHES
 - 18 LOCALLY QUARRIED BOLDERS (ABOVE GRADE)
 - 19 GARDEN GATES, 36" HIGH
 - 20 OVERHEAD CANOPY STRUCTURE WITH VINES
 - 21 STAIRS WITH HANDRAILS
 - 22 ARCHITECTURAL COLUMNS
 - 23 ELEVATED WALKWAY COLUMNS
- PLANTING**
- 24 PLANTING AREA
 - 25 LAWN
 - 26 RAISED PLANTERS ON ROOFTOP DECK
 - 27 TERRACED NATIVE PLANT GARDEN
 - 28 LAWN PARKWAY (5'-0" WIDE)
- PEDESTRIAN IMPROVEMENTS**
- 29 SECOND LEVEL ELEVATED WALKWAY
 - 30 ELEVATED ACCESSIBLE SLOPED WALKWAY TO GROUND LEVEL
 - 31 6'-0" WIDE NON-COINCIDENT PUBLIC SIDEWALK (4'-0" IN R.O.W. AND 2'-0" PROPOSED PEDESTRIAN AND NON-MOTOR VEHICLE R.O.W. DEDICATION)
 - 32 NEW PEDESTRIAN BRIDGE
 - 33 EXISTING PEDESTRIAN BRIDGE
 - 34 PEDESTRIAN BRIDGE TO BE BUILT BY OTHERS
 - 35 NEW STAIRS TO PEDESTRIAN BRIDGE
 - 36 NEW ELEVATOR TO PEDESTRIAN BRIDGE
 - 37 NEW ACCESSIBLE RAMP TO PEDESTRIAN BRIDGE
 - 38 STAIRS TO GROUND LEVEL
 - 39 TOWN HOME ENTRIES
 - 40 TOWN HOME ENTRIES FROM SECOND LEVEL
 - 41 ELEVATED WALKWAY
 - 42 TOWN HOME ENTRY GARDEN PATIOS
 - 43 LOBBY ENTRANCE
 - 44 LOBBY ENTRANCE FROM SECOND LEVEL
 - 45 ELEVATED WALKWAY
 - 46 ACCESSIBLE OUTDOOR LIT
- VEHICULAR IMPROVEMENTS**
- 47 DRIVEWAY ENTRANCE
 - 48 FIRE LANE
 - 49 GRASSCOTE IN LAWN
 - 50 POST OFFICE DELIVERY DESIGNATED PAVING
 - 51 DELIVERY TRUCK AREA
 - 52 ENTRANCE TO UNDERGROUND PARKING GARAGE
 - 53 NEW BUS SHELTER AND PAVING TO MEET STANDARDS PROPOSED PASSENGER LOADING ZONE - 10' X 25'
 - 54 STREET TREES AT TIME OF PLANTING TO BE AT LEAST 14'-0" VERTICAL CLEARANCE AS MEASURED FROM THE ROADWAY SURFACE (MTR STANDARDS)
- OTHER**
- 55 PUBLIC EASEMENT
 - 56 28'-0" SETBACK- GENESSEE AVENUE
 - 57 28'-0" SETBACK- LA JOLLA VILLAGE DRIVE
 - 58 28'-0" SETBACK- ADJACENT TO TROPHY'S
 - 59 TROPHY'S RESTAURANT PARKING
 - 60 TROPHY'S PARKING GARAGE ENTRANCE
 - 61 TROPHY'S DESIGNATED ELEVATOR/ LOBBY
 - 62 UTILITY CONNECTION PAD
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 - 65 UTILITY INTAKE VENTS (FLUSH W/ PAVEMENT)
 - 66 6' HIGH SCREEN WALL OR FENCE AND GATE
 - 67 EXISTING PROPERTY LINE
 - 68 PHASING LINES, EXISTING LANDSCAPE

000364

APPLICANT
Costa Verde Hotel LLC
 8200 Costa Verde Blvd. - Office
 San Diego, California 92123

SPURLOCK POIRIER
 LANDSCAPE ARCHITECTS

207 Market Street
 San Diego, CA 92101
 619 594 1000
 619 594 0008 fax

DESIGN LEAD

7811 Gilman Ave., Suite 200
 La Jolla, California 92037
 PHO: 858-468-4114
 FAX: 858-468-0721

NO.	DATE	DESCRIPTION
1	08/20/2018	Issued for permit preparation
2	08/20/2018	Revised for permit preparation
3	09/20/2018	Revised for permit preparation
4	09/20/2018	Revised for permit preparation
5	10/05/2018	Revised for permit preparation
6	10/05/2018	Revised for permit preparation
7	11/05/2018	Revised for permit preparation
8	11/05/2018	Revised for permit preparation
9		
10		
11		
12		

POLICY TITLE
Monte Verde
 (Costa Verde Lot 12)

PROJECT TITLE
Landscaping Calculations

DATE
 June 20, 2018

SCALE
 1" = 40'-0"

SHEET #
L1.6

THE FOLLOWING CALCULATIONS HAVE BEEN DERIVED INTO THE PROPOSED LANDSCAPE DEVELOPMENT PLAN IN ACCORDANCE WITH THE SAN DIEGO MUNICIPAL CODE

STREET TREES - All zones

530 Total Street Frontage for La Jolla Village Drive	1.30 ft =	16 Number of Street Trees Required	15 Number of Street Trees Provided
716 Total Street Frontage for Genesee Ave.	1.30 ft =	24 Number of Street Trees Required	19 Number of Street Trees Provided
160 Total Street Frontage for Costa Verde Blvd.	1.30 ft =	5 Number of Street Trees Required	2 Number of Street Trees Provided
654 Total Street Frontage for Finnets Drive "A"			11 trees Number of Street Trees Provided

WORKSHEET B - Multiple Dwelling Units in All Zones

STREET YARD			
Planting Area Required: 104,832	X 56 % =	58,732	Planting Area Provided (Sq. Ft.)
Total Street Yard Area		104,832	Planting Area Provided (Sq. Ft.)
(52,416 reduced by 12,104 square yards 25% reduction of original required)			
Planting Points Required: 104,832	X 0.05 =	5,242	Plant Points Provided
Total Street Yard Area			Plant Points Provided
(Total Planting Points = 40,781)			
12,104 Excess Points used to reduce Planting Area			
Planting Area Allowed to Horizontally or Unattached Unit Powers: 104,832	X 10 % =	10,483	Planting Area Allowed to Horizontally
Total Street Yard Area			Horizontally Area Provided (Sq. Ft.)
(Include plant areas)			
REMAINING YARD			
Planting Area Required:	X 3 =	12	Trees Required
Number of Buildings			Trees Provided

VEHICULAR USE AREA -

Planting Area Required Inside Street Yard	14,436	X 5% VIA	722	Planting Area Provided (Sq. Ft.)	1538	Planting Area Provided (Sq. Ft.)
VIA Inside Street Yard						
Planting Area Required Outside Street Yard	13,232	X 3% VIA	397	Planting Area Provided	2202	Planting Area Provided (Sq. Ft.)
VIA Outside Street Yard						
Planting Points Required Inside Street Yard	14,436	X 0.05 =	722	Plant Points Required	2878	Plant Points Provided
Total Vehicular Use Area						
Planting Points Required Outside Street Yard	13,232	X 0.03 =	397	Plant Points Required	2378	Plant Points Provided
Total Vehicular Use Area						

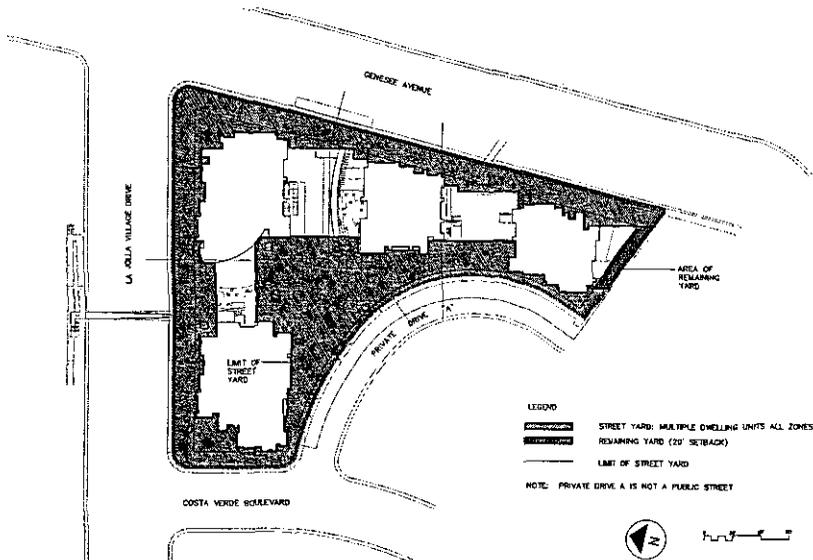
NOTE: PLANT POINTS FOR LANDSCAPE CALCULATIONS WERE CALCULATED USING THE FOLLOWING SPACING STANDARDS: 25% 1 GALLONS, SPACED 1'-0" O.C., 50% 5 GALLONS, SPACED 2'-0" O.C., 25% 15 GALLONS, SPACED 3'-0" O.C.

3 Landscape Calculations

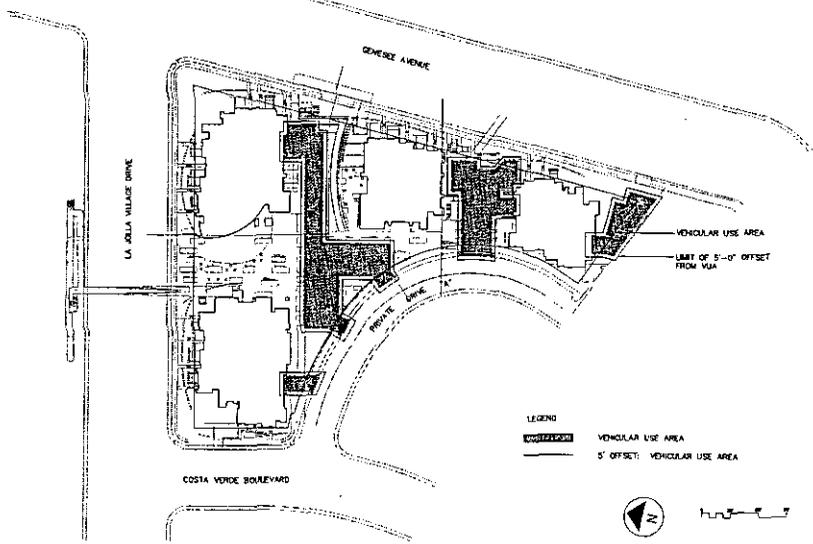
scale: NTS

LANDSCAPE AND IRRIGATION SYSTEM NOTES

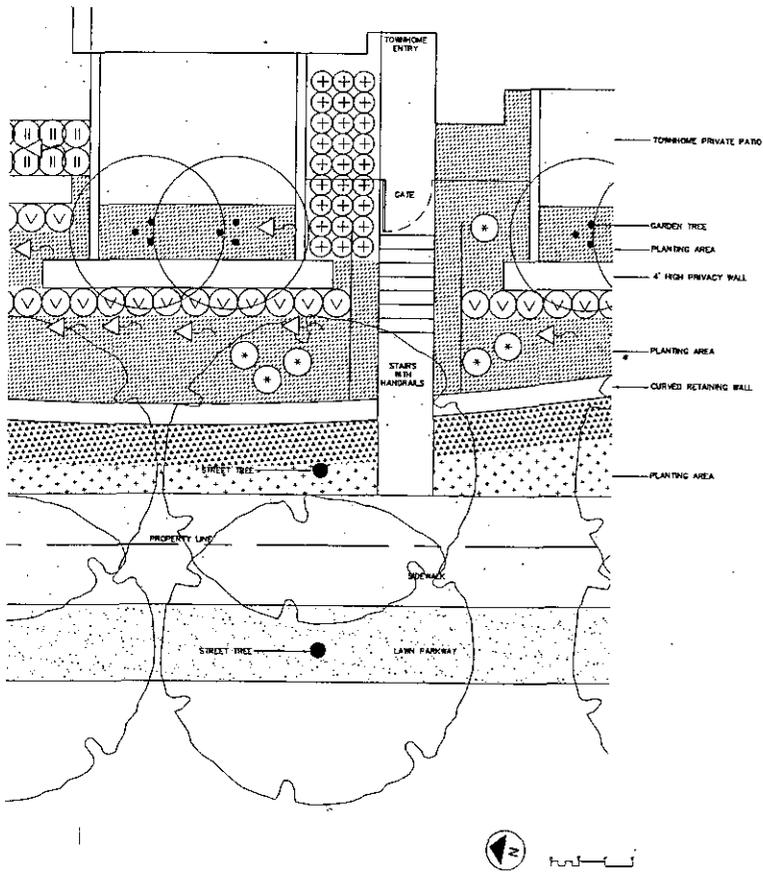
- THE LANDSCAPE PLAN WILL CONFORM WITH THE FOLLOWING STANDARDS OF THE CITY-WIDE LAND DEVELOPMENT CODE, SECTION 14.0400, AND THE DEVELOPMENT MANUAL - LANDSCAPE STANDARDS ADOPTED JANUARY 15, 2019, CITY OF SAN DIEGO REGIONAL STANDARD DRAWINGS, ADA REGULATIONS.
- LANDSCAPE AREAS SHALL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION. LANDSCAPED AREAS SHALL BE FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED FOR THE CONDITIONS OF THE PERMIT.
- ALL PLANT MATERIAL SELECTED FOR USE WILL BE OF A TYPE KNOWN TO BE SUCCESSTFUL IN THE AREA OF SIMILAR CLIMATIC AND SOIL CONDITIONS.
- COLOR FROM PLANT FOLIAGE, BARK OR BUDS WILL BE UTILIZED TO CREATE A PROMINENT, WARM AND VISUALLY EXISTING LANDSCAPE ENVIRONMENT. THEMATIC COLOR SCHEMES WILL BE UTILIZED IN DEVELOPING PROJECT IDENTITY.
- PLANTING WILL BE DESIGNED TO OBSCURE UNDESIRABLE VIEWS (AUTOMOBILES, STORAGE, MAINTENANCE, UTILITY AREAS, ETC.) AND ADD VISUAL INTEREST TO THE SITE.
- ALL SOILS WILL BE FERTILIZED, AMENDED AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND WOODED PLANT GROWTH.
- ROOT BARRIERS SHALL BE INSTALLED FOR ALL NEW TREES WHICH ARE PLACED WITHIN 5'-0" OF PUBLIC IMPROVEMENTS AND INTERNAL SITE HANDSCAPE AREAS, SUCH AS WALKS, CURBS, OR STREET PAVEMENT. ROOT BARRIERS SHALL NOT BE WRAPPED AROUND THE ROOTBALL OF THE TREE.
- MULCH REQUIREMENTS - ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3" ENCLUDING SLOPES REQUIRING VEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO LANDSCAPE ORDINANCE AND CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL - LANDSCAPE STANDARDS FOR LANDSCAPE INSTALLATION AND MAINTENANCE.
- IRRIGATION SYSTEMS WILL BE PERMANENT AUTOMATED SYSTEMS ADEQUATE FOR THE ESTABLISHMENT AND MAINTENANCE OF ALL PLANT MATERIAL. THESE SYSTEMS WILL BE INSTALLED AS SOON AS PRACTICAL AND PRIOR TO PLANT MATERIAL INSTALLATION.
- IRRIGATION FOR ON-STRUCTURE PLANTING AREAS SHALL UTILIZE SUB-SURFACE OR SPRINKLER / BUBBLER SYSTEMS. SPRINKLER / BUBBLER HEADS SHALL RESPOND TO THE LANDSCAPE DESIGN, PLANT MATERIAL REQUIREMENTS AND PUBLIC HEALTH AND SAFETY. EACH HEAD SHALL BE ADJUSTED FOR OPTIMUM PERFORMANCE TO PREVENT OVERWATERING DUE TO WALKS, ROADWAYS AND/OR BUILDINGS. THIS SHALL INCLUDE SELECTING THE BEST SIZE OF AND TO FIT THE EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. MOISTURE SENSING AND RAIN SHUT-OFF DEVICES SHALL BE EMPLOYED FOR WATER CONSERVATION.
- NO IRRIGATION RUN-OFF SHALL DRAIN OFF SITE INTO THE PUBLIC RIGHTS-OF-WAY, STREETS, DRIVEWAYS OR ALLEYS. NO CONNECTION SHALL BE MADE TO ANY STORM WATER SEWER SYSTEMS WITHOUT PROPER BEST MANAGEMENT PRACTICES.
- MINIMUM TREE/IMPROVEMENT SEPARATION DISTANCE: TRAFFIC SIGNALS / STOP SIGN - 20 FEET; SEWER LINES - 10 FEET; UNDERGROUND UTILITY LINES - 5 FEET; ABOVE GROUND UTILITY STRUCTURES - 10 FEET; DRIVEWAYS - 10 FEET; INTERSECTIONS - 25 FEET.
- LANDSCAPE FINISH DRAINAGE OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREA THROUGHOUT THE SITE.



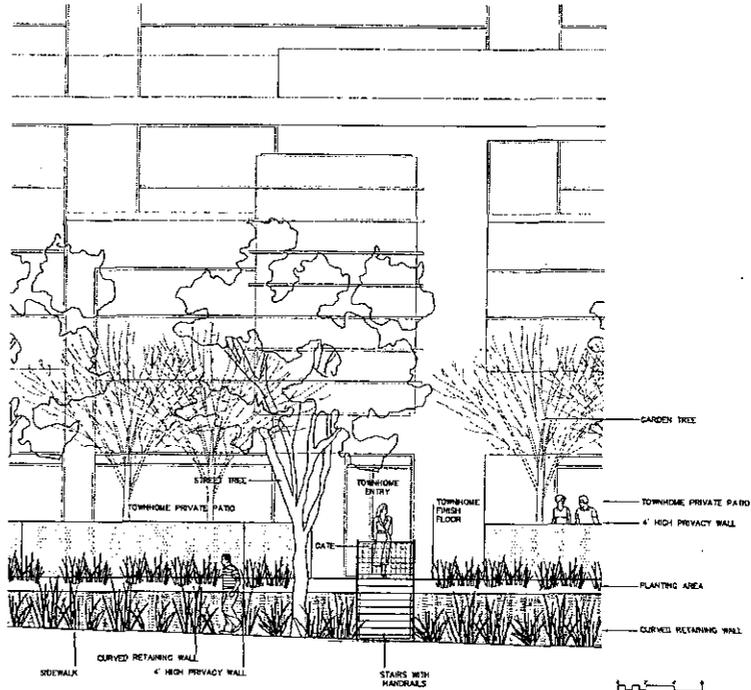
1 Landscape Calculation Diagram - Street Yard and Remaining Yard
 scale: 1" = 80'



2 Landscape Calculation Diagram - Vehicular Use Area
 scale: 1" = 80'



1 Typical Townhome Enlargement Plan
scale: 1/4" = 1'-0"



2 Typical Townhome Enlargement Elevation
scale: 1/4" = 1'-0"

ABBREVIATED PLANT LEGEND

- (V) — HEDGES, SCREENS, AND FOUNDATION PLANTING
- (II) — FORMAL PLANTING — COLOR ACCENT
- (+) — FORMAL PLANTING — TEXTURAL ACCENT
- (Hatched) — FORMAL PLANTING — GROUNDCOVER
- (Dotted) — MASSING — UPRIGHT EVERGREEN
- (Stippled) — MASSING — GROUNDCOVER
- (Vine symbol) — VINE
- (*) — ACCENT PLANT

NOTES:
1. SEE LANDSCAPE LEGEND SHEET FOR FULL PLANT LEGEND

APPLICANT
Costa Verde Hotel LLC
8520 Costa Verde Blvd., Office
San Diego, California 92122

000365

SPURLOCK POIRIER
Landscape Architects

705 Mission Street
San Diego, CA 92101
Tel: 619-594-1111
Fax: 619-594-1111

DESIGN LEAD
LP

7681 Orion Ave., Suite 200
La Jolla, California 92037
Phone: 858-458-0114
Fax: 858-458-0151

DATE	DESCRIPTION
10/18/08	Issue for preliminary plan review
11/10/08	Issue for preliminary plan review
12/10/08	Issue for preliminary plan review
1/10/09	Issue for preliminary plan review
2/10/09	Issue for preliminary plan review
3/10/09	Issue for preliminary plan review
4/10/09	Issue for preliminary plan review
5/10/09	Issue for preliminary plan review
6/10/09	Issue for preliminary plan review
7/10/09	Issue for preliminary plan review
8/10/09	Issue for preliminary plan review
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10/10/10	Issue for preliminary plan review
11/10/10	Issue for preliminary plan review
12/10/10	Issue for preliminary plan review

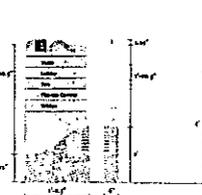
PROJECT TITLE
Monte Verde
(Costa Verde Lot 11)

DRAWING TITLE
Townhome Enlargement Plan and Elevation

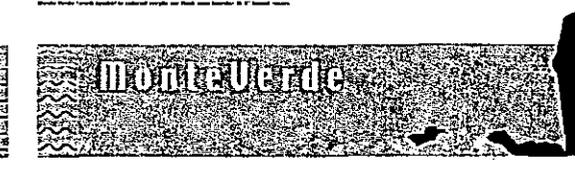
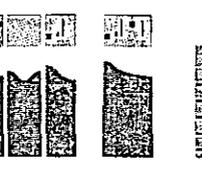
JOB # 000611	DATE June 26, 2009
DRAWN MFB	CHECKED LW - 1/10

SHEET #
L1.12

Material:
Lightweight concrete
Maximum Area:
Maximum height:
Maximum width:
Maximum depth:
Maximum length:
Maximum weight:
Maximum volume:
Maximum area:
Maximum height:
Maximum width:
Maximum depth:
Maximum length:
Maximum weight:
Maximum volume:



Material:
Lightweight concrete
Maximum Area:
Maximum height:
Maximum width:
Maximum depth:
Maximum length:
Maximum weight:
Maximum volume:
Maximum area:
Maximum height:
Maximum width:
Maximum depth:
Maximum length:
Maximum weight:
Maximum volume:



Secondary Product: Secondary Signage
Front and side elevation of sign (1) 12' x 12' x 12' (12' high, 12' wide, 12' deep) (12' x 12' x 12')

Secondary Product: Secondary Signage
Front and side elevation of sign (2) 12' x 12' x 12' (12' high, 12' wide, 12' deep) (12' x 12' x 12')



1 Draft Comprehensive Sign Plan
scale: 1" = 20'-0"

APPLICANT
Costa Verde Hotel LLC
8221 Costa Verde Blvd., Office
San Diego, California 92122

CSWONE
Strategy and Creative Rebranding
4415 Olive Street
San Diego, California 92103-1224
P 619 299-4431
F 619 299-5451
www.cswone.com
csone@csone.com

SPURLOCK POINTE
Landscape Architecture
2077 Mission Blvd.
San Diego, CA 92108
Tel: 619.594.1114
Fax: 619.594.1114

DESIGN LEAD
LLP
1901 Grand Ave., Suite 200
La Jolla, California 92037
Phone: 858-458-8114
Fax: 858-458-9121

REVISIONS

Rev.	Date	Description
1	08/01/08	Initial design review
2	08/01/08	Initial design review
3	08/01/08	Initial design review
4	08/01/08	Initial design review
5	08/01/08	Initial design review
6	08/01/08	Initial design review
7		
8		
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10		
11		
12		

PROJECT TITLE
Monte Verde
(Costa Verde, Lot 12)
8221 Costa Verde Blvd., Office
San Diego, California 92122

Draft Comprehensive Sign Plan

DATE	08/01/08
SCALE	1" = 20'-0"

SHEET #
LS1.2



Monte Verde

Costa Verde Lot 12
Costa Verde Hotel, LLC
8530 Costa Verde Boulevard - Office
San Diego, CA 92122
Chris Tang
858 320-0018

June 20, 2006

Civil Engineer:
Hunsaker & Associates
Dan Rehm / Ray Martin
619 558-4500

- Drawings:**
- C-1 Title Sheet
 - C-2 Street Cross Sections / Project Summary
 - C-3 Site Plan / Grading Plan
 - C-4 Existing Topographic Map
 - C-5 Existing Encumbrance Map
 - C-6 Proposed Easement, Dedication & Vacation Map
 - C-7 Site Cross Sections
 - C-8 Offsite Sewer Improvements / Details
 - C-9 Offsite Sewer Improvements

Landscape Architect:
Spurlock Poirier
Shannon Breathnach
619 681-0060

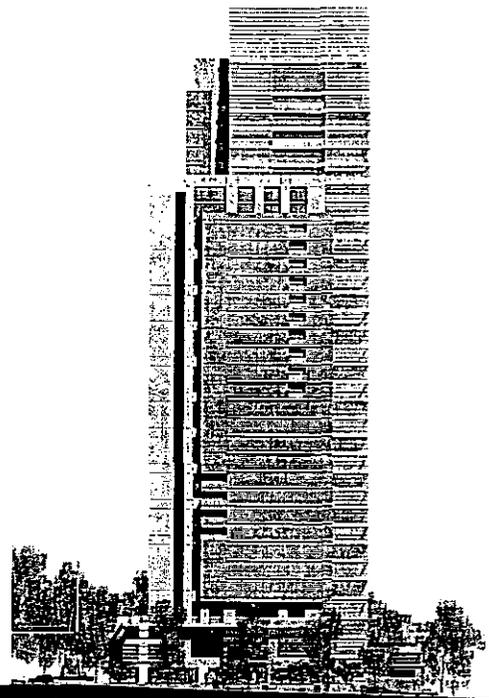
- Drawings:**
- L1.1 Design Intent and Renderings
 - L1.2 Renderings
 - L1.3 Landscape Development Plan: Ground Level
 - L1.4 Landscape Development Plan: Upper Level
 - L1.5 Landscape Legend
 - L1.6 Landscape Calculations
 - L1.7 Landscape Circulation Plan
 - L1.8 Enlargement LVD Pedestrian Bridge Landing
 - L1.9 Enlargement of Genesee Avenue Pedestrian Bridge Approach and Landing
 - L1.10 Enlargement of Existing Genesee Avenue Pedestrian Bridge Landing and Approach
 - L1.11 Townhome Enlargement Plan and Elevation
 - L1.12 Enlargement of Genesee Avenue Pedestrian Bridge Approach and Landing

Signage Design:
CWA Inc.
Calvin Woo / Gina Benzien
619 295-0431

- Drawings:**
- LS1.1 Entrance Sign Plan
 - LS1.2 Exterior Sign Plan

Architect:
Design Lead, LLP Architecture and Planning
Bansah Khejzadeh / Nozar Ravanbeck
619 459-4144

- Drawings:**
- A11 Architectural Site Plan
 - A12 Site Plan Entry Level 1
 - A13 Site Plan Level 2
 - A14 Site Plan Level 3
 - A15 Site Plan Level 4
 - A16 Site Plan Level 5
 - A17 Site Plan Level 6 to 25/28
 - A18 Site Plan Levels 26 to 28
 - A19 Site Plan Pool Levels 29/29
 - A110 Site Plan Levels 29 to 34
 - A111 Site Plan Top Levels
 - A112 Architectural Site Roof Plan
 - A113 Site Parking Plan (Level P0)
 - A114 Site Parking Plan (Level P2)
 - A115 Site Parking Plan (Level P3)
 - A116 Site Parking Plan (Level P4)
 - A117 Site Parking Plan (Level P5)
 - A118 Site Parking Plan (Level P6)
 - A2.1 Site Cross Section "A-A"
 - A2.2 Site Cross Section "B-B"
 - A3.1 Genesee Avenue Site Elevation
 - A3.2 La Jolla Village Drive Site Elevation
 - A3.3 La Jolla Village Drive Pedestrian Bridge
 - A4.1 Open Space Calculations
 - A4.2 Shadow plane
 - A4.3 Site Fire Access Plan
 - A4.4 Site Plan Utilities Connection
 - A4.5 Site Plan, Towers C and D Genesee Avenue Utilities Connection
 - A4.6 Site Plan, Towers A and B Costa Verde Utilities Connection



000369

APPLICANT
Costa Verde Hotel LLC
 8530 Costa Verde Blvd. - Office
 San Diego, California 92122

DESIGN LEAD UP

REGISTERED ARCHITECT
 C-2228
 7201 Grand Ave., Suite 200
 La Jolla, California 92037
 Phone: 619-488-1144
 Fax: 619-488-0137

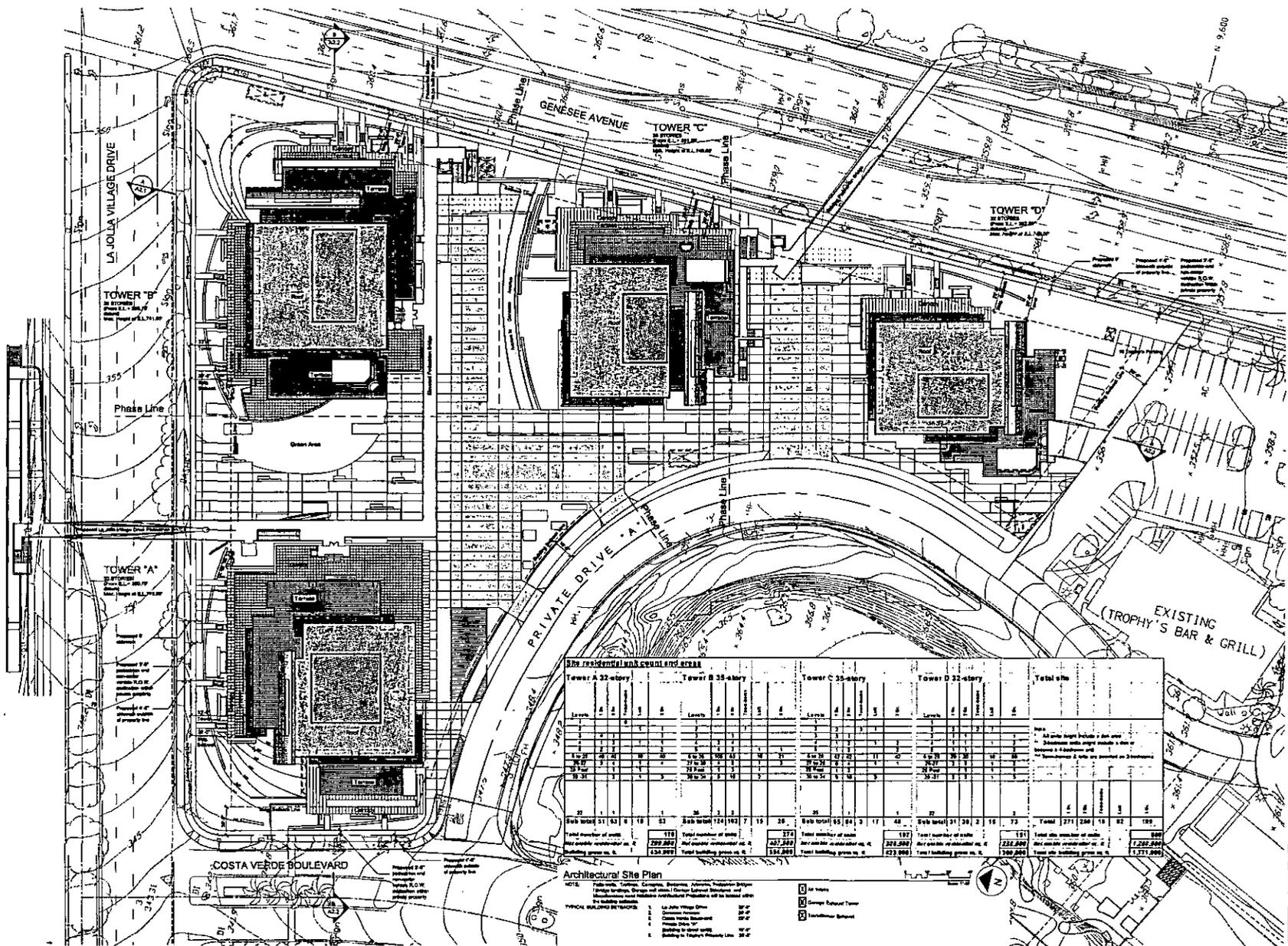
No.	Date	Description
1	10/15/11	Issued for preliminary review
2	11/15/11	Revised for preliminary review
3	12/15/11	Issued for preliminary review
4	1/15/12	Revised for preliminary review
5	2/15/12	Issued for preliminary review
6	3/15/12	Revised for preliminary review
7	4/15/12	Issued for preliminary review
8	5/15/12	Revised for preliminary review
9	6/15/12	Issued for preliminary review
10	7/15/12	Revised for preliminary review
11	8/15/12	Issued for preliminary review
12	9/15/12	Revised for preliminary review
13	10/15/12	Issued for preliminary review
14	11/15/12	Revised for preliminary review
15	12/15/12	Issued for preliminary review
16	1/15/13	Revised for preliminary review
17	2/15/13	Issued for preliminary review
18	3/15/13	Revised for preliminary review
19	4/15/13	Issued for preliminary review
20	5/15/13	Revised for preliminary review
21	6/15/13	Issued for preliminary review
22	7/15/13	Revised for preliminary review
23	8/15/13	Issued for preliminary review
24	9/15/13	Revised for preliminary review
25	10/15/13	Issued for preliminary review
26	11/15/13	Revised for preliminary review
27	12/15/13	Issued for preliminary review
28	1/15/14	Revised for preliminary review
29	2/15/14	Issued for preliminary review
30	3/15/14	Revised for preliminary review
31	4/15/14	Issued for preliminary review
32	5/15/14	Revised for preliminary review
33	6/15/14	Issued for preliminary review
34	7/15/14	Revised for preliminary review
35	8/15/14	Issued for preliminary review
36	9/15/14	Revised for preliminary review
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39	12/15/14	Issued for preliminary review
40	1/15/15	Revised for preliminary review
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42	3/15/15	Revised for preliminary review
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45	6/15/15	Issued for preliminary review
46	7/15/15	Revised for preliminary review
47	8/15/15	Issued for preliminary review
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54	3/15/16	Revised for preliminary review
55	4/15/16	Issued for preliminary review
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87	12/15/18	Issued for preliminary review
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92	5/15/19	Revised for preliminary review
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94	7/15/19	Revised for preliminary review
95	8/15/19	Issued for preliminary review
96	9/15/19	Revised for preliminary review
97	10/15/19	Issued for preliminary review
98	11/15/19	Revised for preliminary review
99	12/15/19	Issued for preliminary review
100	1/15/20	Revised for preliminary review

PROJECT TITLE
Monte Verde
 (Costa Verde Lot 1E)

ISSUING TITLE
Architectural Site Plan

DATE: February 11, 2020

SHEET #
A1.1

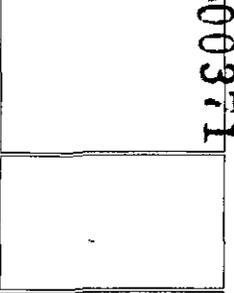


Site Inventory with Count and Area

Tower A 32-story				Tower B 35-story				Tower C 35-story				Tower D 32-story				Total site				
Level	A	B	C	Total	A	B	C	D												
1 to 31	1	1	1	1 to 34	1	1	1	1 to 34	1	1	1	1 to 31	1	1	1	121	1	1	1	1
32	1	1	1	35	1	1	1	35	1	1	1	32	1	1	1	121	1	1	1	1
33	1	1	1	36	1	1	1	36	1	1	1	33	1	1	1	121	1	1	1	1
34	1	1	1	37	1	1	1	37	1	1	1	34	1	1	1	121	1	1	1	1
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36	1	1	1	39	1	1	1	39	1	1	1	36	1	1	1	121	1	1	1	1
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44	1	1	1	47	1	1	1	47	1	1	1	44	1	1	1	121	1	1	1	1
45	1	1	1	48	1	1	1	48	1	1	1	45	1	1	1	121	1	1	1	1
46	1	1	1	49	1	1	1	49	1	1	1	46	1	1	1	121	1	1	1	1
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81	1	1	1	84	1	1	1	84	1	1	1	81	1	1	1	121	1	1	1	1</

000371

APPLICANT
Costa Verde Hotel LLC
 8500 Costa Verde Blvd., Suite
 San Diego, California 92122



DESIGN LEAD

REGISTERED ARCHITECT
 State of California
 No. 10000

1001 Olive Ave, Suite 200
 La Jolla, California 92037
 Tel: 858-498-4144
 Fax: 858-498-4131

REVISIONS

No.	Date	Description
1	08/19/2008	Issue for environmental review
2	08/20/2008	Issue for environmental review
3	08/20/2008	Issue for environmental review
4	08/20/2008	Issue for environmental review
5	08/20/2008	Issue for environmental review
6	08/20/2008	Issue for environmental review
7	08/20/2008	Issue for environmental review
8	08/20/2008	Issue for environmental review
9	08/20/2008	Issue for environmental review
10	08/20/2008	Issue for environmental review
11	08/20/2008	Issue for environmental review
12	08/20/2008	Issue for environmental review
13	08/20/2008	Issue for environmental review
14	08/20/2008	Issue for environmental review
15	08/20/2008	Issue for environmental review
16	08/20/2008	Issue for environmental review
17	08/20/2008	Issue for environmental review
18	08/20/2008	Issue for environmental review
19	08/20/2008	Issue for environmental review
20	08/20/2008	Issue for environmental review

PROJECT FIELD
Monte Verde
 (Costa Verde Lot 15)

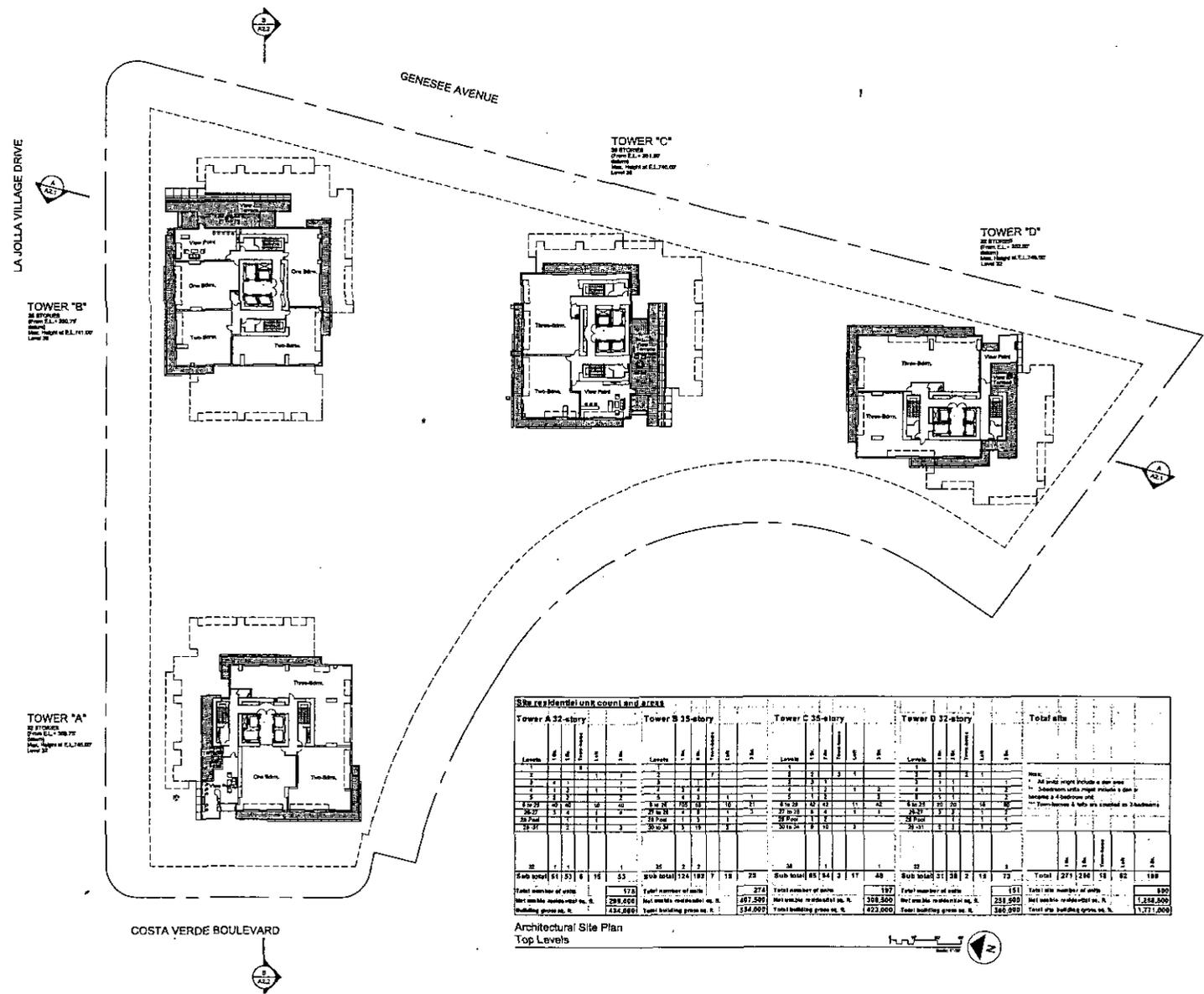
PROJECT TITLE
**Architectural Site Plan
 Level 2**

DATE: February 17, 2008
 SCALE: 1"=40'

SHEET #
A1.3

The residential unit count and areas

Tower A 32-story				Tower B 35-story				Tower C 35-story				Tower D 32-story				Total site				
Level	A1	A2	A3	Level	B1	B2	B3	Level	C1	C2	C3	Level	D1	D2	D3	Total	A	B	C	D
1-31	1	1	1	1-34	1	1	1	1-34	1	1	1	1-31	1	1	1	124	124	124	124	124
32	1	1	1	35	1	1	1	35	1	1	1	32	1	1	1	124	124	124	124	124
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81	1	1	1	84	1	1	1	84	1	1	1	81	1	1	1	124	124	124	124	124
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90	1	1	1	93	1	1	1	93	1	1	1	90	1	1	1	124	124	124	124	124
91	1	1	1	94	1	1	1	94	1	1	1	91	1	1	1	124	124	124	124	124
92	1	1	1	95	1	1	1	95	1	1	1	92	1	1	1	124	124	124	124	124
93	1	1	1	96	1	1	1	96	1	1	1	93	1	1	1	124	124	1		



LA JOLLA VILLAGE DRIVE

GENESEE AVENUE

COSTA VERDE BOULEVARD

TOWER "B"
34 STORIES
Overall LL - 281.00'
Overall HL - 281.00'
Top of E.L. 281.00'

TOWER "C"
34 STORIES
Overall LL - 281.00'
Overall HL - 281.00'
Top of E.L. 281.00'

TOWER "D"
34 STORIES
Overall LL - 281.00'
Overall HL - 281.00'
Top of E.L. 281.00'

TOWER "A"
34 STORIES
Overall LL - 281.00'
Overall HL - 281.00'
Top of E.L. 281.00'

Site residential unit count and area

Tower A 32-story				Tower B 35-story				Tower C 35-story				Tower D 32-story				Total site			
Levels	# of Units	Area (sq. ft.)	Area (sq. ft.)	Levels	# of Units	Area (sq. ft.)	Area (sq. ft.)	Levels	# of Units	Area (sq. ft.)	Area (sq. ft.)	Levels	# of Units	Area (sq. ft.)	Area (sq. ft.)	Total	# of Units	Area (sq. ft.)	Area (sq. ft.)
1	1	1,000	1,000	1	1	1,000	1,000	1	1	1,000	1,000	1	1	1,000	1,000	4	4	4,000	4,000
2	2	2,000	2,000	2	2	2,000	2,000	2	2	2,000	2,000	2	2	2,000	2,000	8	8	8,000	8,000
3	3	3,000	3,000	3	3	3,000	3,000	3	3	3,000	3,000	3	3	3,000	3,000	12	12	12,000	12,000
4	4	4,000	4,000	4	4	4,000	4,000	4	4	4,000	4,000	4	4	4,000	4,000	16	16	16,000	16,000
5	5	5,000	5,000	5	5	5,000	5,000	5	5	5,000	5,000	5	5	5,000	5,000	20	20	20,000	20,000
6	6	6,000	6,000	6	6	6,000	6,000	6	6	6,000	6,000	6	6	6,000	6,000	24	24	24,000	24,000
7	7	7,000	7,000	7	7	7,000	7,000	7	7	7,000	7,000	7	7	7,000	7,000	28	28	28,000	28,000
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9	9	9,000	9,000	9	9	9,000	9,000	9	9	9,000	9,000	9	9	9,000	9,000	36	36	36,000	36,000
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11	11	11,000	11,000	11	11	11,000	11,000	11	11	11,000	11,000	11	11	11,000	11,000	44	44	44,000	44,000
12	12	12,000	12,000	12	12	12,000	12,000	12	12	12,000	12,000	12	12	12,000	12,000	48	48	48,000	48,000
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14	14	14,000	14,000	14	14	14,000	14,000	14	14	14,000	14,000	14	14	14,000	14,000	56	56	56,000	56,000
15	15	15,000	15,000	15	15	15,000	15,000	15	15	15,000	15,000	15	15	15,000	15,000	60	60	60,000	60,000
16	16	16,000	16,000	16	16	16,000	16,000	16	16	16,000	16,000	16	16	16,000	16,000	64	64	64,000	64,000
17	17	17,000	17,000	17	17	17,000	17,000	17	17	17,000	17,000	17	17	17,000	17,000	68	68	68,000	68,000
18	18	18,000	18,000	18	18	18,000	18,000	18	18	18,000	18,000	18	18	18,000	18,000	72	72	72,000	72,000
19	19	19,000	19,000	19	19	19,000	19,000	19	19	19,000	19,000	19	19	19,000	19,000	76	76	76,000	76,000
20	20	20,000	20,000	20	20	20,000	20,000	20	20	20,000	20,000	20	20	20,000	20,000	80	80	80,000	80,000
21	21	21,000	21,000	21	21	21,000	21,000	21	21	21,000	21,000	21	21	21,000	21,000	84	84	84,000	84,000
22	22	22,000	22,000	22	22	22,000	22,000	22	22	22,000	22,000	22	22	22,000	22,000	88	88	88,000	88,000
23	23	23,000	23,000	23	23	23,000	23,000	23	23	23,000	23,000	23	23	23,000	23,000	92	92	92,000	92,000
24	24	24,000	24,000	24	24	24,000	24,000	24	24	24,000	24,000	24	24	24,000	24,000	96	96	96,000	96,000
25	25	25,000	25,000	25	25	25,000	25,000	25	25	25,000	25,000	25	25	25,000	25,000	100	100	100,000	100,000
26	26	26,000	26,000	26	26	26,000	26,000	26	26	26,000	26,000	26	26	26,000	26,000	104	104	104,000	104,000
27	27	27,000	27,000	27	27	27,000	27,000	27	27	27,000	27,000	27	27	27,000	27,000	108	108	108,000	108,000
28	28	28,000	28,000	28	28	28,000	28,000	28	28	28,000	28,000	28	28	28,000	28,000	112	112	112,000	112,000
29	29	29,000	29,000	29	29	29,000	29,000	29	29	29,000	29,000	29	29	29,000	29,000	116	116	116,000	116,000
30	30	30,000	30,000	30	30	30,000	30,000	30	30	30,000	30,000	30	30	30,000	30,000	120	120	120,000	120,000
31	31	31,000	31,000	31	31	31,000	31,000	31	31	31,000	31,000	31	31	31,000	31,000	124	124	124,000	124,000
32	32	32,000	32,000	32	32	32,000	32,000	32	32	32,000	32,000	32	32	32,000	32,000	128	128	128,000	128,000
33	33	33,000	33,000	33	33	33,000	33,000	33	33	33,000	33,000	33	33	33,000	33,000	132	132	132,000	132,000
34	34	34,000	34,000	34	34	34,000	34,000	34	34	34,000	34,000	34	34	34,000	34,000	136	136	136,000	136,000
Sub total	132	1,320,000	1,320,000	136	1,360,000	1,360,000	1,360,000	132	1,320,000	1,320,000	1,320,000	128	1,280,000	1,280,000	1,280,000	528	5,280,000	5,280,000	5,280,000
Total number of units	132	Total number of units		136	Total number of units		132	Total number of units		128	Total number of units		528	Total number of units		528	Total number of units		528
Net usable residential sq. ft.	298,800	Net usable residential sq. ft.		487,500	Net usable residential sq. ft.		358,800	Net usable residential sq. ft.		251,500	Net usable residential sq. ft.		1,396,600	Net usable residential sq. ft.		1,396,600	Net usable residential sq. ft.		1,396,600
Building gross sq. ft.	434,880	Building gross sq. ft.		654,960	Building gross sq. ft.		422,080	Building gross sq. ft.		385,920	Building gross sq. ft.		1,500,840	Building gross sq. ft.		1,500,840	Building gross sq. ft.		1,500,840

Architectural Site Plan
Top Levels



APPLICANT
Costa Verde Hotel LLC
8500 Costa Verde Blvd. - Office
San Diego, California 92122

000379

DESIGN LEAD
L.P.

7981 Grand Ave., Suite 300
La Jolla, California 92037
Ph: 858-438-0114
Fax: 858-438-0151

Item	Date
1. Issued for submittal to owner	March 09 2005
2. Issued for submittal to City	September 09 2005
3. Issued for submittal to City	December 09 2005
4. Issued for submittal to City	November 10 2005
5. Issued for submittal to City	June 17 2006
6. Issued for submittal to City	November 01 2006
7. Issued for submittal to City	February 17 2009

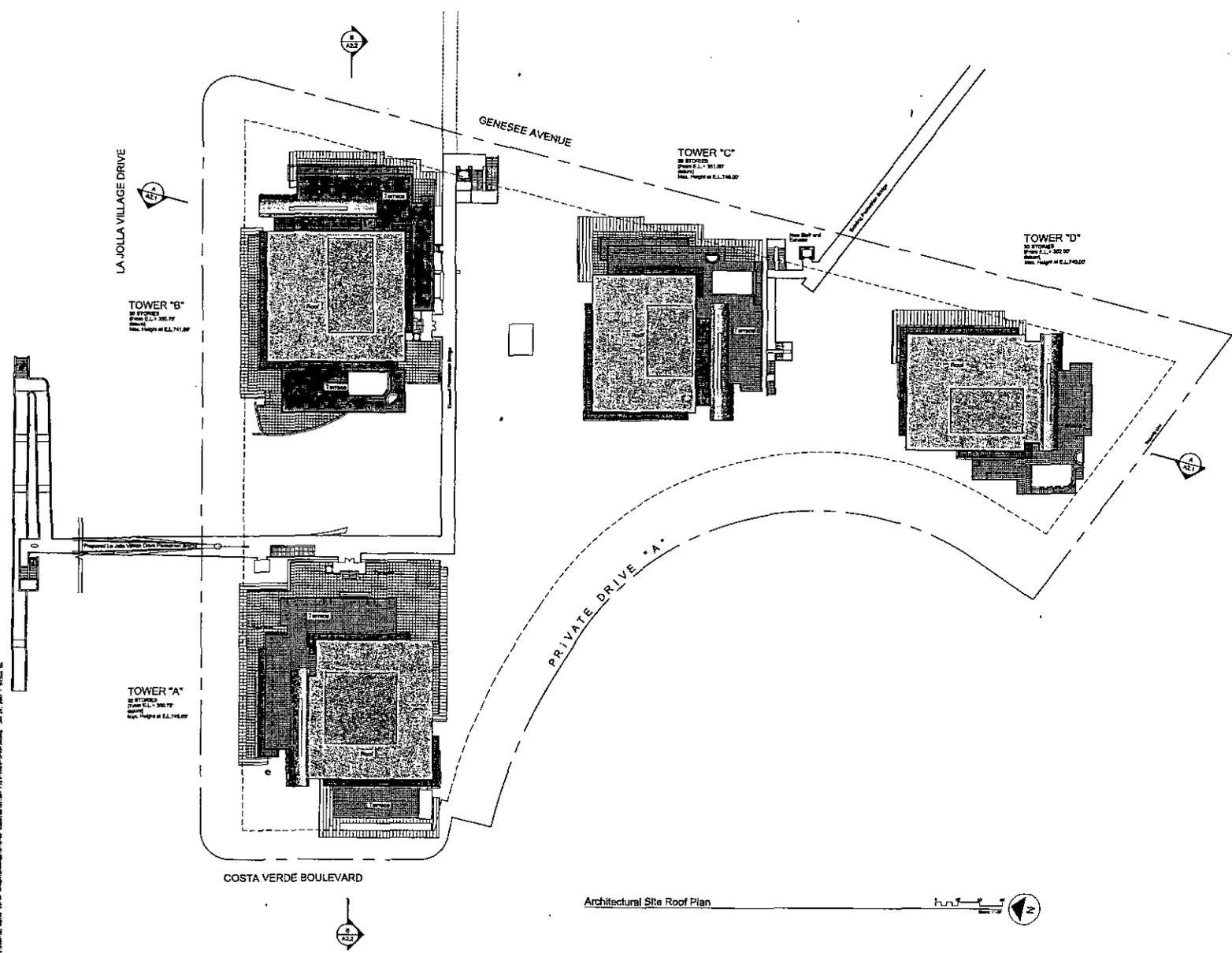
PROJECT TITLE
Monte Verde
(Costa Verde Lot 10)
8500 Costa Verde Blvd., Office
San Diego, California 92122

DATE
February 17, 2009

SCALE
1" = 30'

SHEET #
A1.11

000380



APPLICANT
Costa Verde Hotel LLC
 8530 Costa Verde Blvd. - Office
 San Diego, California 92122

DESIGN LEAD UP

 19871 Grand Ave., Suite 200
 La Jolla, California 92037
 Phone: 602-438-8114
 Fax: 602-438-0171

REVISIONS

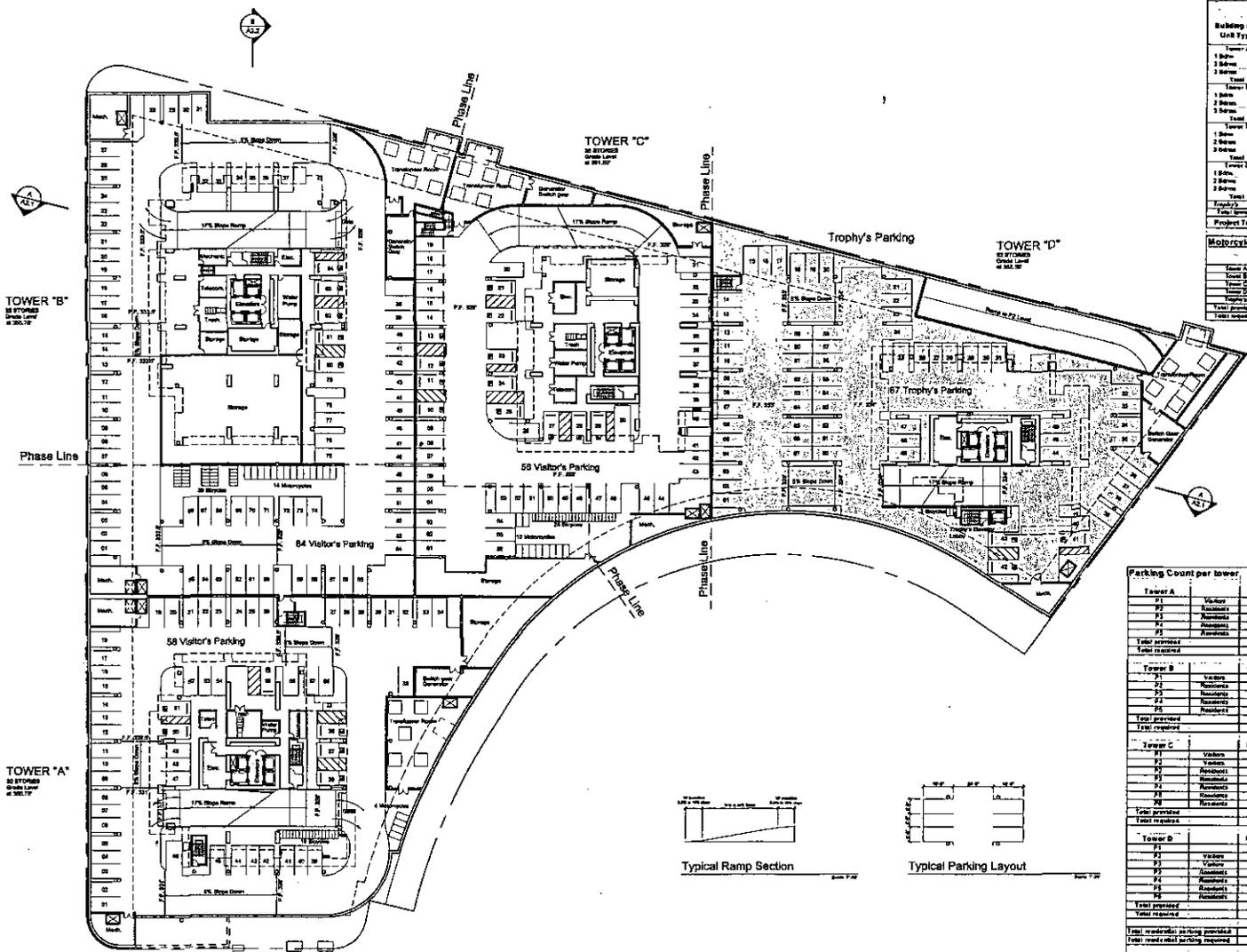
No.	Date	Description
1	March 04, 2009	Issued for pre-application review
2	September 08, 2009	Issued for resubmission to City
3	December 15, 2009	Issued for resubmission to City
4	November 18, 2009	Issued for resubmission to City
5	June 17, 2010	Issued for resubmission to City
6	November 21, 2010	Issued for resubmission to City
7	February 17, 2011	Issued for resubmission to City
8		
9		
10		
11		
12		

PROJECT TITLE
Monte Verde
 (Costa Verde Lot 12)

DRAWING TITLE
Architectural Site Roof Plan

DATE February 17, 2011	SCALE 1" = 30'
---------------------------	-------------------

SHEET #
A1.12



Architectural Site Parking Plan
Level P1

Project required parking count

Building and User Type	Total Units	Number of Cars Required
Tower A		
1 Bed	81	86
2 Bed	74	127
3 Bed	33	132
Total	178	345
Tower B		
1 Bed	127	222
2 Bed	125	278
3 Bed	32	121
Total	284	621
Tower C		
1 Bed	66	114
2 Bed	44	188
3 Bed	44	159
Total	154	461
Tower D		
1 Bed	31	54
2 Bed	47	108
3 Bed	75	183
Total	153	345
Trophy's	67	67
Visitor's	295	295
Project Total	898	1,822

Motorcycle & bicycle count

Building and User Type	Motorcycle	Bicycle
Tower A	10	10
Tower B	10	10
Tower C	10	10
Trophy's	10	10
Visitor's	10	10
Total	50	50

Parking Count per tower

Tower	Visitor	Regular	Accessible	Total
Tower A				
P1	Visitor	43	0	43
P2	Visitor	75	0	75
P3	Visitor	28	0	28
P4	Visitor	36	0	36
P5	Visitor	6	0	6
P6	Visitor	0	0	0
Total provided	248	12	0	260
Total required	378	12	0	390
Tower B				
P1	Visitor	10	0	10
P2	Visitor	126	0	126
P3	Visitor	120	0	120
P4	Visitor	120	0	120
P5	Visitor	122	0	122
P6	Visitor	87	0	87
Total provided	665	12	0	677
Total required	624	12	0	636
Tower C				
P1	Visitor	44	0	44
P2	Visitor	3	0	3
P3	Visitor	42	0	42
P4	Visitor	71	0	71
P5	Visitor	72	0	72
P6	Visitor	72	0	72
P7	Visitor	19	0	19
Total provided	411	12	0	423
Total required	411	12	0	423
Tower D				
P1	Visitor	1	0	1
P2	Visitor	2	0	2
P3	Visitor	2	0	2
P4	Visitor	24	0	24
P5	Visitor	27	0	27
P6	Visitor	17	0	17
P7	Visitor	19	0	19
P8	Visitor	2	0	2
Total provided	100	12	0	112
Total required	153	12	0	165
Trophy's (Trophy's)				
Spa	10	0	0	10
P1	10	0	0	10
P2	10	0	0	10
Total provided	30	0	0	30
Total required	67	0	0	67
Visitor's				
Total visitor provided	1,027	32	0	1,059
Total visitor required at 10%	1,027	32	0	1,059
Grand total provided	1,822	32	0	1,854
Grand total required	1,822	32	0	1,854

APPLICANT
Costa Verde Hotel LLC
8230 Costa Verde Blvd. - Office
San Diego, California 92122

DESIGN LEAD
L.P.
7951 Grand Ave., Suite 200
La Jolla, California 92037
Ph: (858) 541-1144
Fax: (858) 458-0141

PROJECT INFO

Issue	Date
1. Issued for conceptual review	March 04, 2008
2. Issued for architectural to City	September 08, 2008
3. Issued for mechanical to City	December 15, 2008
4. Issued for electrical to City	November 04, 2009
5. Issued for mechanical to City	January 17, 2009
6. Issued for mechanical to City	November 21, 2008
7. Issued for mechanical to City	February 17, 2009

PROJECT INFO

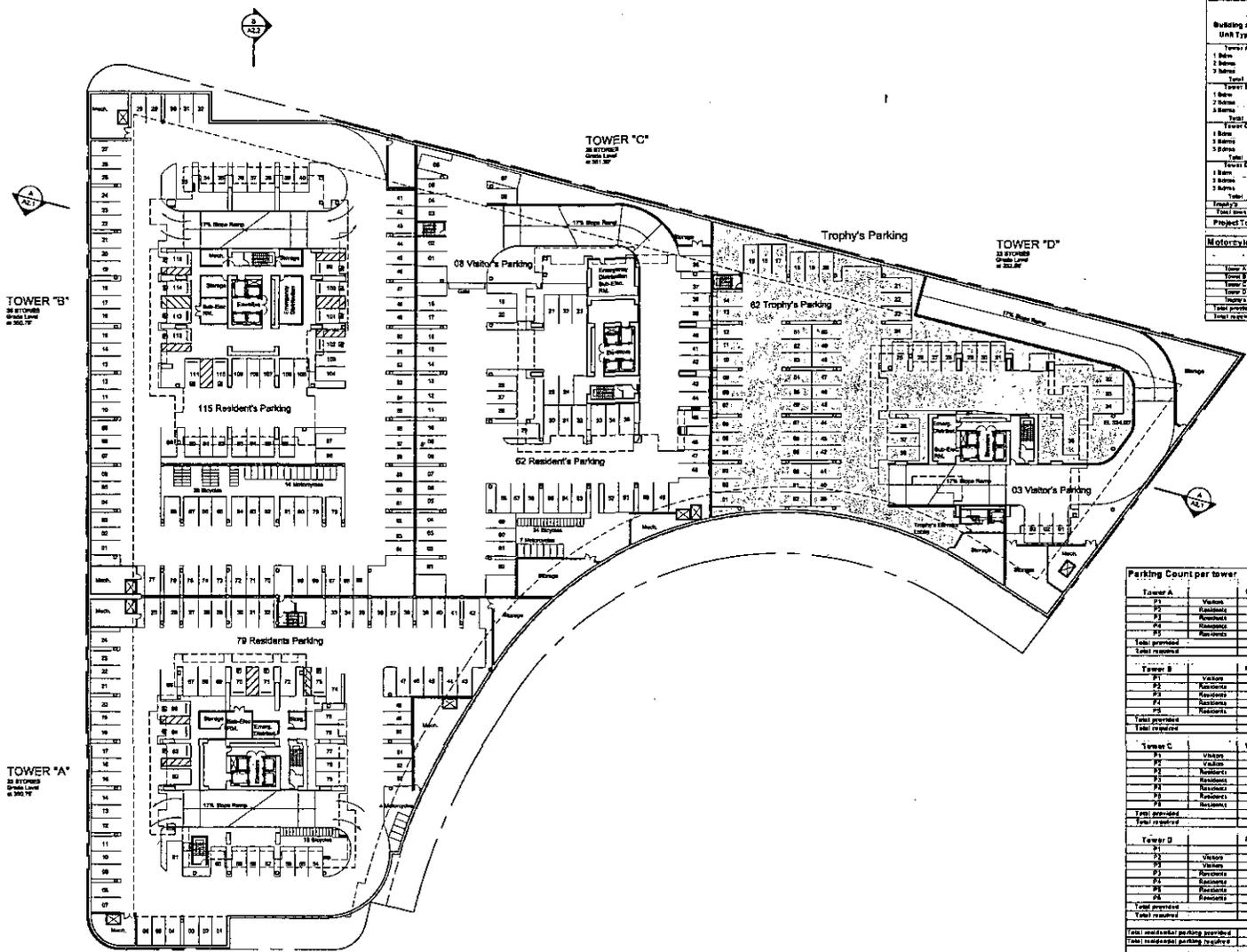
Monte Verde
(Costa Verde Lot 12)
San Diego, California 92122

ISSUING TITLE
Architectural Site Parking Plan
Level P1

DATE: February 17, 2009
SCALE: 1/8" = 1'-0"

SHEET #
A1.13

000382



Architectural Site Parking Plan Level P2

Project required parking count

Building and UAR Type	Total Units	Number of Cars Required
Tower A		
1 Bed	81	81
2 Bed	74	147
3 Bed	55	165
Total	310	393
Tower B		
1 Bed	127	127
2 Bed	122	244
3 Bed	29	87
Total	278	458
Tower C		
1 Bed	85	85
2 Bed	84	168
3 Bed	48	144
Total	217	397
Tower D		
1 Bed	31	31
2 Bed	47	94
3 Bed	25	75
Total	103	200
Visitor		
Trophy	151	151
Total	151	151
Project Total	849	1,832

Motorcycle & bicycle count

Building and UAR Type	Motorcycle	Bicycle
Tower A		
1 Bed	16	16
2 Bed	38	38
3 Bed	28	28
Total	82	82
Tower B		
1 Bed	25	25
2 Bed	50	50
3 Bed	12	12
Total	87	87
Tower C		
1 Bed	17	17
2 Bed	17	17
3 Bed	9	9
Total	43	43
Tower D		
1 Bed	6	6
2 Bed	9	9
3 Bed	5	5
Total	20	20
Visitor		
Trophy	151	151
Total	151	151

Parking Counter per tower

Tower	UAR Type	Regular	Accessible	Total
Tower A	P1 Visitors	43	0	43
	P2 Residents	75	0	75
	P3 Residents	55	0	55
	P4 Residents	15	0	15
	P5 Residents	12	0	12
Total provided		200	0	200
Total required		278	0	278
Tower B	P1 Visitors	127	0	127
	P2 Residents	122	0	122
	P3 Residents	29	0	29
	P4 Residents	12	0	12
	P5 Residents	12	0	12
Total provided		200	0	200
Total required		278	0	278
Tower C	P1 Visitors	85	0	85
	P2 Residents	84	0	84
	P3 Residents	48	0	48
	P4 Residents	17	0	17
	P5 Residents	17	0	17
Total provided		251	0	251
Total required		217	0	217
Tower D	P1 Visitors	31	0	31
	P2 Residents	47	0	47
	P3 Residents	25	0	25
	P4 Residents	9	0	9
	P5 Residents	9	0	9
Total provided		111	0	111
Total required		103	0	103
Total provided		511	0	511
Total required		849	0	849

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

Tower D (Trophy)

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

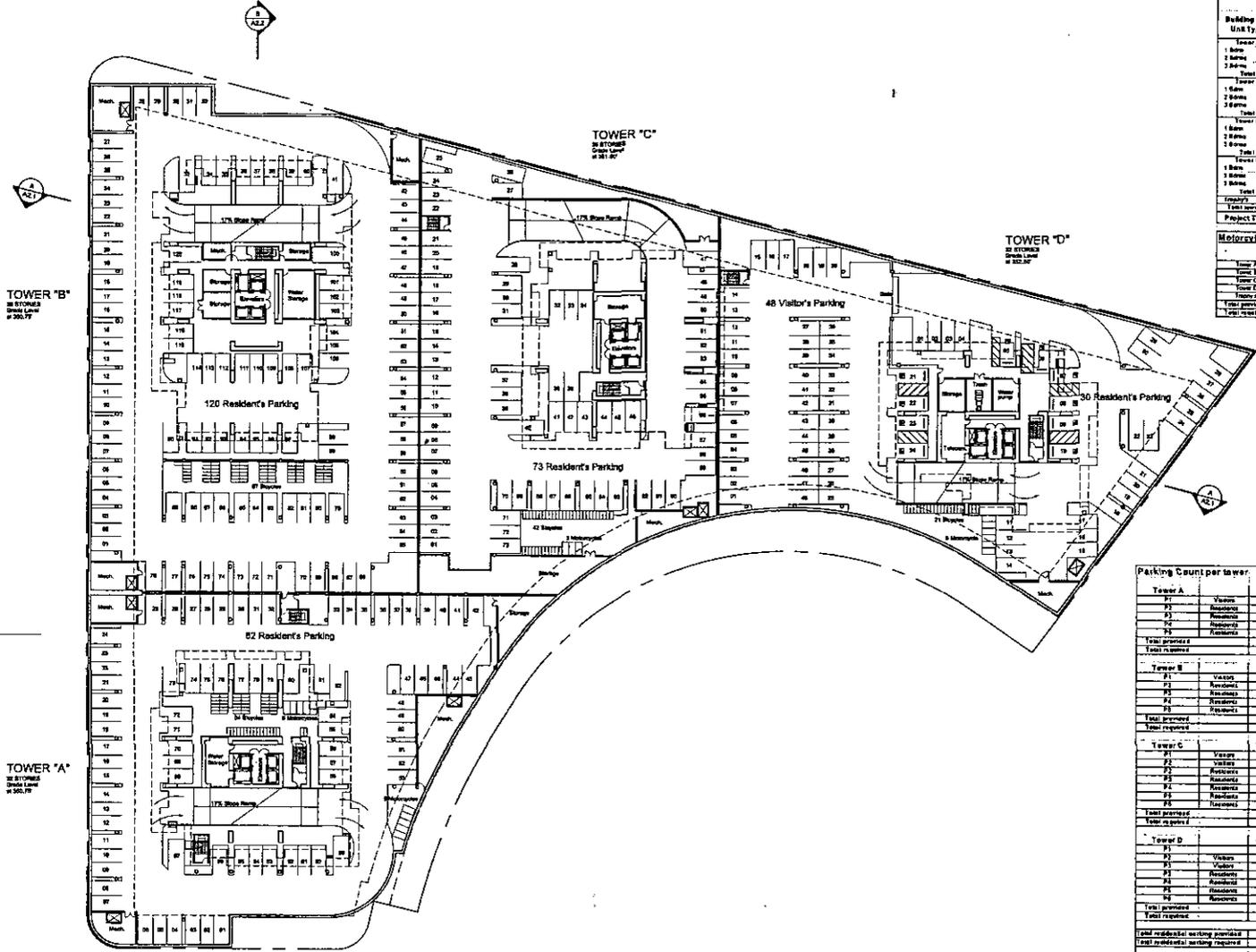
UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

UAR Type	Regular	Accessible	Total
UAR 1	151	0	151
UAR 2	151	0	151
Total provided	302	0	302
Total required	299	3	302

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000383



Architectural Site Parking Plan Level P3

Building and Unit Type	Total Units	Number of Cars Required
Tower A		
1 Bed	81	81
2 Bed	74	147
3 Bed	53	159
Total	208	387
Tower B		
1 Bed	127	127
2 Bed	122	243
3 Bed	76	228
Total	325	600
Tower C		
1 Bed	82	82
2 Bed	64	128
3 Bed	46	138
Total	192	348
Tower D		
1 Bed	31	31
2 Bed	47	94
3 Bed	73	219
Total	151	344
Visitor's		
Total tower A		387
Total tower B		600
Total tower C		348
Total tower D		344
Total required		1,679

Category	Motorcycle	Bicycle
Tower A	38	139
Tower B	127	441
Tower C	82	287
Tower D	31	107
Visitor's	10	35
Total provided	288	999
Total required	232	807

Tower	Category	Required	Accountable	Total
Tower A	Visitor	10	0	10
	Resident	73	0	73
	Resident	12	0	12
	Resident	13	0	13
	Resident	13	0	13
Total provided		110	0	110
Total required		110	0	110
Tower B	Visitor	127	0	127
	Resident	122	0	122
	Resident	120	0	120
	Resident	136	0	136
	Resident	122	0	122
Total provided		627	0	627
Total required		627	0	627
Tower C	Visitor	82	0	82
	Visitor	64	0	64
	Resident	46	0	46
	Resident	73	0	73
	Resident	73	0	73
Total provided		218	0	218
Total required		218	0	218
Tower D	Visitor	31	0	31
	Visitor	47	0	47
	Resident	14	0	14
	Resident	13	0	13
	Resident	13	0	13
Total provided		118	0	118
Total required		118	0	118
Tower B (Trashy)				
Trash	10	0	10	
Visitor	14	0	14	
Resident	13	0	13	
Total provided		37	0	37
Total required		37	0	37
Grand total provided				
		1,602	0	1,602
Grand total required				
		1,602	0	1,602

APPLICANT
Costa Verde Hotel LLC
 8500 Costa Verde Blvd., Office
 San Diego, California 92122

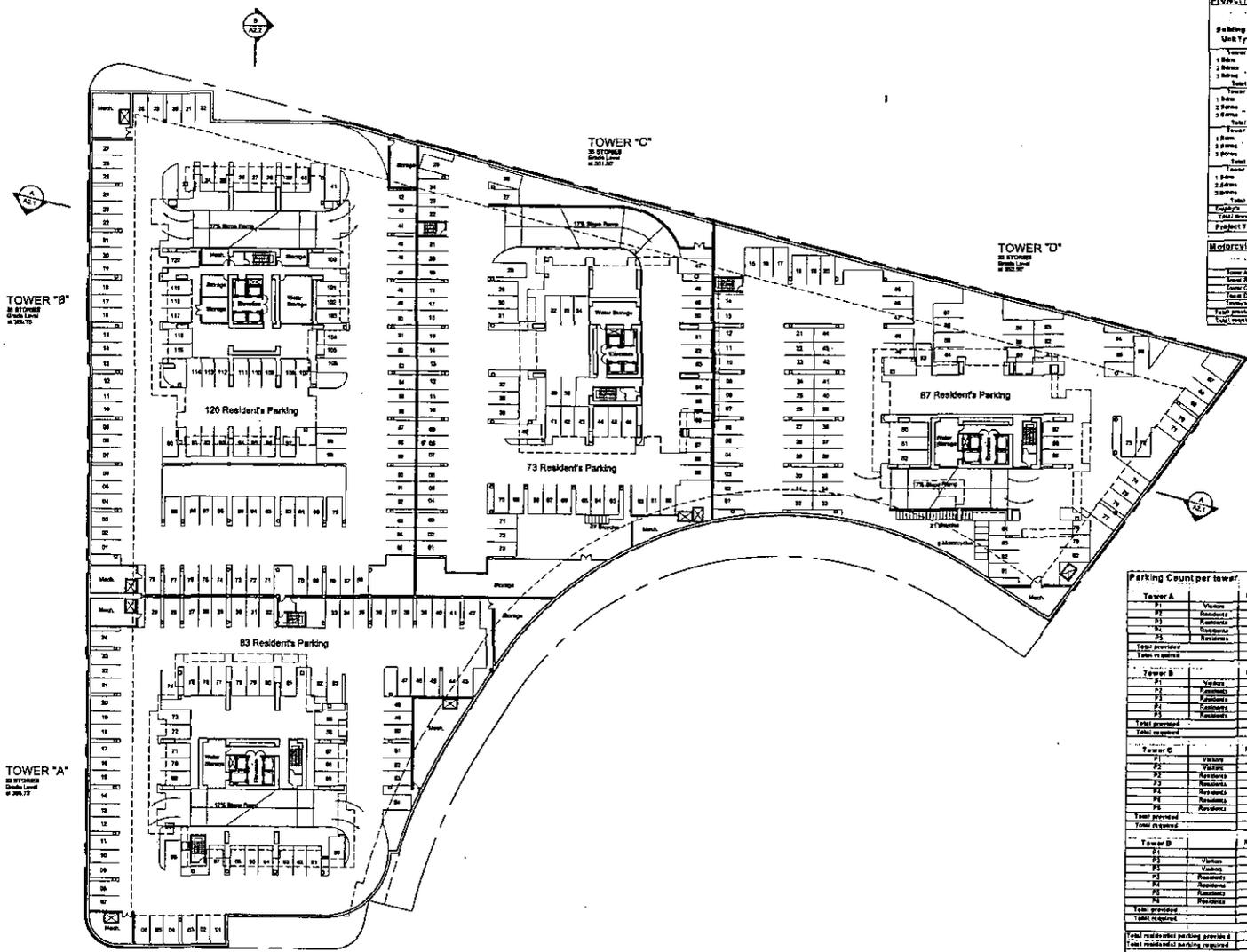
DESIGN LEAD
 2781 Chardonnay, Suite 209
 La Jolla, California 92037
 Tel: 858-458-8114
 Fax: 858-458-8131

PROJECT SHEET
 Project No: 000383
 Date: February 11, 2008
 Job # 800-000
 Scale: 1" = 10'

Architectural Site Parking Plan Level P3

SHEET # A1.15

000384



Architectural Site Parking Plan Level P4

Project required parking count

Building and Stack Type	Total Units	Number of Cars Required
Tower A		
1 Bed	51	86
2 Bed	74	107
3 Bed	53	120
Total	178	313
Tower B		
1 Bed	173	302
2 Bed	102	153
3 Bed	26	63
Total	299	518
Tower C		
1 Bed	46	74
2 Bed	44	66
3 Bed	46	112
Total	136	252
Tower D		
1 Bed	31	54
2 Bed	47	70
3 Bed	73	152
Total	151	276
Project's Total Tower B		118
Project Total	806	1,852

Motorcycle & bicycle count

Building and Stack Type	Motorcycle	Bicycle
Tower A	14	26
Tower B	20	37
Tower C	20	37
Tower D	14	26
Total provided	68	126
Total required	121	207
Deficiency	53	81

Parking Count per tower:

Tower	Category	Regular	Accessable	Total
Tower A	Vehicles	87	0	87
	Resident	83	0	83
	Visitor	4	0	4
	Accessable	0	0	0
	Resident	0	0	0
Total provided		174	0	174
Total required		178	0	178
Tower B	Vehicles	120	0	120
	Resident	120	0	120
	Visitor	0	0	0
	Accessable	0	0	0
	Resident	0	0	0
Total provided		120	0	120
Total required		120	0	120
Tower C	Vehicles	73	0	73
	Resident	73	0	73
	Visitor	0	0	0
	Accessable	0	0	0
	Resident	0	0	0
Total provided		73	0	73
Total required		73	0	73
Tower D	Vehicles	87	0	87
	Resident	87	0	87
	Visitor	0	0	0
	Accessable	0	0	0
	Resident	0	0	0
Total provided		87	0	87
Total required		87	0	87
Total provided		411	0	411
Total required		411	0	411
Total resident parking provided		1,820	49	1,869
Total resident parking required		1,820	49	1,869
Tower D (Trophy's)				
Guest	82	0	82	
Visitor	0	0	0	
Total provided	82	0	82	
Total required	82	0	82	
Total visitors provided			82	
Total visitors required at 1%			29	
Grand total provided		1,820	57	1,877
Grand total required		1,820	57	1,877

APPLICANT
Costa Verde Hotel LLC
 8550 Costa Verde Blvd - Office
 San Diego, California 92122

DESIGN LEAD
 7881 Grand Ave, Suite 200
 La Jolla, California 92037
 Ph: 858-439-4114
 Fax: 858-439-4131

REVISIONS:

No.	Date	Description
1	March 28, 2008	Issued for construction review
2	November 20, 2008	Issued for construction in City
3	December 10, 2008	Issued for construction in City
4	November 16, 2008	Issued for construction in City
5	June 17, 2009	Issued for construction in City
6	November 21, 2009	Issued for construction in City
7	January 17, 2009	Issued for construction in City

PROJECT TITLE
Monte Verde
 (Costa Verde Lot 12)

PROJECT FILE #
 8550 Costa Verde Blvd - Office
 San Diego, California 92122

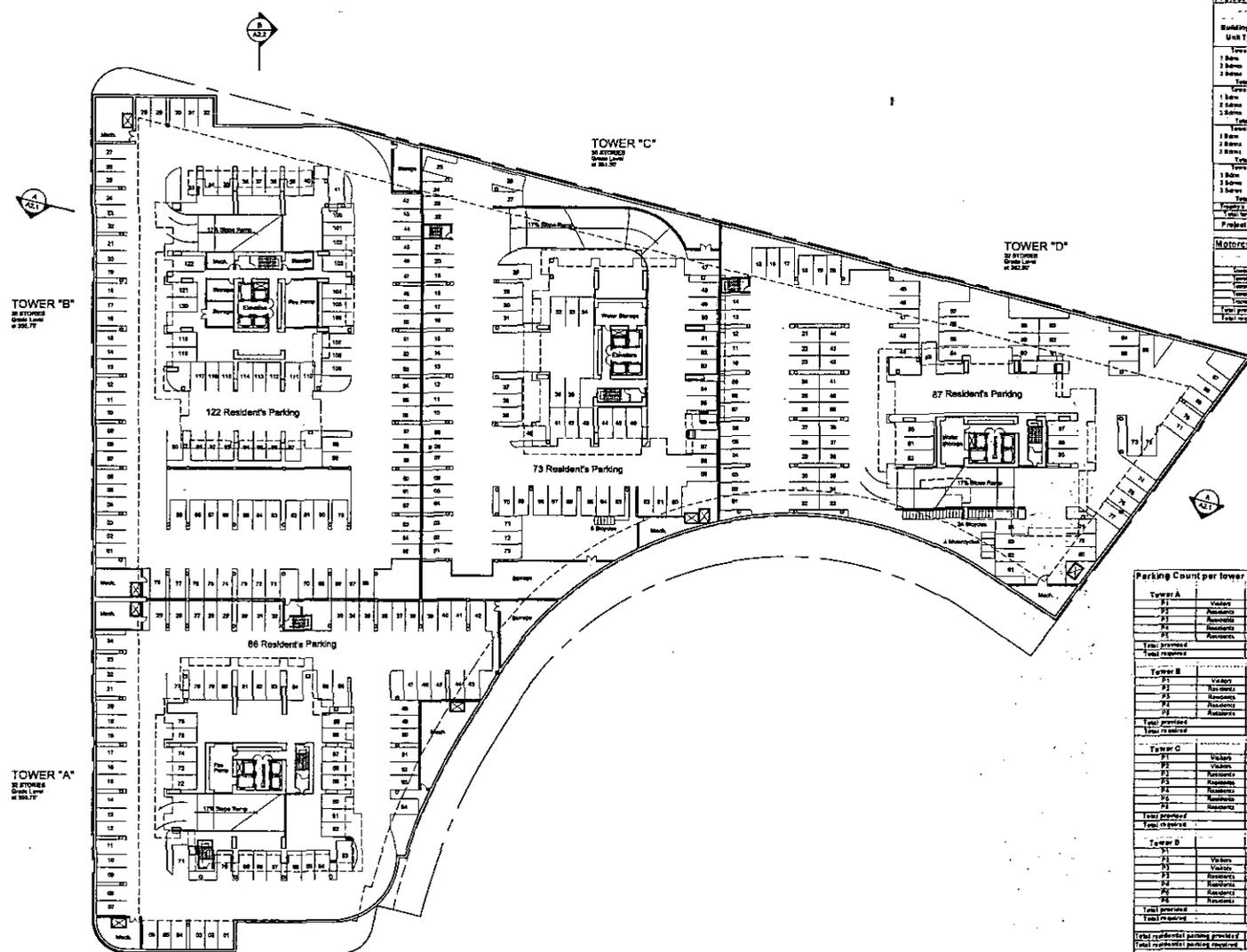
PROJECT TITLE
Architectural Site Parking Plan Level P4

DATE
 February 15, 2008

SCALE
 1" = 10'

SHEET #
A1.16

000385



Architectural Site Parking Plan Level P5

Proposed parking count		
Building and Unit Type	Total Units	Number of Cars Required
Tower A		
1 Bed	31	66
2 Bed	24	52
3 Bed	53	120
Total	108	238
Tower B		
1 Bed	127	273
2 Bed	122	270
3 Bed	26	57
Total	275	600
Tower C		
1 Bed	80	174
2 Bed	54	118
3 Bed	48	106
Total	182	398
Tower D		
1 Bed	31	66
2 Bed	27	58
3 Bed	73	160
Total	131	284
Proposed Total	694	1,524

Motorist & bicycle count		
	Motorist	Bicycle
Tower A	18	13
Tower B	112	81
Tower C	23	17
Tower D	9	7
Total	162	118

APPLICANT
Costa Verde Hotel LLC
 8830 Costa Verde Blvd., Office
 San Diego, California 92122



Parking Count per tower			
Tower	Vehicle	Regular	Accessible
Tower A			
PS	Residential	73	0
PS	Residential	0	0
PS	Residential	0	0
Total provided	Residential	73	0
Total required		173	0
Tower B			
PS	Residential	122	0
PS	Residential	0	0
PS	Residential	0	0
Total provided	Residential	122	0
Total required		275	0
Tower C			
PS	Residential	48	0
PS	Residential	0	0
PS	Residential	0	0
Total provided	Residential	48	0
Total required		182	0
Tower D			
PS	Residential	27	0
PS	Residential	0	0
PS	Residential	0	0
Total provided	Residential	27	0
Total required		131	0

Item	Date
1. Issued for engineering review	March 12, 2008
2. Issued for engineering review	September 02, 2008
3. Issued for engineering review	September 16, 2008
4. Issued for engineering review	November 18, 2008
5. Issued for engineering review	April 17, 2009
6. Issued for engineering review	November 21, 2009
7. Issued for engineering review	February 17, 2010

PROJECT TITLE
Monte Verde
 (Costa Verde Lot 12)

PROJECT TITLE
Architectural Site Parking Plan Level P5

JOB #
 050-001

DATE
 February 17, 2010

DRAWN BY
 RCP/ML

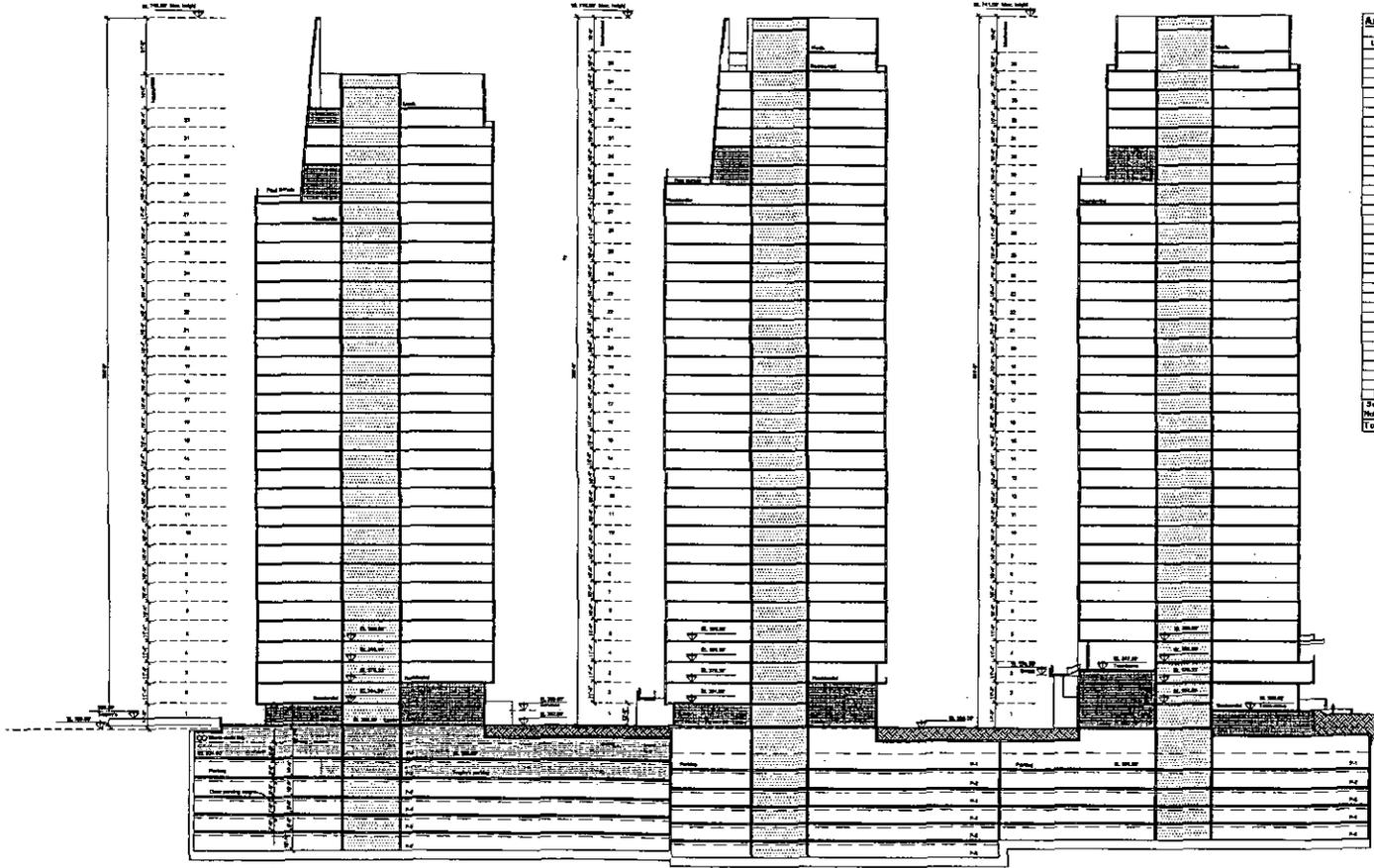
SHEET #
A1.17

000387

TOWER "D" 32-STORY
Grid Line 100 to 110, 115

TOWER "C" 35-STORY
Grid Line 100 to 110, 115

TOWER "B" 35-STORY
Grid Line 100 to 110, 115



Architectural Site Section A-A

Area calculations per tower

Level	Tower A	Tower B	Tower C	Tower D
1	21,800	22,500	19,000	19,000
2	20,500	20,700	18,200	18,100
3	19,200	20,000	17,400	17,100
4	18,000	19,500	16,700	16,500
5	17,000	19,000	16,100	16,000
6	16,000	18,500	15,500	15,500
7	15,000	18,000	15,000	15,000
8	14,000	17,500	14,500	14,500
9	13,000	17,000	14,000	14,000
10	12,000	16,500	13,500	13,500
11	11,000	16,000	13,000	13,000
12	10,500	15,500	12,500	12,500
13	10,000	15,000	12,000	12,000
14	9,500	14,500	11,500	11,500
15	9,000	14,000	11,000	11,000
16	8,500	13,500	10,500	10,500
17	8,000	13,000	10,000	10,000
18	7,500	12,500	9,500	9,500
19	7,000	12,000	9,000	9,000
20	6,500	11,500	8,500	8,500
21	6,000	11,000	8,000	8,000
22	5,500	10,500	7,500	7,500
23	5,000	10,000	7,000	7,000
24	4,500	9,500	6,500	6,500
25	4,000	9,000	6,000	6,000
26	3,500	8,500	5,500	5,500
27	3,000	8,000	5,000	5,000
28	2,500	7,500	4,500	4,500
29	2,000	7,000	4,000	4,000
30	1,500	6,500	3,500	3,500
31	1,000	6,000	3,000	3,000
32	500	5,500	2,500	2,500
33		5,000	2,000	2,000
34		4,500	1,500	1,500
35		4,000	1,000	1,000
36		3,500	500	500
Roof	1,000	1,000	1,000	1,000
Sub Total	434,000	554,000	422,000	380,000
Not including mechanical				
Total	1,771,000	1,834,000	1,774,000	1,640,000

APPLICANT
Costa Verde Hotel LLC
 8530 Costa Verde Blvd., Office
 San Diego, California 92122

DESIGN LEAD
 LP

7851 Grand Ave, Suite 200
 La Jolla, California 92037
 PH: 858-458-1114
 Fax: 858-428-0131

REVISIONS

No.	Date	Description
1	March 02 2009	Issued for permit/submit to City
2	September 02 2009	Issued for permit/submit to City
3	November 11 2009	Issued for permit/submit to City
4	November 18 2009	Issued for permit/submit to City
5	January 17 2010	Issued for permit/submit to City
6	February 01 2010	Issued for permit/submit to City
7	February 17 2010	Issued for permit/submit to City

PROJECT TITLE
Monte Verde
 (Costa Verde Lot 12)
 8530 Costa Verde Blvd
 San Diego, California 92122

DRAWING TITLE
Site Cross Section "A-A"

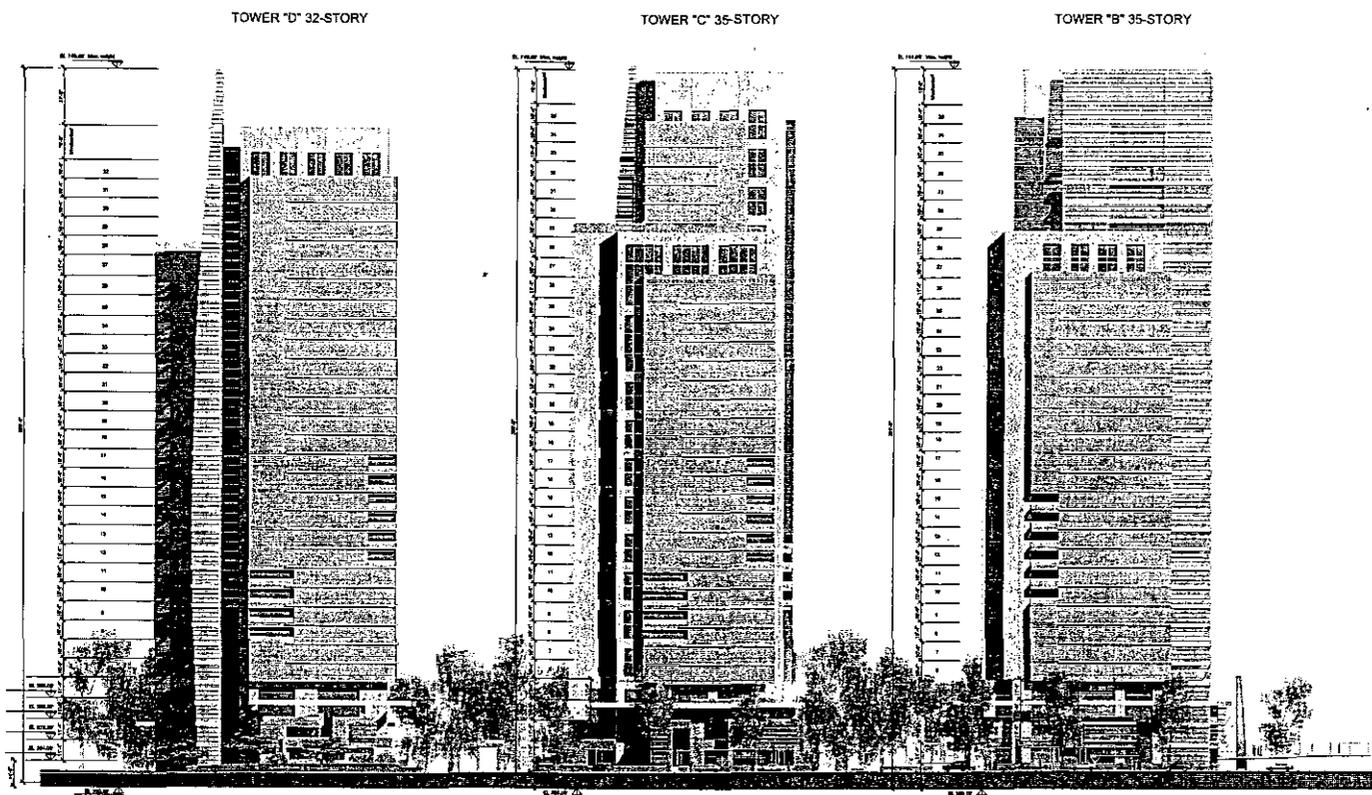
JOB #
 070001

DATE
 February 02 2009

SCALE
 1" = 10'

SHEET #
A2.1

000389



Genesee Avenue Site Elevation

APPLICANT
Costa Verde Hotel LLC
 8530 Costa Verde Blvd. - Office
 San Diego, California 92122

DESIGN LEAD
 LLP
 1701 Oliver Ave, Suite 202
 La Jolla, California 92037
 Ph: 858-436-8114
 Fax: 858-436-9181

Issue	Date
1. Issued for informational review	March 27, 2010
2. Issued for reconsideration to City	September 29, 2010
3. Issued for reconsideration to City	December 15, 2010
4. Issued for reconsideration to City	November 18, 2014
5. Issued for reconsideration to City	June 17, 2016
6. Issued for reconsideration to City	November 21, 2016
7. Issued for reconsideration to City	February 17, 2018
8.	
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10.	
11.	
12.	

PROJECT TITLE
Monte Verde
 (Costa Verde LHA 12)
 8530 Costa Verde Blvd. - Office
 San Diego, California 92122

DRAWING TITLE
Genesee Avenue Site Elevation

JOB #	DATE
000389	February 17, 2018
DRAWN	SCALE
	1" = 40'

SHEET #
A3.1

000390

TOWER 'B' 35-STORY

TOWER 'A' 32-STORY



La Jolla Village Drive Site Elevation

APPLICANT
Costa Verde Hotel LLC
 8530 Costa Verde Blvd. - Office
 San Diego, California 92122

DESIGN LEAD UP

1561 Grand Ave., Suite 200
 La Jolla, California 92037
 P.O. Box 439-0194
 San Diego, CA 92119

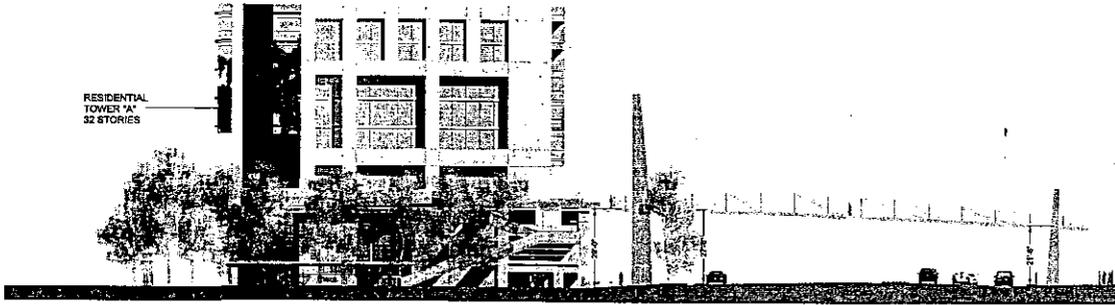
NO.	DATE	DESCRIPTION
1	March 03 2004	Issued for development review
2	September 06 2003	Issued for construction in City
3	December 10 2003	Issued for construction in City
4	November 16 2004	Issued for construction in City
5	June 17 2006	Issued for construction in City
6	November 21 2006	Issued for construction in City
7	February 17 2008	Issued for construction in City
8		
9		
10		
11		
12		

PROJECT TITLE
Monte Verde
 1 Corner Monte Verde, Lot 12

PROJECT TITLE
La Jolla Village Dr. Site Elevation

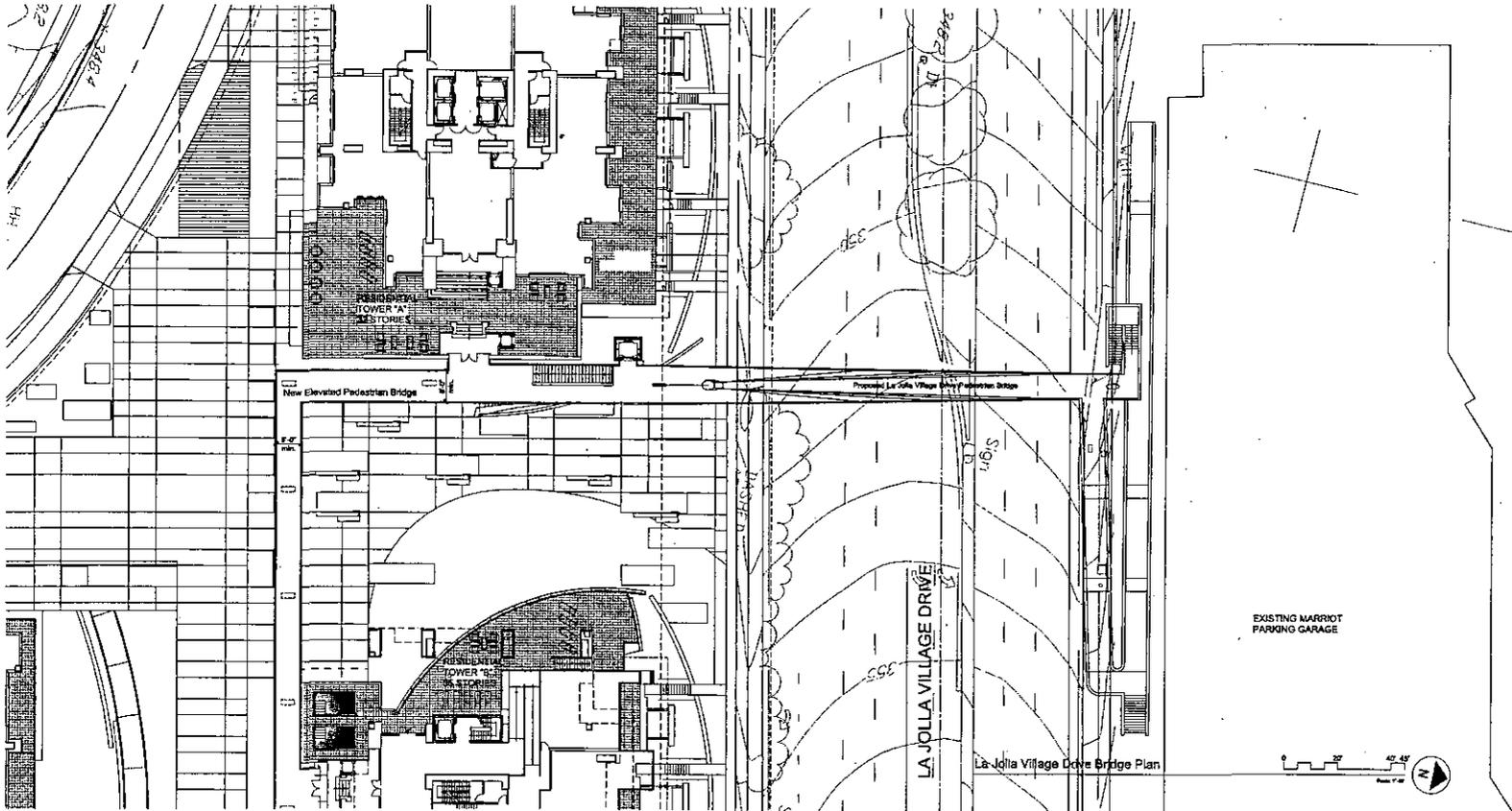
DATE February 17, 2008	SCALE 1" = 30'
---------------------------	-------------------

SHEET #
A3.2



RESIDENTIAL
TOWER 'A'
32 STORIES

La Jolla Village Drive Bridge East Elevation



La Jolla Village Drive Bridge Plan



APPLICANT
Costa Verde Hotel LLC
8530 Costa Verde Blvd., Office
San Diego, California 92122

000391

DESIGN LEAD
LLP

REGISTERED ARCHITECT
C.22588
7881 Grand Ave., Suite 200
La Jolla, California 92037
Ph: 858-434-1114
Fax: 858-438-0191

NO.	DATE	DESCRIPTION
1	March 09 2009	Issued for construction review
2	September 08 2009	Issued for construction to City
3	December 08 2009	Issued for construction to City
4	November 09 2009	Issued for construction to City
5	July 17 2009	Issued for construction to City
6	November 24 2008	Issued for construction to City
7	February 17 2009	Issued for construction to City
8		
9		
10		
11		
12		

PROJECT TITLE
Monte Verde
(Costa Verde Lot 12)
Monte Verde Hotel
San Diego, California 92122

DRAWING TITLE
La Jolla Village Drive
Bridge

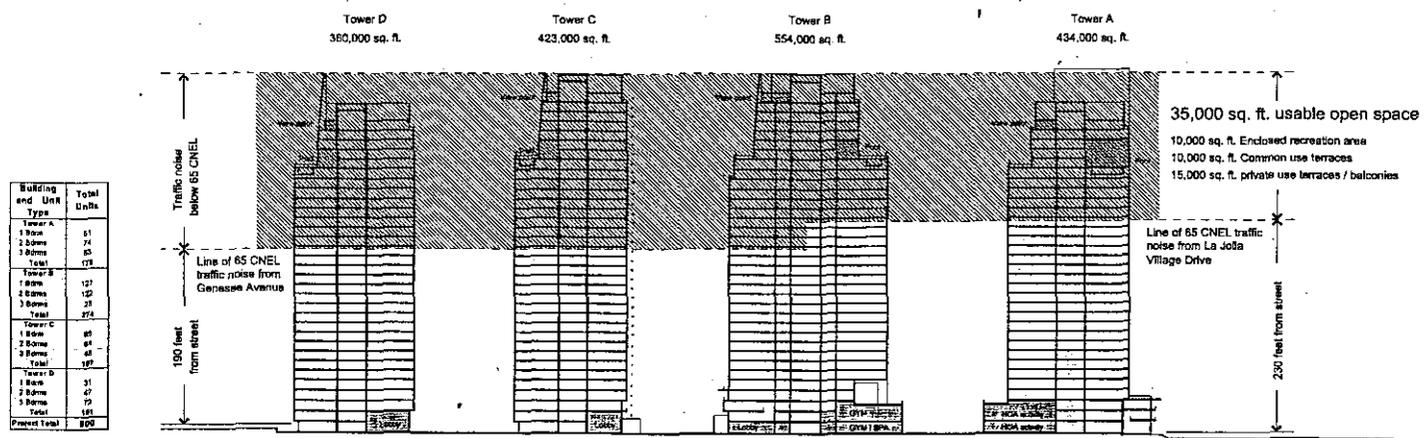
JOB #
800-891

DATE
February 17, 2009

SCALE
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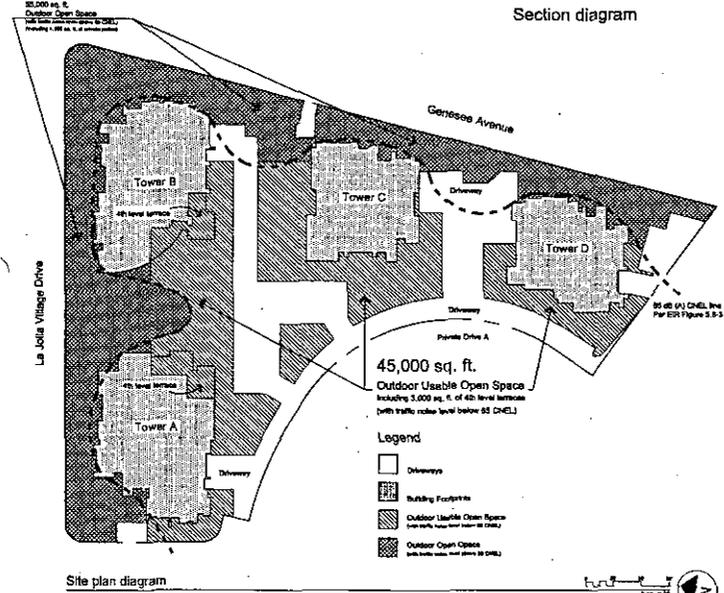
SHEET #
A3.3

APPLICANT
Costa Verde Hotel LLC
8330 Costa Verde Blvd., Office
San Diego, California 92122



Building and Unit Type	Total Units
Tower A	81
1 Room	74
2 Rooms	85
Total	159
Tower B	127
1 Room	122
2 Rooms	23
Total	245
Tower C	89
1 Room	84
2 Rooms	48
Total	132
Tower D	197
1 Room	31
2 Rooms	42
3 Rooms	79
Total	154
Project Total	600

Level	Tower A	Tower B	Tower C	Tower D
1	21,200	12,000	19,200	18,000
2	20,200	20,700	19,200	12,100
3	18,000	20,300	17,200	11,100
4	15,800	18,300	17,000	10,200
5	13,800	16,400	15,700	10,300
6	12,500	17,200	15,100	11,300
7	11,500	17,300	15,100	11,300
8	10,500	17,200	15,100	11,300
9	10,500	17,200	15,100	11,300
10	10,500	17,200	15,100	11,300
11	10,500	17,200	15,100	11,300
12	10,500	17,200	15,100	11,300
13	10,500	17,200	15,100	11,300
14	10,500	17,200	15,100	11,300
15	10,500	17,200	15,100	11,300
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19	10,500	17,200	15,100	11,300
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97	10,500	17,200	15,100	11,300
98	10,500	17,200	15,100	11,300
99	10,500	17,200	15,100	11,300
100	10,500	17,200	15,100	11,300



Item	Area	Value
DRIVEWAYS	1.13 AC	88,200 SF
USABLE OPEN SPACE (65 CNEL)	1.23 AC	44,780 SF
OTHER OPEN SPACE (65 CNEL)	1.24 AC	45,000 SF
TOTAL SITE AREA	4.77 AC	207,780 SF

Item	Value
TOTAL OPEN SPACE REQUIRED (PER COSTA VERDE SPECIFIC PLAN)	111,500 SF
TERRACE OPEN SPACE (65 CNEL)	80,000 SF
OPEN SPACE (65 CNEL)	33,500 SF
OPEN SPACE PER UNIT REQUIRED	140 SF
TOTAL PRIVATE OPEN SPACE REQUIRED (BALCONIES, TERRACES & PATIOS)	40,000 SF
PRIVATE OPEN SPACE PER UNIT REQUIRED (BALCONIES, TERRACES & PATIOS)	50 SF

Item	Value
TOTAL OPEN SPACE PROVIDED (INCLUDES INTERIOR STREETS) (INCLUDING INTERIOR COMMON USE AREAS)	87,200 SF
AT GRADE	42,000 SF
ABOVE GRADE COMMON USE TERRACES	16,000 SF
PRIVATE BALCONIES, TERRACES	51,200 SF
INTERIOR COMMON USE AREA	28,000 SF
RECREATION AREAS	11,000 SF
RECREATION POOLS	7,000 SF
RECREATION AREAS	11,000 SF
SUBTOTAL OF INTERIOR AREA	45,000 SF
TOTAL OPEN SPACE PROVIDED	132,200 SF
OPEN SPACE PER UNIT PROVIDED	220 SF

Item	Value
TOTAL USABLE OPEN SPACE PROVIDED (65 CNEL)	45,000 SF
AT-LEVEL COMMON TERRACES	2,000 SF
ABOVE GRADE	24,000 SF
COMMON TERRACES	10,000 SF
PRIVATE BALCONIES, TERRACES	11,000 SF
INTERIOR RECREATION AREA	12,000 SF
TOTAL USABLE OPEN SPACE PROVIDED	59,000 SF
USABLE OPEN SPACE PER UNIT PROVIDED	100 SF
TOTAL PRIVATE OPEN SPACE PROVIDED (BALCONIES, TERRACES & PATIOS)	40,000 SF
PRIVATE OPEN SPACE = 25 CNEL	15,000 SF
TOTAL PRIVATE OPEN SPACE PROVIDED	55,000 SF
AVERAGE PRIVATE OPEN SPACE PER UNIT PROVIDED	88 SF

Item	Date
Issued for preliminary review	March 10, 2009
Issued for final review	March 10, 2009
Issued for final review	March 10, 2009
Issued for final review	March 10, 2009
Issued for final review	March 10, 2009
Issued for final review	March 10, 2009
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Issued for final review	March 10, 2009
Issued for final review	March 10, 2009
Issued for final review	March 10, 2009

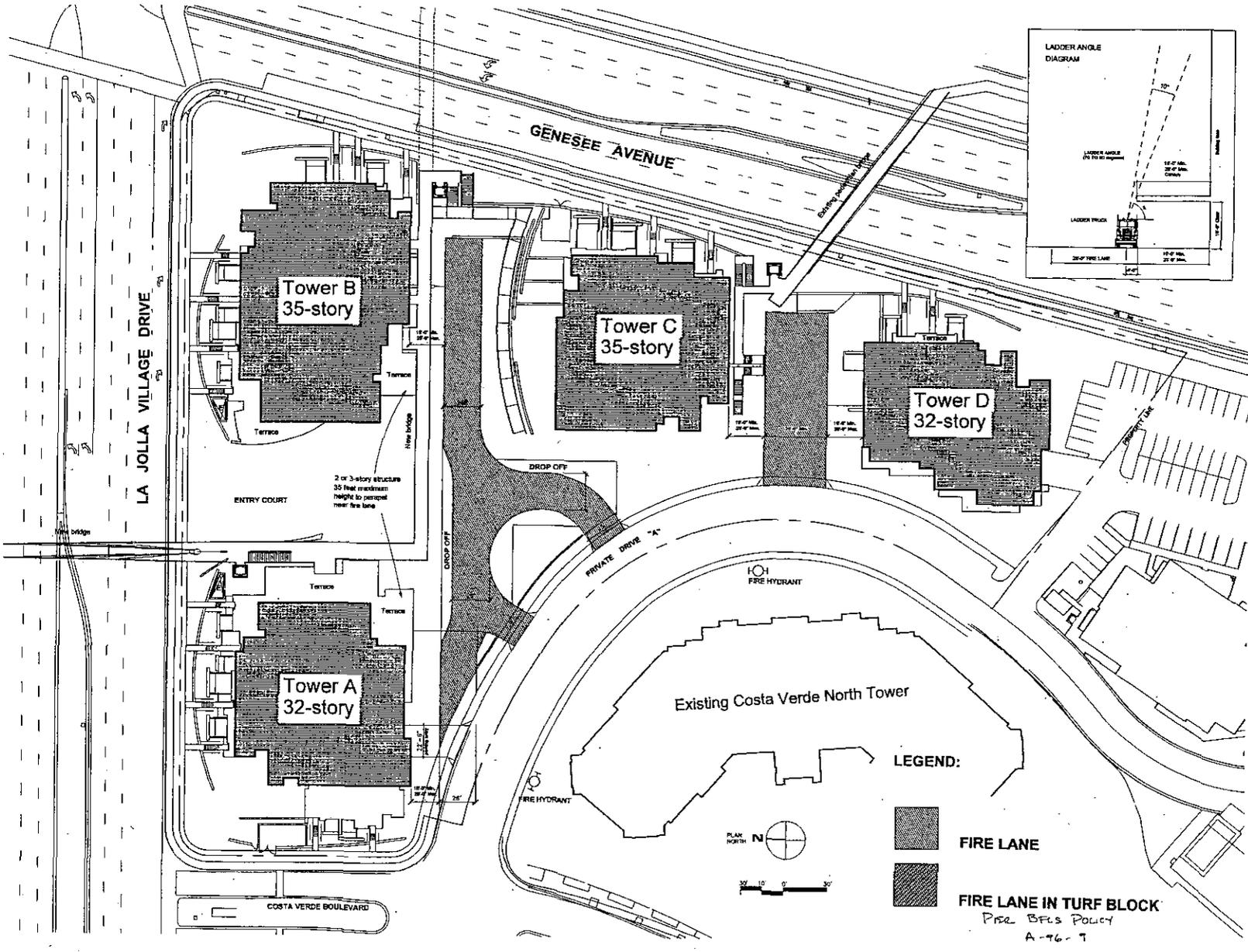
PROJECT TITLE
Monte Verde
(Costa Verde Lot 12)
Site Plan, Open Space, and
Site Area Calculations

DATE
February 17, 2009

SCALE
1" = 10'

SHEET #
A4.1

000394



APPLICANT
Costa Verde Hotel LLC
 8550 Costa Verde Blvd - Office
 San Diego, California 92122

Notes:
 1. All buildings to be sprinklered
 2. Posts indicate where fire connections and alarm bells are to be located on the address / access side of the structures

42.0 TDF
 Development Services
 Plan Review & Inspection
 San Diego, CA
 Inspectors Present
 See Notes for more on
 Inspection Report Card
 Call 619-444-3100 to
 schedule inspection
 Date

DESIGN LEAD
 LP
 7801 Grand Ave, Suite 200
 La Jolla, California, 92037
 PH: 619-439-9114
 FX: 619-439-9111

Submittals

Item	Date
1. Submit for compliance review	March 18, 2008
2. Submit for comment to City	September 18, 2008
3. Submit for comment to City	December 18, 2008
4. Submit for comment to City	January 18, 2009
5. Submit for comment to City	June 17, 2009
6. Submit for comment to City	November 27, 2009
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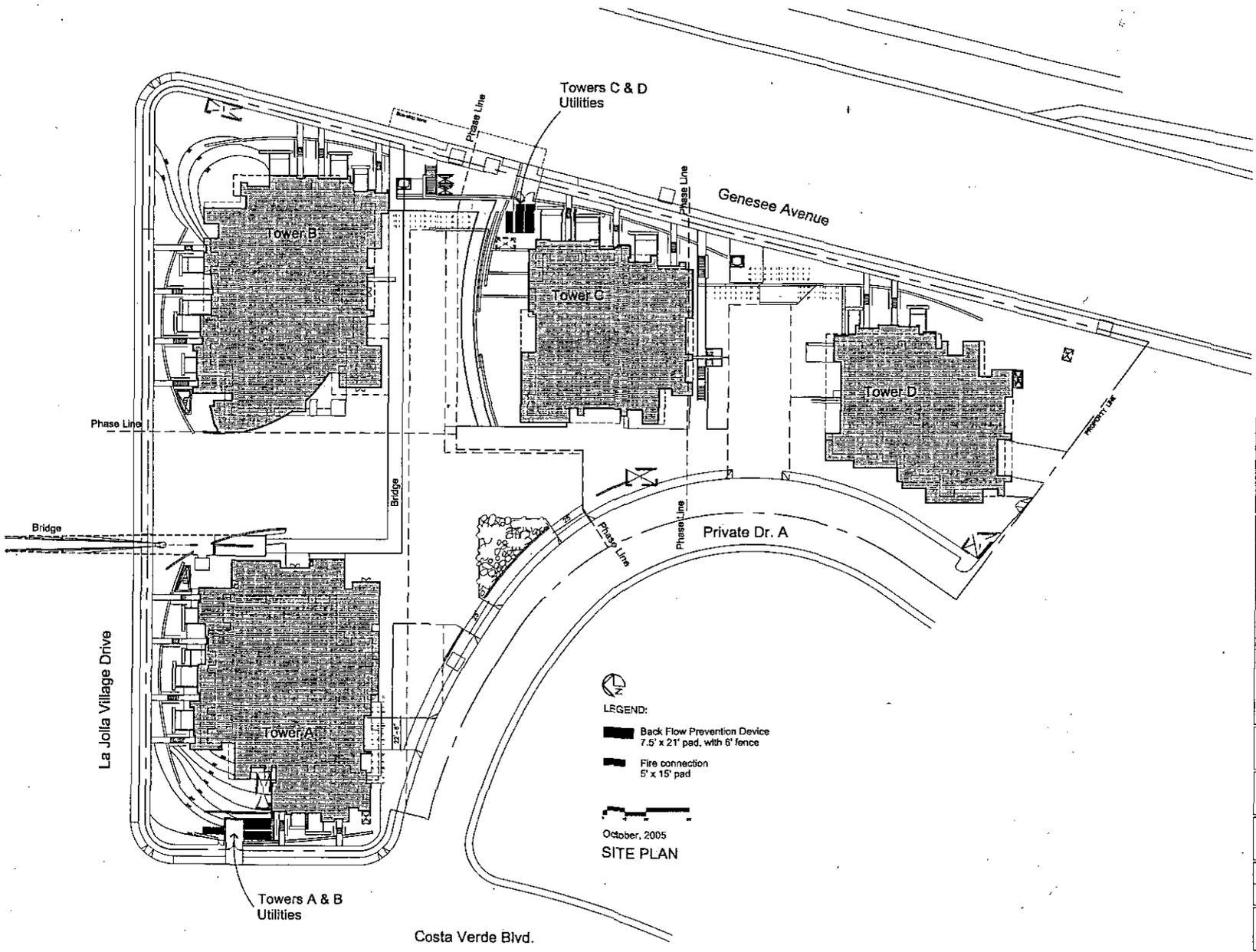
PROJECT SITE
Monte Verde
 (Costa Verde Lot 12)
 San Diego, California 92108

Fire Access

DATE	DATE
REVISED	REVISION
SCALE	SCALE
7" = 10' 0"	

SHEET #
A4.3

000395



APPLICANT
Costa Verde Hotel LLC
 8636 Costa Verde Blvd. - Office
 San Diego, California 92122

DESIGN LEAD
 CCM
 7881 Grand Ave, Suite 200
 La Jolla, California 92037
 PH: 858-459-1144
 Fax: 858-459-0187

Rev	Date	Description
1	March 08, 2005	Issued for construction review
2	September 08, 2005	Issued for resubmittal to City
3	December 19, 2005	Issued for resubmittal to City
4	November 16, 2005	Issued for resubmittal to City
5	June 07, 2006	Issued for resubmittal to City
6	December 27, 2006	Issued for resubmittal to City
7	February 17, 2008	Issued for resubmittal to City
8		
9		
10		
11		
12		

PROJECT TITLE
Monte Verde
 (Costa Verde Lot 12)

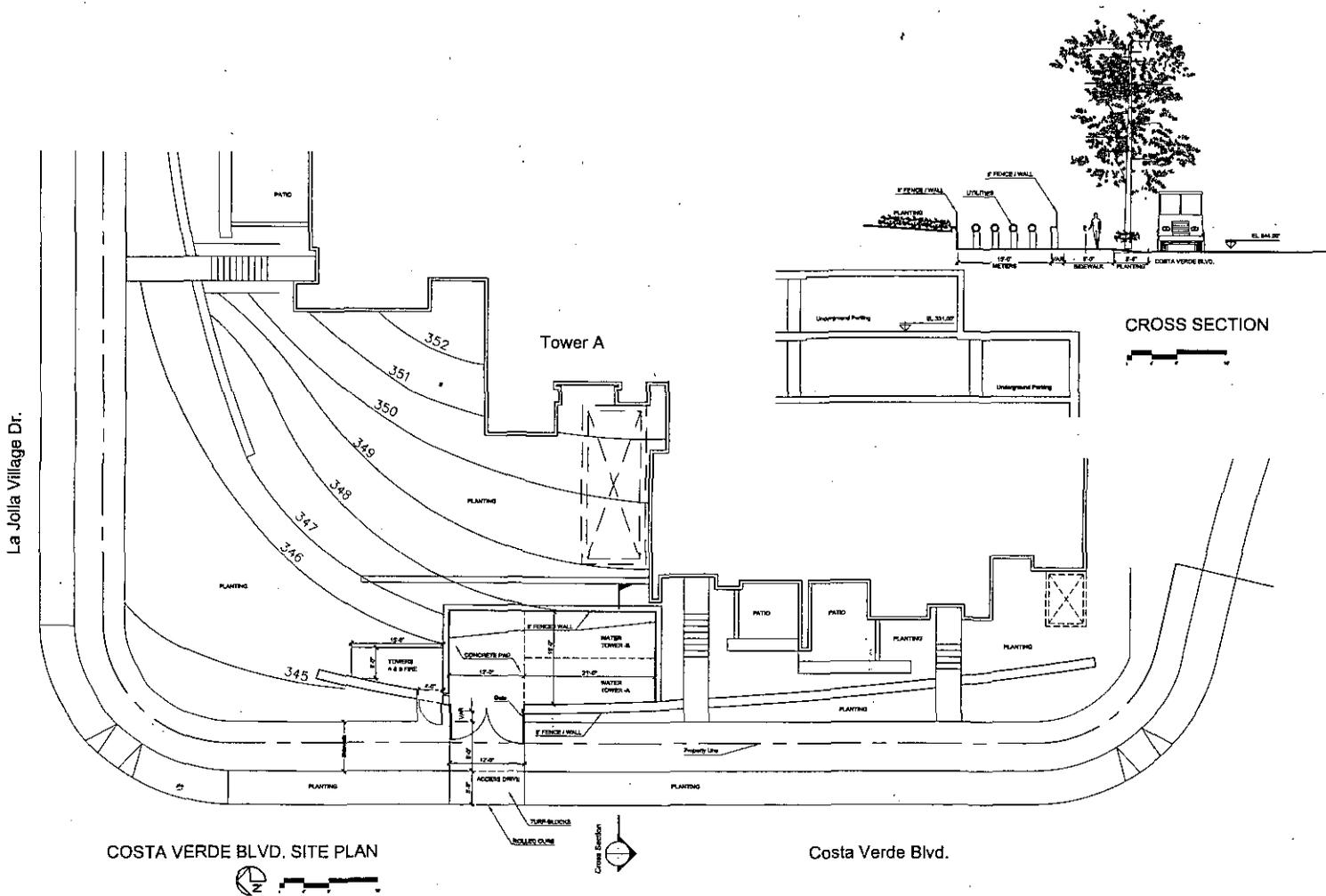
DRAWING TITLE
**Site Plan
 Utilities Connection**

DATE February 12, 2009
SCALE 1" = 10'

SHEET #
A4.4

APP: 02/12/09 08:00:00. Name: Monte_Verde_SitePlan_Utilities_Connection.dwg. PLOT: 02/12/09 08:00:00. Path: C:\Program Files\Autodesk\AutoCAD 2009\Plot\Plotter\AutoCAD_Plotter.dwg. Plot: 02/12/09 08:00:00. Scale: 1.000000. Sheet: 1 of 1. Title: 000395

000397



APPLICANT
Costa Verde Hotel LLC
 8530 Costa Verde Blvd. - Office
 San Diego, California 92122

DESIGN LEAD
 LLP

1881 Camino del Rio, Suite 200
 La Jolla, CA 92038
 Phone: 858-584-8154
 Fax: 858-584-8151

Rev.	Date
1	Issued for consideration to City
2	Issued for consideration to City
3	Issued for consideration to City
4	Issued for consideration to City
5	Issued for consideration to City
6	Issued for consideration to City
7	Issued for consideration to City
8	
9	
10	
11	
12	

PROJECT TITLE
Monte Verde
 (Costa Verde Lot 12)

OWNER TITLE
Site Plan, Towers A & B
 Costa Verde Boulevard Utilities
 Connection

JOB # 000-00	DATE February 11, 2009
SCALE AS SHOWN	

SHEET #
A4.6

(R-2002-INSERT)

RESOLUTION NUMBER R-_____

ADOPTED ON _____

APPROVING AN AMENDMENT TO THE UNIVERSITY COMMUNITY PLAN, COSTA VERDE SPECIFIC PLAN AND PROGRESS GUIDE AND GENERAL PLAN FOR THE MONTE VERDE PROJECT

WHEREAS, on September 17, 2007, the City Council of the City of San Diego held a public hearing to consider the amendments to the University Community Plan, Costa Verde Specific Plan and Progress Guide and General Plan for the Monte Verde project; and

WHEREAS, Costa Verde Hotel, LLC, requested an amendment to the University Community Plan, Costa Verde Specific Plan and Progress Guide and General Plan for the purpose of designating a 4.77 acre property from Visitor Commercial, 400-room hotel, to High Density Residential at a density of 45-75 dwelling units per net residential acre. The plan amendment would increase housing opportunities within established levels of development intensities set by the Community Plan at a location designated within University as a high density, mixed-use urban node; and

WHEREAS, Council Policy 600-7 provides that public hearings to consider revisions to the Progress Guide and General Plan for the City of San Diego may be scheduled concurrently with public hearings on proposed community plans in order to retain consistency between said plans, and the City Council has held such concurrent public hearings; and

WHEREAS, the Planning Commission of the City of San Diego found the proposed amendment consistent with the Progress Guide and General Plan; and

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WHEREAS, the Council of the City of San Diego has considered all maps, exhibits, and written documents contained in the file for this project on record in the City of San Diego, and has considered the oral presentations given at the public hearing; NOW THEREFORE,

BE IT RESOLVED, by the Council of The City of San Diego, that it adopts the amendments to the University Community Plan, Costa Verde Specific Plan and Progress Guide and General Plan, a copy of which is on file in the office of the City Clerk as Document No. RR-XXXXX, XXXXXXXXX, 2007.

APPROVED: MICHAEL AGUIRRE, City Attorney

By _____

Deputy City Attorney

MJL:pev
INSERT Date
Or.Dept:DSD
R-2002- INSERT
Form=r-t:frm(61203wct)

000401

(R-INSERT)

RESOLUTION NUMBER R-(to be filled in)

ADOPTED ON (to be filled in)

WHEREAS, Costa Verde Hotel, LLC, Owner/Permittee, filed an application with the City of San Diego for a Planned Development Permit No. 10761, Site Development Permit No. 372422, and Public Right of Way Permit No. 464724 known as the Monte Verde project, to construct a 23-story building, two 22-story buildings, and a 21-story building for a total of 560 condominium units on a 4.77 acre site with improvements in the public right-of-way and site landscaping located at 8995 Costa Verde Boulevard, and legally described as Lot 12, Costa Verde, according to Map No. 12045, filed April 18, 1988 and as corrected by a certificate of correction recorded July 23, 1993 as document 93-470224 of official records, in the University Community Plan area, in the RS-1-14, Parking Impact Overlay, Community Plan Implementation Overlay "A" Zones; and

WHEREAS, on March 15, 2007, the Planning Commission of the City of San Diego considered Planned Development Permit (PDP) No. 10761, Site Development Permit (SDP) No. 372422, and Public Right of Way (ROW) Permit No. 464724 and pursuant to Resolution No. 4245-PC voted to recommend to the City Council to accept the project's Final Environmental Impact Report No. 6563; Reduced Project Alternative: 21-Story, of which the maximum building would be 21-stories and the maximum number of units would be 408; and

WHEREAS, the matter was set for public hearing on September 17, 2007, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to PDP Permit No. 10761, SDP Permit No. 372422, and Public ROW Permit No. 464724:

Planned Development Permit - Section 126.0604

A. Findings for all Planned Development Permits

1. The proposed development will not adversely affect the applicable land use plan. The Monte Verde project, with the approval of the plan amendments to the University Community plan and Costa Verde Specific Plan, will not adversely affect the land use and density designations for the site. With the approval of these amendments, the project would be consistent with the applicable land use plans. The conversion from hotel to residential use would not represent an adverse impact as the demand for hotel uses will be adequately accommodated elsewhere in the community. The project will help satisfy a variety of goals of the applicable land use plans. The project will increase the supply of housing in the community within walking distance of transit, shopping, and employment opportunities. Development of the property would not conflict with goals relating to topography because the project site is flat. The project site is outside Accident Potential Zones 1 and 2 of the Miramar Airport Influence Area.

2. The proposed development will not be detrimental to the public health, safety, and welfare. The proposed development includes significant improvements within the public right-of-way in the University community. The proposed development will construct necessary sewer and water facilities to serve the occupants of the development; will incorporate construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 of the San Diego Municipal Code; will prepare and implement a Water Pollution Control Plan in accordance with the guidelines in Appendix E of the City's Storm Water Standards; will enter into a Maintenance Agreement for the ongoing permanent BMP maintenance; and will comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 99-08 DWQ and the Municipal Storm Water Permit, Order No. 2001-01(NPDES General Permit No. CAS000002 and CAS0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity, will construct a pedestrian bridge across La Jolla Village Drive, and extend wastewater improvements to Rose Canyon. All structures constructed will be reviewed by professional staff for compliance with all relevant and applicable building, electrical, plumbing, mechanical and fire codes to assure the structures will meet or exceed the current regulations. The project site is outside Accident Potential Zones 1 and 2 of the Miramar Airport Influence Area. Further, the construction will be monitored and inspected in the field by certified inspectors. As such the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code. The proposed development complies with all relevant regulations

of the Land Development Code and the Costa Verde Specific Plan. No variances or deviations are required to approve the proposed project. Specific conditions of approval require the continued compliance with all relevant regulations of the City of San Diego effective for this site and have been written as such into Planned Development Permit No. 10761, Site Development Permit No. 372422. Development of the property will meet all requirements of these regulations. Concept plans for the project identify all other development criteria in effect for the site. All relevant regulations shall be complied with at all times for the life of the project. In these ways the proposed development will comply with the applicable and relevant regulations of the Land Development Code.

4. The proposed development, when considered as a whole, will be beneficial to the community. The project will provide several significant features, amenities and improvements in the community. The construction of a pedestrian bridge over La Jolla Village Drive will provide safe pedestrian access to surrounding commercial/retail areas and encouraging individuals to walk to locations nearby. The project will also enhance an existing pedestrian bridge over Genesee Avenue. Both bridges will provide ramps and/or an elevator, which will benefit disabled and elderly individuals and encourage others to walk to locations nearby. Both pedestrian bridges will reduce traffic and congestion and encourage a sense of community.

The project will provide 560 additional housing units in a community which currently has a very low vacancy rate. As the community is almost completely developed, this project will not cause the construction of more housing than is needed or shift growth from other areas to this one. The city currently has a very limited supply of land designated and zoned for multi-family housing. Increasing the housing supply will be particularly beneficial in the University/Golden Triangle area because of the large and expanding employment base in the area. The proposal will help to alleviate the shortage of multi-family housing opportunities. Housing near the many employment sites will aid in reducing automobile congestion, particularly during peak travel hours.

The project will also create public areas within the property to promote pedestrian activity. A landscaped courtyard located at the end of the La Jolla Village Drive pedestrian bridge will provide an urban amenity for individuals as well as a gallery space linking La Jolla Village Drive to the central courtyard. The gallery would provide additional space for artwork and will be designed to achieve natural lighting, create a gathering place for the community and a place of local artistic interest. Finally, the developer will assure construction of a fire station to serve the entire community. This will help reduce response times and improve fire services in the community.

5. Any proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone. No specific deviations are being proposed. This Planned Development Permit is processed as required by the Specific Plan. Being determined that the proposed project will not require any deviations or variances and will be compliant with the requirements of the Costa Verde Specific Plan and Land Development Code, the proposed project

conforms to the policies and regulations of the City of San Diego and represents a desirable project for the site and the community.

Site Development Permit - Section 126.0504

A. Findings for all Site Development Permits

- 1. The proposed development will not adversely affect the applicable land use plan.** The proposed project will not adversely affect the University Community plan and Costa Verde Specific Plan and has been determined to be in conformance with the policies of the plan. See Finding A.1 of the Planned Development Permit Findings above.
- 2. The proposed development will not be detrimental to the public health, safety, and welfare.** The proposed development will not be detrimental to the public health, safety, and welfare. See Finding A.2 of the Planned Development Permit Findings above.
- 3. The proposed development will comply with the applicable regulations of the Land Development Code.** The proposed development complies with the University Community plan and Costa Verde Specific Plan and the Land Development Code. See Finding A.3 of the Planned Development Permit Findings above.

B. Supplemental Findings--Environmentally Sensitive Lands

- 1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.** The proposed residential development will require the sewer pipeline replacement of the existing 10-inch and 12-inch diameter pipeline along Genesee Avenue and south to Rose Canyon with a new 18-inch diameter pipeline to provide adequate capacity for the development. The line will be underground. Where the line will not be under an already-developed area, it will be within other existing easements. Intrusion near and into environmentally sensitive lands will be minimized by reducing the access pathway and by utilizing construction techniques that minimize the area being used. These construction techniques include locating staging and storage areas outside drainage areas; storing excavated soils outside of all drainage areas; re-compacting the trench to pre-construction or greater compaction density and revegetation of disturbed areas; conducting no equipment maintenance near riparian areas; removing spoil, trash, and debris off-site to an approved disposal facility; either conducting work outside the raptor breeding season or having a qualified biologist inspect the trees for nests prior to construction; and obtaining all other necessary state and federal permits. This is an appropriate location for the sewer line because it takes advantage of gravity flow.
- 2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.** As to the sewer pipeline element of the development, there is already a sewer line present in the same location for much of the length of line proposed, and some

of the length currently in an undeveloped area will be replaced with line in Genesee Avenue. The line will be underground. Where the line will not be under an already-developed area, it will be within other existing easements. Intrusion near and into environmentally sensitive lands will be minimized by reducing the access pathway and by utilizing construction techniques that minimize the area being used. These construction techniques include locating staging and storage areas outside drainage areas; storing excavated soils outside of all drainage areas; re-compacting the trench to pre-construction or greater compaction density and revegetation of disturbed areas; conducting no equipment maintenance near riparian areas; and obtaining all other necessary state and federal permits.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands. As to the sewer pipeline element of the development that necessitates this Site Development Permit for impacts to environmentally sensitive lands, intrusion near and into environmentally sensitive lands will be minimized by reducing the access pathway and construction techniques that minimize the area being used. Construction techniques include locating staging/storage areas outside drainages; storing excavated soils outside of all drainages; re-compacting the trench to pre-construction or greater compaction density and revegetation of disturbed areas; conducting no equipment maintenance near riparian areas; removing spoil, trash, and any debris off-site to an approved disposal facility; either conducting work outside the raptor breeding season or having a qualified biologist inspect the trees for nests prior to construction; and obtaining all other necessary state and federal permits.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan. As to the sewer pipeline element of the development that necessitates this Site Development Permit for impacts to environmentally sensitive lands, there is Diegan coastal sage scrub (Tier II), native grassland (Tier I), and non-native grassland (Tier IIIB). Part of the off-site sewer improvements falls within the Other Urban Habitat Areas at portions of the MHPA. Policy #1 of the City's General Planning Policies and Design Guidelines, Roads and Utilities, requires minimization of intrusion into the MHPA; Policy #3 prohibits temporary construction areas and roads, staging areas, and permanent access roads from disturbing habitat unless unavoidable; and Policy #4 requires that activities in wildlife corridors avoid significant disruption of corridor usage. The sewer project will comply with these policies by providing mitigation at or above the levels required by the MSCP; by minimizing intrusion through maintaining a narrow access corridor; and by construction controls including placing staging and storage areas outside the sensitive area. A permanent 8-foot wide path is proposed to ensure maintenance access to the manholes in Rose Canyon, but there will be no additional permanent above-ground facilities.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply. As to the sewer pipeline element of the development that necessitates this Site Development Permit for impacts to environmentally sensitive lands, the sewer improvements will not contribute to erosion of public beaches or adversely impact local shoreline sand supply because a minimal amount

of dirt will be displaced; the access pathway will be minimized; construction techniques, such as locating staging/storage areas outside drainages, storing excavated soils outside of all drainages, re-compacting the trench to pre-construction or greater compaction density, and re-vegetation will eliminate the erosion of soil and avoid any changes to sand movement.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development. As to the Monte Verde development, no particular mitigation is being required as a condition of this permit; mitigation of impacts is required as part of the CEQA process, and the EIR has identified that mitigation as being necessary to mitigate the project's impacts. As to the sewer pipeline element of the development that necessitates this Site Development Permit for impacts to environmentally sensitive lands, mitigation includes the provision of replacement sensitive habitat at the ratios required by the MSCP. Mitigation also includes construction limitations, such as the narrowing of pathways and storage of equipment off-site, that have been strictly limited to what is necessary to minimize impacts. Without replacement mitigation pursuant to the MSCP, the sewer project would have an unmitigated impact on sensitive habitat; without the construction limitations, the sewer project could result in the entry of construction equipment and personnel into areas where greater harm could occur.

C. Supplemental Findings--Environmentally Sensitive Lands Deviations

1. There are no feasible measures that can further minimize the potential adverse effects on environmentally sensitive lands. The alignment of the proposed wastewater line is designed to avoid the creation of impacts to sensitive lands to the greatest extent possible and still replace the existing pipe with the necessary improvement. Several design studies were prepared during the design phase of the project to evaluate if the possibility existed for an alignment which would create fewer impacts to sensitive resources and the currently proposed design was determined to create the least impact. The existing wastewater line is required to be improved and resized to provide wastewater service to the community.

2. The proposed deviation is the minimum necessary to afford relief from special circumstances or conditions of the land, not of the applicant's making. The impacts to the sensitive resources as a result of constructing a new larger wastewater line have been determined through several design studies to be the minimum necessary to accommodate the wastewater line and to create the least amount of impact to the sensitive resources. The applicant has not taken any actions that would result in these impacts and has taken all appropriate steps to assure the deviation is the minimum necessary to construct the wastewater line.

D. Supplemental Findings--Public Right-of-Way Encroachments

1. The proposed encroachment is reasonably related to public travel, or benefits a public purpose, or all record owners have given the applicant written permission to maintain the encroachment on their property. The proposed encroachment would

allow the placement of a pedestrian bridge pursuant to the Costa Verde Specific Plan. The bridge will both aid public travel and benefit a public purpose by allowing and encouraging free pedestrian movement in the most urban portion of the community, not only across La Jolla Village Drive but throughout the core area by linking with other existing bridges. This pedestrian movement is itself valuable. In addition, it will allow people access to local employment and services without having to drive, thus helping reduce traffic on local streets. Each of these functions also satisfies various goals of the University Community Plan, such as encouraging accessibility and providing for pedestrian needs.

2. The proposed encroachment does not interfere with the free and unobstructed use of the public right-of-way for public travel. The proposed encroachment will be a pedestrian bridge built above the street (La Jolla Village Drive). It will be built high enough above the street not to interfere with vehicular travel. Similarly, its landings will be outside the roadway so as not to interfere with vehicular travel. Sufficient space will be provided for the landings so as not to interfere with use of the sidewalks; indeed, by providing a pedestrian travel path, the bridge will assist pedestrian travel.

3. The proposed encroachment will not adversely affect the aesthetic character of the community. The proposed encroachment will be a pedestrian bridge called for by the Costa Verde Specific Plan. The bridge will complete a set of four bridges surrounding the core intersection of Genesee Avenue and La Jolla Village Drive. The bridge has been designed to integrate visually with the other three bridges and with the surrounding buildings. The bridge will be a cable-stay bridge that is itself attractive and will help create an entry statement into the core of the community.

4. The proposed encroachment does not violate any other Municipal Code provisions or other local, state, or federal law. The proposed encroachment will not violate any law. The pedestrian bridge will comply with all uniform building code requirements. The bridge and its access will comply with all accessibility requirements, including providing an elevator for access. The bridge will be high enough above the street (La Jolla Village Drive) so as not to interfere with vehicular travel. Because the area has already been developed with a street and sidewalks, the encroachment will not harm any endangered species or habitat.

5. For coastal development in the coastal overlay zone, the encroachment is consistent with Section 132.0403 (Supplemental Use Regulations of the Coastal Overlay Zone). The proposed encroachment is outside the Coastal Overlay Zone, so this finding is not applicable.

F. Supplemental Finding--Important Archaeological Sites and Traditional Cultural Properties

1. The site is physically suitable for the design and siting of the proposed development, the development will result in minimum disturbance to historical resources, and measures to fully mitigate for any disturbance have been provided by the applicant. The location of the proposed sewer line replacement project is determined

by the location of the existing Rose Canyon Interceptor (Interceptor) and the existing sewer which is being replaced as a part of the Monte Verde project. The current 10-inch diameter pipeline needs to be replaced with an 18-inch diameter pipeline because it will soon exceed the design capacity of a 10-inch pipeline. Replacing the sewer line along its present alignment would not comply with City policy to locate sewer lines outside of drainage courses. The current pipeline runs down a tributary drainage course leading to Rose Canyon. Majority of the replacement sewer pipeline will be within the Genesee Avenue. However, as the alignment approaches the Genesee Avenue bridge, it must leave the road to connect with the Rose Canyon Interceptor

Although extending the sewer line to the Interceptor on the east side of the tributary drainage course near the Genesee Avenue bridge would reduce potential impacts on the known archaeological site (SDI-12556), several engineering considerations preclude this alternate alignment. As background information, it should be noted that a second 10-inch sewer line (hereinafter referred to as the east/west line) connects on the north side of the tracks with the 10-inch sewer line to be replaced (hereinafter referred to as the north/south line). There the flow from the east/west line travels through the existing north/south line to the Interceptor.

Because of the east/west sewer line, locating the proposed 18-inch north/south sewer line east of the drainage course is problematic because the sewage from this east/west sewer line would have to either be extended further east to connect with the easterly location for the new north/south line or, continue to flow down the segment of the existing north/south 10" line beneath the railroad tracks. The first option is infeasible because the new north/south sewer line would have to be constructed 40-50 feet below the proposed grade to allow the flow from the east/west line to flow by gravity to the new north/south line. This depth of construction is not feasible because it would represent a servicing hazard due to the deep manhole access that would result.

The second option is also infeasible. This option would require retaining the portion of the north/south sewer line which extends beneath the tracks along with the connection point to the Interceptor to allow the flow from the east/west to continue to reach the Interceptor. Retention of the existing line beneath the tracks would not achieve the overall City goal of removing sewer lines from drainages. In addition, this option would result in two parallel facilities in the area consisting of the portion of the existing, north/south 10-inch line and the proposed north/south 18-inch located east of the drainage.

The proposed sewer replacement would result in minimal impacts to the known extent of SDI-12556. The disturbance would be limited to an area covering less than 200 square feet which represents the minimal trench width needed to install the line from the railroad tracks to the Interceptor. In order to minimize potential impacts on SDI-12556, should it extend beneath the railroad tracks, the new north/south sewer line would be installed beneath the railroad tracks using a jack and bore technique. This technique would place the line at least 15 feet below the surface which would minimize impacts to SDI-12556, in the event the site extends northerly beneath the railroad tracks, because previous

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testing of the site determined that subsurface deposits do not extend below a depth of 3 feet beneath the surface.

In addition to minimizing the disturbance of SDI-12556, the applicant will be required to conduct an Archaeological Research Design and Data Recovery Program which will include sampling up to 15 percent of the area to be impacted. In addition, an archaeologist will be required to monitor all grading and earthmoving activities during construction for the offsite sewer improvement within the vicinity of CA-SDI-12556. Analysis of artifacts and ecofacts recovered during monitoring will be included in a final report submitted to the City.

2. All feasible measures to protect and preserve the special character or the special historical, architectural, archaeological, or cultural value of the resource has been provided by the applicant. SDI-12556 is a prehistoric, small seasonal camp consisting of buried midden containing artifacts consisting of manos, stone tools, cores, debitage and pottery. Previous testing of the site has resulted in the collection of surface artifacts. As a result, the value of the site is related to the potential for subsurface artifacts to contribute to the overall knowledge of prehistoric cultures.

As indicated in Site Development Permit Finding F.1., the new sewer line would have minimal impact on the subsurface artifacts. Where impacts cannot be avoided, an extensive mitigation and monitoring program will be implemented. This mitigation program will assure that any resources impacted by construction would be properly evaluated before disturbance occurs. As the site lies within the open space portion of Rose Canyon, the value of the site would be preserved after the sewer line installation has been completed. The project's prepared permit conditions and mitigation requirements identified in EIR No. 6563 will minimize impacts to SDI-12556 and therefore, all feasible measure have been provided to protect and preserve the site.

The above findings are supported by the minutes, maps and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that the recommendation of the Planning Commission is sustained, and Planned Development Permit No. 10761, Site Development Permit No. 372422, and Public Right of Way Permit No. 464724 is granted to Costa Verde Hotel, LLC, Owner/Permittee, under the terms and conditions set forth in the permit attached hereto and made a part hereof.

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APPROVED: MICHAEL AGUIRRE, City Attorney

By _____

Deputy City Attorney

ATTY/SEC. INITIALS

DATE

Or.Dept:Clerk

R-INSERT

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Reviewed by Tim Daly

PLANNING COMMISSION RESOLUTION NO. 4245-PC

RECOMMENDING TO THE CITY COUNCIL ACCEPTANCE OF THE FINAL ENVIRONMENTAL IMPACT REPORT NO. 6563 REDUCED PROJECT ALTERNATIVE: 21-STORY AND RESOLUTIONS AMENDING THE PROGRESS GUIDE AND GENERAL PLAN, THE UNIVERSITY COMMUNITY PLAN, AND THE COSTA VERDE SPECIFIC PLAN NO. 10763, AND GRANT EASEMENT VACATION NO. 372423, PUBLIC RIGHT-OF-WAY VACATION NO. 372426, VESTING TENTATIVE MAP NO. 372429, PLANNED DEVELOPMENT PERMIT NO. 10761 AND SITE DEVELOPMENT PERMIT NO. 372422

WHEREAS, on March 15, 2007, the Planning Commission of the City of San Diego held a public hearing for the purpose of considering and recommending to the Council of The City of San Diego approval of the resolutions amending the Progress Guide and General Plan, the University Community Plan, and the Costa Verde Specific Plan No. 10763, and grant Easement Vacation No. 372423, Public Right-of-way Vacation No. 372426, Vesting Tentative Map No. 372429, Planned Development Permit No. 10761 and Site Development Permit No. 37242254; and

WHEREAS, COSTA VERDE HOTEL, LLC, Owner and Permittee, requested an amendment to the Progress Guide and General Plan, the University Community Plan, and the Costa Verde Specific Plan No. 10763, and an Easement Vacation No. 372423, Public Right-of-way Vacation No. 372426, Vesting Tentative Map No. 372429, Planned Development Permit No. 10761 and a Site Development Permit No. 372422 to allow the development of two 35 story towers and two 32 story towers with a total of 800 condominium units on a 4.77 acre site at 8995 Costa Verde Boulevard in the University Community Plan area; and

WHEREAS, the Planning Commission of the City of San Diego has considered all maps, exhibits, and written documents contained in the file for this project on record in the City of San Diego, and has considered the oral presentations given at the public hearing; NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission of the City of San Diego that it hereby *recommends* the City Council accept the project's Final Environmental Impact Report No. 6563, Reduced Project Alternative: 21-Story, of which the maximum building would be 21-stories and the maximum number of units would be 408.

FURTHERMORE, the Planning Commission is unable to find the extraordinary benefit that allows the Planning Commissioners to make the Statement of Overriding Considerations for the project as defined by the applicant. The Commissioners recognize that the 21-story "Reduced Project Alternative" discussed in the Final Environmental Impact (FEIR) reduces the cumulative and unmitigable impacts; however, the Commissioners acknowledge that there remains a significant unmitigated negative impact of which the findings of overriding consideration for this "reduced alternative" cannot be made.

The Motion made by Commissioner Ontai, second by Commissioner Garcia. Passed by a 4-1-2

000412

vote with Commissioner Naslund voting NAY, Commissioner Griswold not present, and one vacancy

A handwritten signature in black ink, appearing to read "Tim Daly", written over a horizontal line.

Tim Daly
Development Project Manager
Development Services Department

Dated: March 15, 2007

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM

**PROGRESS GUIDE AND GENERAL PLAN, THE UNIVERSITY COMMUNITY PLAN,
AND THE COSTA VERDE SPECIFIC PLAN AMENDMENT NO. 10763, VESTING
TENTATIVE MAP NO. 372429, EASEMENT VACATION NO. 372423, PUBLIC RIGHT-
OF-WAY VACATION NO. 372426, PLANNED DEVELOPMENT PERMIT NO. 10761,
SITE DEVELOPMENT PERMIT NO. 372422, AND PUBLIC RIGHT OF WAY PERMIT
NO. 464724**

Project No. 6563

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Land Development Review Division, 1222 First Avenue, Fifth Floor, San Diego, CA 92101. All mitigation measures contained in the Mitigated Negative Declaration No.6624) shall be made conditions of the **VESTING TENTATIVE MAP NO. 372429, EASEMENT VACATION NO. 372423, PUBLIC RIGHT-OF-WAY VACATION NO. 372426, PLANNED DEVELOPMENT PERMIT NO. 10761, SITE DEVELOPMENT PERMIT NO. 372422, AND PUBLIC RIGHT OF WAY PERMIT NO. 464724** as may be further described below.

GENERAL

Prior to the issuance of a Notice to Proceed (NTP) or any permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the Assistant Deputy Director (ADD) environmental designee of the City's Land Development Review Division (LDR) shall verify that the following statement is shown on the grading and/or construction plans as a note under the heading Environmental Requirements: "MONTE VERDE" is subject to a Mitigation, Monitoring and Reporting Program and shall conform to the mitigation conditions as contained in the Environmental Impact Report Number 6563."

Prior to the issuance of a Notice to Proceed (NTP) or any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, which ever is applicable, the owner/permittee shall make arrangements to schedule a preconstruction meeting (precon meeting) to ensure implementation of the Mitigation Monitoring and Reporting Program (MMRP). The meeting shall include the Resident Engineer (RE), Principal Qualified Biologist (PQB) biologist, monitoring archaeologist, monitoring paleontologist, and staff from the City's Mitigation Monitoring Coordination (MMC) Section.

TRAFFIC AND CIRCULATION

Construction of intersection improvements identified in Table 5.2-19 would reduce project impacts to below a level of significance. As illustrated in Table 5.2-19, the mitigation required

of the project would be dependent upon the status of Regents Road and Genesee Avenue Widening. As identified in Table 5.2-19, different improvements would be required if Regents Road and Genesee Avenue Widening are not completed pursuant to the Community Plan. Construction of freeway ramp metering improvements or payment of a fair share contribution would reduce project freeway ramp impacts but not to below a level of significance.

Mitigation Measure 5.2-1: Prior to the issuance of the first building permit (exclusive of a building permit to construct a foundation for the parking garage for the first and second towers), the developer shall construct or otherwise assure, by permit and bond, all intersection improvements identified in Table 5.2-19.

Mitigation Measure 5.2-2: Prior to the issuance of the first building permit (exclusive of a building permit to construct a foundation for the parking garage for the first and second towers), the developer shall assure, by permit and bond, construction or a fair share payment for freeway ramp meter improvements identified in Table 5.2-19.

VISUAL EFFECTS/NEIGHBORHOOD CHARACTER

If the retaining wall option is selected to construct the offsite sewer improvement, the following mitigation measure would reduce impacts but not to below a level of significance:

Mitigation Measure 5.3-1: The retaining wall shall be constructed out of earth-tone materials and additional tall-growing vegetation shall be planted on either side of the wall to soften its appearance, as required by the Conceptual Wetland Revegetation Plan (included in Appendix H). In addition, the retaining wall for the turn-around area would be earth-tone and plantable, as required by the Conceptual Wetland Revegetation Plan. All planting materials shall be subject to approval by DSD and the Park and Recreation Department.

If the manufactured fill option is selected to construct the offsite sewer improvement, the following mitigation measure would reduce impacts but not to below a level of significance:

Mitigation Measure 5.3-2: The slopes shall be planted with native vegetation including coastal sage scrub, as required by the Conceptual Wetland Revegetation Plan (included in Appendix H). In addition, the retaining wall for the turn-around area would be earth-tone and plantable, as required by the Conceptual Wetland Revegetation Plan. All planting materials shall be subject to approval by DSD and the Park and Recreation Department.

PUBLIC FACILITIES AND SERVICES

The following mitigation measures would reduce the direct impact of the Project on local landfill capacity to below a level of significance.

Mitigation Measure 5.4-1: As required by the City of San Diego, the developer shall provide exterior areas in which to store trash and recyclable materials, in compliance with Municipal Code 101.2001.

Mitigation Measure 5.4-2: Prior to the issuance of a grading permit, the applicant shall receive approval from the Assistant Deputy Director (ADD) that a Waste Management Plan has been

prepared, approved by the ESD, and implemented for the project. Also prior to the issuance of the grading permit, the applicant shall submit evidence to the ADD that the final Demolition/Construction report has been approved by Mitigation Monitoring Coordination (MMC) and ESD. This report shall summarize the results of implementing the above Waste Management Plan elements, including: the actual waste generated and diverted from the project, the waste reduction percentage achieved, and how that goal was achieved, etc.

Mitigation Measure 5.4-3: At least thirty days prior to beginning any work on the site, demolition and/or grading, for the implementation of the MMRP, the Permittee is responsible to arrange a Precon Meeting that shall include: the Construction Manager or Grading Contractor, MMD, and ESD and the Resident Engineer (RE).

- At the Precon Meeting, the Permittee shall submit three (3) – reduced copies (11 x 17) of the approved waste management plan, to MMC (2) and ESD (1).
- Prior to the start of demolition, the Permittee/the Construction Manager shall submit a construction schedule to MMC and ESD.

Mitigation Measure 5.4-4: The Permittee/Construction Manager shall call for inspections by both MMC and ESD who will periodically visit the construction site to verify implementation of the waste management plan.

Mitigation Measure 5.4-5: After completion of the MMRP, a final results report shall be submitted to MMC.

Mitigation Measure 5.4-6: Prior to the issuance of any permit, including but not limited to a grading or other construction permit, the ADD shall verify that all the requirements of the waste management plan have been shown and/or noted on the Demolition and/or Grading Plans (construction documents).

- 1) Prior to issuance of a demolition permit for the demolition of the existing western ramp of the Genesee Avenue pedestrian bridge, the permittee shall be responsible to arrange a preconstruction meeting. This meeting shall be coordinated with MMC to verify that implementation of the waste management plan shall be performed in compliance with the plan approved by LDR and the San Diego ESD.
- 2) The plan (construction documents) shall include the following elements for grading, construction, and occupancy phases of the project as applicable:
 - a) Tons of waste anticipated to be generated,
 - b) Material type of waste to be generated,
 - c) Source separation techniques for waste generated,
 - d) How materials will be reused onsite,
 - e) Name and location of recycling, reuse, or landfill facilities where waste will be taken if not reused onsite.
 - f) A “buy recycled” program,
 - g) How the project will aim to reduce the generation of construction/demolition debris,

- h) A plan of how waste reduction and recycling goals will be communicated to subcontractors, and
 - i) A time line for each of the three main phases of the project as stated above.
- 1) The plan shall strive for a goal of 50% waste reduction.
 - 2) The plan shall include specific performance measures to be assessed upon the completion of the project to measure success in achieving waste minimization goals. The Permittee shall notify MMC and ESD when:
 - a) A construction permit is issued.
 - b) When construction begins.
 - c) The permittee shall arrange for progress inspections, and a final inspection, as specified in the plan and shall contact both MMC and ESD to perform these periodic site visits during construction to inspect the progress of the project's waste diversion efforts. Notification shall be sent to:

<p>MMC Mitigation Monitoring Coordination 9601 Ridgehaven Ct. Suite 320, MS 1102B San Diego, CA 92123-1636 (619) 980-7122</p>	<p>Environmental Services Department 9601 Ridgehaven Ct. Suite 320, MS 1102B San Diego, CA 92123-1636 (858) 492-5010</p>
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- a) When Demolition ends.
- 1) Prior to the issuance of a grading permit, the applicant shall receive approval from the ADD that the waste management plan has been prepared, approved, and implemented. Also prior to the issuance of the grading permit, the applicant shall submit evidence to the ADD that the final Demolition/Construction report has been approved by MMC and ESD. This report shall summarize the results of implementing the above Waste Management Plan elements, including: the actual waste generated and diverted from the project, the waste reduction percentage achieved, and how that goal was achieved, etc.

Preconstruction Meeting

- 1) At least thirty days prior to beginning any work on the site, demolition and/or grading, for the implementation of the MMRP, the Permittee is responsible to arrange a Preconstruction Meeting that shall include the: Construction Manager or Grading Contractor; MMC and ESD and the RE, if there is an engineering permit.
- 2) At the Preconstruction Meeting, the Permittee shall submit 3 reduced copies (11 x 17") of the approved waste management plan, to MMC (2) and ESD (1).
- 3) Prior to the start of demolition, the Permittee/Construction Manager shall submit a construction schedule to MMC and ESD.

During Construction

The Permittee/Construction Manager shall call for inspections by both MMC and ESD who will periodically visit the construction site to verify implementation of the waste management plan.

Post Construction

- 1) After completion of the implementation of the MMRP, a final results report shall be submitted to MMC to coordinate the review by the ADD and ESD.
- 2) Prior to final clearance of any demolition permit, issuance of any grading or building permit, release of the grading bond and/or issuance of Certificate of Occupancy, the applicant shall provide documentation that the ADD of LDR and the ESD, that the waste management plan has been effectively implemented.

PALEONTOLOGICAL RESOURCES

Potential impacts to paleontological resources would be reduced to below a level of significance through implementation of the following mitigation measure.

Mitigation Measure 5.5-1: The following shall be implemented:

I. Prior to Permit Issuance

A. Land Development Review (LDR) Plan Check

1. Prior to Notice to Proceed (NTP) for any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring, the Applicant shall arrange

a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.

- a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored

Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor Shall be Present During Grading/Excavation/Trenching
 1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities.**
 2. The monitor shall document field activity via the Consultant Site Visit Record (CSVr). The CSVr's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
 3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
- B. Discovery Notification Process
 1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the

discovery.

3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.

C. Determination of Significance

1. The PI shall evaluate the significance of the resource.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
 - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
 - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
 - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

IV. Night Work

- A. If night work is included in the contract
 1. When night work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries
In the event that no discoveries were encountered during night work, The PI shall record the information on the CSVr and submit to MMC via fax by 9am the following morning, if possible.
 - b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
 - c. Potentially Significant Discoveries
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM the following morning to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

V. Post Construction

- A. Submittal of Draft Monitoring Report
 - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative) which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,
 - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with the San Diego Natural History Museum
The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
 - 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 - 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 - 4. MMC shall provide written verification to the PI of the approved report.
 - 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Fossil Remains
 - 1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
 - 2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate
- C. Curation of fossil remains: Deed of Gift and Acceptance Verification
 - 1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
 - 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
 - 1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 - 2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

NOISE

The following mitigation measure would reduce the noise impacts of the project, as conditioned, to below a level of significance.

Mitigation Measure 5.6-1: Prior to issuance of a building permit, an acoustical study shall be conducted to determine the appropriate barrier design and height to achieve noise levels below 65 dB(A) CNEL within designated ground level recreation areas illustrated in Figure 5.6-4 of the

EIR. Prior to issuance of a certificate of occupancy for any tower containing designated outdoor open space, an acoustical engineer or equivalent shall confirm to the ADD that the noise attenuation identified in the acoustical analysis is in place and that it reduces exterior noise levels to below a level of significance. If it does not, additional noise attenuation measures shall be implemented to the satisfaction of the ADD to assure exterior noise levels are below 65 dB(A).

BIOLOGICAL RESOURCES

The following mitigation measures would reduce the impact of the offsite sewer improvement on sensitive habitats to below a level of significance.

Mitigation Measure 5.7-1: Prior to the issuance of the first grading permit for the offsite sewer improvement, the owner/Permittee shall make a contribution to the City's Habitat Acquisition Fund to compensate for impacts to Tier I, II and IIIB upland habitat, based on the mitigation requirements specified in Tables 5.7-3A or 3B, as applicable. The contribution shall be based on a fee of \$25,000 per acre plus a 10 percent administrative fee.

Mitigation Measure 5.7-2: Prior to the issuance of the first grading permit for the offsite sewer improvement and/or the first pre-construction meeting, the owner/permittee shall submit evidence to the ADD of LDR verifying that a qualified biologist has been retained to implement the biological resources mitigation program as detailed below (see 1 through 4):

1. Prior to the first pre-construction meeting, the applicant shall hire and submit for approval a letter verifying the qualifications of the biological professional to MMC and the ADD of LDR. This letter shall identify the Qualified Project Biologist (QPB) and Qualified Biological Monitor (QBM), where applicable, and the names of all other persons involved in the implementation of the revegetation/restoration plan and biological monitoring program, as they are defined in the City of San Diego Biological Review Process.
2. At least thirty days prior to the pre-construction meeting, a second letter shall be submitted to the ADD of LDR which includes the name and contact information of the Biologist and the names of all persons involved in the biological monitoring of the project.
3. At least thirty days prior to the pre-construction meeting, the qualified biologist shall verify that any special reports, maps, plans and time lines, such as but not limited to, revegetation plans, plant relocation requirements, avian or other wildlife protocol surveys, impact avoidance areas or other such information has been completed and updated.
4. The QBP shall attend the first preconstruction meeting.

TABLE 5.7-3A
Mitigation Ratios for Upland Vegetation Communities Assuming Applicant Creates
Construction Access from the South

VEGETATION COMMUNITY/ JURISDICTIONAL HABITAT	IMPACT ACREAGE		MITIGATION RATIO		TOTAL MITIGATION ACRES ¹
	INSIDE MHPA	OUTSIDE MHPA	INSIDE MHPA	OUTSIDE MHPA	
Option 2A					
Native Grassland	0.00	0.01	1:1	2:1	0.01/0.02
Diegan Coastal Sage Scrub	0.00	0.06	1:1	1.5:1	0.06/0.09
Diegan Coastal Sage Scrub	0.02	0.00	1:1	2:1	0.02/0.4
Diegan Coastal Sage Scrub	0.03	0.00	2:1		0.06
Non-native Grassland	0.00	0.02	0.5:1	1:1	0.01/0.02
Non-native Grassland	0.28	0.00	1:1	1.5:1	0.28/0.42
Option 2A Total	0.33	0.09			0.44/0.65²
Option 2B(1)					
Native Grassland	0.00	0.01	1:1	2:1	0.01/0.02
Diegan Coastal Sage Scrub	0.00	0.06	1:1	1.5:1	0.06/0.09
Diegan Coastal Sage Scrub	0.02	0.00	1:1	2:1	0.02/0.4
Diegan Coastal Sage Scrub	0.03	0.00	2:1		0.06
Non-native Grassland	0.00	0.02	0.5:1	1:1	0.01/0.02
Non-native Grassland	0.28	0.00	1:1	1.5:1	0.28/0.42
Option 2B(1) Total	0.33	0.09			0.46/0.65²
Option 2B(2)					
Native Grassland	0.00	0.01	1:1	2:1	0.01/0.02
Diegan Coastal Sage Scrub	0.00	0.09	1:1	1.5:1	0.09/0.14
Diegan Coastal Sage Scrub	0.04	0.00	1:1	2:1	0.04/0.08
Diegan Coastal Sage Scrub	0.03	0.00	2:1 ²		0.06
Non-native Grassland	0.00	0.02	0.5:1	1:1	0.01/0.02
Non-native Grassland	0.31	0.00	1:1	1.5:1	0.31/0.47
Option 2B(2) Total	0.38	0.12			0.52/0.79²

- ¹ First number represents mitigation requirement if all occurs inside the MHPA/Second number represents total if all mitigation occur outside the MHPA.
- ² Includes 0.06 acres required to compensate for impacts to 0.03 acres of Diegan coastal sage scrub which was previously restored. This mitigation is required to occur within the MHPA.

TABLE 5.7-3B
Mitigation Ratios for Upland Vegetation Communities Assuming City Creates Construction Access from the South

VEGETATION COMMUNITY/ JURISDICTIONAL HABITAT	IMPACT ACREAGE		MITIGATION RATIO		TOTAL MITIGATION ACRES ¹
	INSIDE MHPA	OUTSIDE MHPA	INSIDE MHPA	OUTSIDE MHPA	
Options 2A					
Native Grassland	0.00	0.01	1:1	2:1	0.01/0.02
Diegan Coastal Sage Scrub	0.00	0.06	1:1	1.5:1	0.06/0.09
Diegan Coastal Sage Scrub	0.02	0.00	1:1	2:1	0.02/0.04
Diegan Coastal Sage Scrub	0.02	0.00	2:1 ²		0.04
Non-native Grassland	0.00	0.02	0.5:1	1:1	0.01/0.02
Non-native Grassland	0.23	0.00	1:1	1.5:1	0.23/0.35
Option 2A Total	0.27	0.09			0.37/0.58²
Option 2B(1)					
Native Grassland	0.00	0.01	1:1	2:1	0.01/0.02
Diegan Coastal Sage Scrub	0.00	0.06	1:1	1.5:1	0.06/0.09
Diegan Coastal Sage Scrub	0.02	0.00	1:1	2:1	0.02/0.04
Diegan Coastal Sage Scrub	0.02	0.00	2:1 ²		0.04
Non-native Grassland	0.00	0.02	0.5:1	1:1	0.01/0.02
Non-native Grassland	0.23	0.00	1:1	1.5:1	0.23/0.35
Option 2B(1) Total	0.27	0.09			0.37/0.58²
Option 2B(2)					
Native Grassland	0.00	0.01	1:1	2:1	0.01/0.02
Diegan Coastal Sage Scrub	0.00	0.09	1:1	1.5:1	0.09/0.14
Diegan Coastal Sage Scrub	0.04	0.00	1:1	2:1	0.04/0.08
Diegan Coastal Sage Scrub	0.02	0.00	2:1 ²		0.04
Non-native Grassland	0.00	0.02	0.5:1	1:1	0.01/0.02

Non-native Grassland	0.25	0.00	1:1	1.5:1	0.25/0.38
Option 2B(2)Total	0.31	0.12			0.44/0.70²

¹ First number represents mitigation requirement if all occurs inside the MHPA/Second number represents total if all mitigation occur outside the MHPA.

² Includes 0.06 acres required to compensate for impacts to 0.03 acres of Diegan coastal sage scrub which was previously restored. This mitigation is required to occur within the MHPA.

Mitigation Measure 5.7-3: Prior to issuance of the first grading permit for the offsite sewer improvement, all wetland areas within or adjacent to the construction areas, as illustrated on Figures 5.7-2A and B of the EIR, shall be enclosed with orange construction fencing to protect them from construction activities. A qualified biologist shall inspect all construction fencing prior to the issuance of the first grading permit and shall monitor construction activities to avoid unauthorized impacts.

Mitigation Measure 5.7-4: Prior to issuance of a grading permit for the offsite sewer, a final wetland revegetation plan shall be approved to the satisfaction of the ADD of LDR in consultation with the U.S. Army Corps of Engineers, U.S. Fish and Wildlife Service, and California Department of Fish and Game, based on the Draft Conceptual Wetland Revegetation and Monitoring Plan, included in Appendix H. Wetland compensation shall be accomplished within the Rose Canyon. Wetland compensation shall be accomplished at an overall ratio of 3:1 for southern cottonwood-willow riparian forest and 2:1 for southern willow scrub. The ratios may be achieved through a combination of creation and enhancement. However, at least 1:1 shall consist of creation. Creation shall consist of planting species which reflect the impacted wetland type. Enhancement shall consist of removal of exotics from existing wetlands. Replacement of the existing culvert over the drainage is expected to adequately compensate for the impact to the disturbed habitat/culvert jurisdictional habitat type.

The final approved wetland revegetation plan shall include: plant palette selection, mitigation bonding, planting guidelines, post-installation maintenance, success criteria and monitoring requirements.

Mitigation Measure 5.7-5: Prior to the issuance of the first grading permit for the offsite sewer improvement, all disturbed areas within or adjacent to construction areas (upland and wetland), shall require construction documents to be submitted for verification and review of the revegetation effort in accordance with the approved biological report to the satisfaction of the ADD of EAS, Park and Recreation Department, and MSCP staff.

Mitigation Measure 5.7-6: Prior to initiation of any construction-related grading, the biologist shall discuss the sensitive nature of the adjacent habitat with the crew and subcontractor. The limits of grading shall be clearly delineated by a survey crew prior to brushing, clearing or grading. The limits of grading shall be defined with silt fencing and checked by the biological monitor before initiation of construction grading. The project biologist shall monitor construction activities as needed to ensure that construction activities do not encroach into biologically sensitive areas beyond the limits of disturbance as shown on the final construction plans (Exhibit A).

Mitigation Measure 5.7-7: Prior to the issuance of any authorization to proceed for the offsite improvement, the ADD of LDR shall ensure that the following measures are included as notes on the construction plans:

1. A qualified project biologist shall inspect all construction fencing prior to issuance of the first grading permit and shall monitor construction activities to avoid unauthorized impacts.
2. All staging and storage areas for the offsite sewer improvement shall be located within the Monte Verde project site, which does not contain sensitive biological resources.
3. All construction area limits shall be clearly delineated prior to the issuance of the first grading permit activity with orange construction fencing or silt fencing to ensure that construction activity remains within the defined construction limits.
4. The biologist shall provide direction to construction personnel regarding the need to avoid impacts to adjacent sensitive areas.
5. Any plants or seeds used as erosion control or revegetation shall be approved by the City Park and Recreation Department. Plants and seeds shall only contain native species and shall only be applied under the supervision of the biologist or a landscape architect.
6. Sewer pipeline construction within 300 feet of any sensitive bio-habitat for endangered or threatened species shall avoid nesting/breeding seasons, or shall install solid barriers to fully screen the direct line of sight between the construction equipment and the habitat.
7. All work would be performed during normal daylight working hours with the exception of the connection to the existing Rose Canyon Trunk Sewer, which would be completed at a non-peak time, typically between 7pm and 4am. It is expected that the connection to the existing Rose Canyon Trunk Sewer would take approximately 3 nights and require minimal lighting, focused within the connection area (Manhole #1, located within the MHPA), that would be shielded, unidirectional, low-pressure sodium illumination (or similar) and directed away from the preserve areas using appropriate placement as shields.
8. No water used during construction related work shall be allowed to be diverted or drained off-site into the MHPA during and after construction activity. The biologist shall ensure that the appropriate measures and control devices are used as needed during construction to deter any drainage toward sensitive habitat.
9. All construction/grading plans shall be made available to crews in the field showing these conditions.
10. No exotic or invasive plant species shall be utilized in or adjacent to the MHPA.
11. Compliance with all City stormwater and drainage standards shall be met to the satisfaction of the City Engineer and the ADD of LDR.
12. Fencing shall not interfere with wildlife movement through significant MSCP identified corridors.

The following mitigation measures would reduce the direct impact of the offsite sewer improvement on sensitive species to below a level of significance.

Mitigation Measure 5.7-8: Prior to the issuance the first grading permit for the offsite sewer improvement, the City Manager (or appointed designee) shall verify that the Multi-Habitat Planning Area (MHPA) boundaries and the following project requirements regarding the coastal California gnatcatcher are shown on the construction plans:

1. A qualified biologist (possessing a valid Endangered Species Act Section 10(a)(1)(a) recovery permit) shall survey those habitat areas within the MHPA that would be subject to construction noise levels exceeding 60 dB(A) hourly average for the presence of the coastal California gnatcatcher. Surveys for the coastal California gnatcatcher shall be conducted pursuant to the protocol survey guidelines established by the U.S. Fish and Wildlife Service within the breeding season prior to the commencement of any construction. If gnatcatchers are present, then the following conditions must be met:
 - A. Between March 1 and August 15, no clearing, grubbing, or grading of occupied gnatcatcher habitat shall be permitted. Areas restricted from such activities shall be staked or fenced under the supervision of a qualified biologist; and
 - B. Between March 1 and August 15, no construction activities shall occur within any portion of the site where construction activities would result in noise levels exceeding 60 dB(A) hourly average at the edge of occupied gnatcatcher habitat. An analysis showing that noise generated by construction activities would not exceed 60 dB(A) hourly average at the edge of occupied habitat must be completed by a qualified acoustician (possessing current noise engineer license or registration with monitoring noise level experience with listed animal species) and approved by the ADD of LDR at least two weeks prior to the commencement of construction activities. Prior to the commencement of construction activities during the breeding season, areas restricted from such activities shall be staked or fenced under the supervision of a qualified biologist; or
 - C. At least two weeks prior to the commencement of construction activities, under the direction of a qualified acoustician, noise attenuation measures (e.g., berms, walls) shall be implemented to ensure that noise levels resulting from construction activities will not exceed 60 dB(A) hourly average at the edge of habitat occupied by the coastal California gnatcatcher. Concurrent with the commencement of construction activities and the construction of necessary noise attenuation facilities, noise monitoring* shall be conducted at the edge of the occupied habitat area to ensure that noise levels do not exceed 60 dB(A) hourly average. If the noise attenuation techniques implemented are determined to be inadequate by the qualified acoustician or biologist, then the associated construction activities shall cease until such time that adequate noise attenuation is achieved or until the end of the breeding season (August 16).

* Construction noise shall continue to be monitored at least twice weekly on varying days, or more frequently depending on the construction activity, to verify that noise levels at the edge of occupied habitat are maintained below 60 dB(A)

hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. If not, other measures shall be implemented in consultation with the biologist and the ADD of LDR, as necessary, to reduce noise levels to below 60 dB(A) hourly average or to the ambient noise level, if it already exceeds 60 dB(A) hourly average. Such measures may include, but are not limited to, limitations on the placement of construction equipment and the simultaneous use of equipment.

2. If coastal California gnatcatchers are not detected during the protocol survey, the qualified biologist shall submit substantial evidence to the City Manager and applicable resource agencies which demonstrates whether or not mitigation measures such as noise walls are necessary between March 1 and August 15 as follows:
 - A. If this evidence indicates the potential is high for coastal California gnatcatcher to be present based on historical records or site conditions, then condition 1 shall be adhered to as specified above.
 - B. If this evidence concludes that no impacts to this species are anticipated, no mitigation measures would be necessary.

Mitigation Measure 5.7-9: Prior to the issuance of the first grading permit for the offsite sewer improvement, the ADD of LDR (or appointed designee) shall verify that the following project requirements regarding the southwestern willow flycatcher are shown on the construction plans:

No clearing, grubbing, grading, or other construction activities shall occur between May 1 and September 1, the breeding season of the southwestern willow flycatcher, until the following requirements have been met to the satisfaction of the ADD of LDR:

1. A qualified biologist (possessing a valid Endangered Species Act Section 10(a)(1)(a) recovery permit) shall survey those wetland areas that would be subject to construction noise levels exceeding 60 decibels [dB(A)] hourly average for the presence of the southwestern willow flycatcher. Surveys for this species shall be conducted pursuant to the protocol survey guidelines established by the U.S. Fish and Wildlife Service within the breeding season prior to the commencement of any construction. If the southwestern willow flycatcher is present, then the following conditions must be met:
 - A. Between May 1 and September 1, no clearing, grubbing, or grading of occupied southwestern willow flycatcher habitat shall be permitted. Areas restricted from such activities shall be staked or fenced under the supervision of a qualified biologist; and
 - B. Between May 1 and September 1, no construction activities shall occur within any portion of the site where construction activities would result in noise levels exceeding 60 dB(A) hourly average at the edge of occupied southwestern willow flycatcher habitat. An analysis showing that noise generated by construction activities would not exceed 60 dB(A) hourly average at the edge of occupied habitat must be completed by a qualified acoustician (possessing current noise engineer license or registration with monitoring noise level experience with listed animal species) and approved by the ADD of LDR at least two weeks prior to the commencement of construction activities. Prior to the commencement of construction activities during

the breeding season, areas restricted from such activities shall be staked or fenced under the supervision of a qualified biologist; or

- C. At least two weeks prior to the commencement of construction activities, under the direction of a qualified acoustician, noise attenuation measures (e.g., berms, walls) shall be implemented to ensure that noise levels resulting from construction activities will not exceed 60 dB(A) hourly average at the edge of habitat occupied by the southwestern willow flycatcher. Concurrent with the commencement of construction activities and the construction of necessary noise attenuation facilities, noise monitoring* shall be conducted at the edge of the occupied habitat area to ensure that noise levels do not exceed 60 dB(A) hourly average. If the noise attenuation techniques implemented are determined to be inadequate by the qualified acoustician or biologist, then the associated construction activities shall cease until such time that adequate noise attenuation is achieved or until the end of the breeding season (September 1).

* Construction noise monitoring shall continue to be monitored at least twice weekly on varying days, or more frequently depending on the construction activity, to verify that noise levels at the edge of occupied habitat are maintained below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. If not, other measures shall be implemented in consultation with the biologist and the ADD of LDR, as necessary, to reduce noise levels to below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. Such measures may include, but are not limited to, limitations on the placement of construction equipment and the simultaneous use of equipment.

2. If southwestern willow flycatcher are not detected during the protocol survey, the qualified biologist shall submit substantial evidence to the ADD of LDR and applicable resource agencies which demonstrates whether or not mitigation measures such as noise walls are necessary between May 1 and September 1 as follows:
- A. If this evidence indicates the potential is high for southwestern willow flycatcher to be present based on historical records or site conditions, then condition 1 shall be adhered to as specified above.
- B. If this evidence concludes that no impacts to this species are anticipated, no further mitigation measures are necessary.

Mitigation Measure 5.7-10: Prior to the issuance of the first grading permit for the offsite sewer improvement, the ADD OF LDR (or appointed designee) shall verify that the following project requirements regarding the least Bell's vireo are shown on the construction plans:

No clearing, grubbing, grading, or other construction activities shall occur between March 15 and September 15, the breeding season of the least Bell's vireo, until the following requirements have been met to the satisfaction of the ADD of LDR.

1. A qualified biologist (possessing a valid Endangered Species Act Section 10(a)(1)(a) recovery permit) shall survey those wetland areas that would be subject to construction noise levels exceeding 60 decibels [dB(A)] hourly average for the presence of the least Bell's vireo. Surveys for this species shall be conducted pursuant to the protocol survey guidelines established by the U.S. Fish and Wildlife Service within the breeding season prior to the commencement of any construction. If the least Bell's vireo is present, then the following conditions must be met:
 - A. Between March 15 and September 15, no clearing, grubbing, or grading of occupied least Bell's vireo habitat shall be permitted. Areas restricted from such activities shall be staked or fenced under the supervision of a qualified biologist; and
 - B. Between March 15 and September 15, no construction activities shall occur within any portion of the site where construction activities would result in noise levels exceeding 60 dB(A) hourly average at the edge of occupied least Bell's vireo habitat. An analysis showing that noise generated by construction activities would not exceed 60 dB(A) hourly average at the edge of occupied habitat must be completed by a qualified acoustician (possessing current noise engineer license or registration with monitoring noise level experience with listed animal species) and approved by the ADD of LDR at least two weeks prior to the commencement of construction activities. Prior to the commencement of construction activities during the breeding season, areas restricted from such activities shall be staked or fenced under the supervision of a qualified biologist; or
 - C. At least two weeks prior to the commencement of construction activities, under the direction of a qualified acoustician, noise attenuation measures (e.g., berms, walls) shall be implemented to ensure that noise levels resulting from construction activities will not exceed 60 dB(A) hourly average at the edge of habitat occupied by the least Bell's vireo. Concurrent with the commencement of construction activities and the construction of necessary noise attenuation facilities, noise monitoring shall be conducted at the edge of the occupied habitat area to ensure that noise levels do not exceed 60 dB(A) hourly average. If the noise attenuation techniques implemented are determined to be inadequate by the qualified acoustician or biologist, then the associated construction activities shall cease until such time that adequate noise attenuation is achieved or until the end of the breeding season (September 15).
- * Construction noise monitoring shall continue to be monitored at least twice weekly on varying days, or more frequently depending on the construction activity, to verify that noise levels at the edge of occupied habitat are maintained below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. If not, other measures shall be implemented in consultation with the biologist and the ADD of LDR, as necessary, to reduce noise levels to below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. Such measures may include, but are not limited to, limitations on the placement of construction equipment and the simultaneous use of equipment.

2. If least Bell's vireo are not detected during the protocol survey, the qualified biologist shall submit substantial evidence to the ADD of LDR and applicable resource agencies which demonstrates whether or not mitigation measures such as noise walls are necessary between March 15 and September 15, as follows:
 - A. If this evidence indicates the potential is high for least Bell's vireo to be present based on historical records or site conditions, then condition 1 shall be adhered to as specified above.
 - B. If this evidence concludes that no impacts to this species are anticipated, no further mitigation measures are necessary.

Mitigation Measure 5.7-11: If construction for the offsite sewer improvement occurs during the raptor breeding season (February 1 through September 15), a preconstruction survey shall be conducted and no construction shall occur within 300 feet of any identified nest(s) until the young fledge. Should the biologist determine that raptors are nesting, an appropriate noise buffer area shall be established in coordination with EAS staff.

HISTORICAL RESOURCES

The following measures shall be implemented for construction of the offsite sewer replacement.

Mitigation Measure 5.8-1: As a condition of project approval, the applicant is required to conduct an Archaeological Research Design and Data Recovery Program (ARDDRP) for archaeological site (CA-SDI-12556). Based on the LDR-approved research design a phased data recovery program shall be implemented. The data recovery program shall include up to 15 percent of the area to be impacted. The area in which data recovery occurs shall be based on the final sewer improvement plans. A qualified archaeologist shall review the final construction plan and determine the area of potential impact. **The ADRP shall be subject to approval by the ADD Environmental Designee prior to issuance of a grading permit for the offsite sewer improvement and subsequent wetland revegetation.**

An archaeologist shall monitor all grading and earthmoving activities during construction for the offsite sewer improvement and during wetland revegetation activities within the vicinity of CA-SDI-12556 and within Genesee Avenue. Should burials/cremations or features be located, grading and/or earthmoving activities shall be halted for a period of time sufficient to allow for excavation and removal. Analysis of artifacts and ecofacts recovered during monitoring will also be included in the final report.

I. Prior to Preconstruction (Precon) Meeting

- A. Land Development Review (LDR) Plan Check
 1. Prior to the preconstruction meeting, or issuance of a Notice to Proceed (NTP) or any permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits for the offsite sewer improvement, the Assistant Deputy Director (ADD) Environmental Designee shall verify that the requirements for the **ARCHAEOLOGICAL DATA RECOVERY PROGRAM (ADRP) have been noted on the appropriate construction documents.**
- B. Letters of Qualification have been submitted to ADD

1. Prior to the preconstruction meeting, recordation of the first final map, NTP, and/or any permits, including but not limited to, issuance of a Grading Permit, Demolition Permit or Building Permit for the offsite sewer improvement, the applicant shall provide a letter of verification to the ADD Environmental Designee stating that a qualified Archaeologist, as defined in the City's Historical Resources Guidelines (HRG), has been retained to implement the ADRP. **If applicable, individuals involved in the archaeological program must have completed the 40-hour HAZWOPER training with certification documentation. ALL PERSONS INVOLVED IN THE ADRP AND MONITORING OF THIS PROJECT SHALL BE APPROVED BY THE ADD ENVIRONMENTAL DESIGNEE PRIOR TO THE START OF THE PROJECT.**
2. A Native American Monitor, if applicable, shall be present during initial excavation/grading of undisturbed ground in the event that cultural features or human remains are found and the procedures set forth in Section 2.e shall be implemented.

II. Precon Meeting

A. Qualified Archaeologist Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring, the Applicant shall arrange a Precon Meeting that shall include the Archaeologist, Construction Manager and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and Mitigation Monitoring Coordination (MMC). The qualified Archaeologist shall attend any grading related Precon Meetings to make comments and/or suggestions concerning the ADRP with the Construction Manager and/or Grading Contractor.
2. If the Monitor is not able to attend the Precon Meeting, the RE or BI, if appropriate, will schedule a focused Precon Meeting for MMC, EAS staff, as appropriate, Monitors, the Construction Manager, and appropriate Contractor's representatives to meet and review the job onsite, prior to start of any work that requires monitoring.

B. Identify Areas involved in ADRP

1. At the Precon Meeting, the Archaeologist shall submit to MMC a copy of the site/grading plan (reduced to 11x17) that identifies areas involved in the ADRP, as well as areas that may require delineation of grading limits.
2. Prior to the issuance of grading permits or NTP, the area involved in the ADRP shall be surveyed, staked and flagged by the qualified archaeologist, as defined above.

C. When ADRP Will Occur

1. Prior to the start of work, the Archaeologist shall also submit a construction schedule to MMC through the RE or BI, as appropriate, indicating when and where the ADRP is to begin and shall notify MMC of the start date for work.

D. ADRP Implementation

1. Prior to the issuance of grading permits or NTP, the owner/permittee shall implement the approved ADRP, satisfactory to the ADD Environmental Designee. The ADRP shall include a three-phased excavation program in which the sample size to be excavated will be determined in consultation with City staff and will vary with the nature and size of the archaeological site.
2. Following the data recovery excavations, the areas to be impacted shall be mechanically excavated under the direction of the qualified archaeologist to recover any additional cultural features and/or artifact concentrations using standard archaeological procedures.

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E. Human Remains

1. If human remains are discovered, work shall be halted in that area and the following procedures set forth in the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) will be taken:
2. Notification
 - a. The Archaeological Monitor shall notify the RE or BI as appropriate, MMC and the Principal Investigator (PI), if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS).
 - b. The PI shall notify the Medical Examiner, after consultation with the RE, either in person or via telephone.
3. Isolate discovery site
 - a. Work will be redirected away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner, in consultation with the PI, concerning the provenience of the remains.
 - b. The Medical Examiner, in consultation with the PI, shall determine the need for a field examination to determine the provenience.
 - c. If a field examination is not warranted, the Medical Examiner shall determine, with input from the PI, if the remains are or are most likely to be of Native American origin.
4. If Human Remains are determined to be Native American
 - a. The Medical Examiner shall notify the Native American Heritage Commission (NAHC). By law, ONLY the Medical Examiner can make this call.
 - b. The NAHC will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination.
 - c. The NAHC will identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
 - d. The PI will coordinate with the MLD for additional coordination.
 - e. Disposition of Native American human remains will be determined between the MLD and the PI, IF:
 - The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 24 hours after being notified by the Commission; OR
 - The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, the landowner or their authorized representative shall re-enter the human remains and all associated grave goods with appropriate dignity, on the property in a location not subject to subsurface disturbance. Information on this process will be provided to the NAHC.
5. If Human Remains are NOT Native American
 - a. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
 - b. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
 - c. If the remains are of historic origin, they shall be appropriately removed and conveyed to the Museum of Man for analysis. The decision for reinterment of the

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human remains shall be made in consultation with MMC, EAS, the landowner, and the Museum of Man.

F. Notification of Completion of ADRP

1. The Archaeologist shall notify MMC and the RE or BI, as appropriate, in writing of the end date of the ADRP.

III. Post Construction

A. Handling and Curation of Artifacts and Letter of Acceptance

1. The Archaeologist shall be responsible for ensuring that all cultural remains collected are cleaned, catalogued and permanently curated with an appropriate institution; that a letter of acceptance from the curation institution has been submitted to MMC; that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
2. Curation of artifacts associated with the survey, testing and/or data recovery for this project shall be completed in consultation with LDR and the Native American representative, as applicable.

B. Final Results Reports (Monitoring and Research Design And Data Recovery Program)

1. Prior to the release of the grading bond, two copies of the Final Results Report (even if negative) and/or evaluation report, if applicable, which describes the results, analysis and conclusions of the ADRP (with appropriate graphics) shall be submitted to MMC for approval by the ADD Environmental Designee.
2. MMC shall notify the RE or BI, as appropriate, of receipt of the Final Results Report.

C. Recording Sites with State of California Department of Park and Recreation

1. The Archaeologist shall be responsible for updating the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B associated with the ADRP in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Results Report.

D. Handling and curation of artifacts and Letter of Acceptance

1. The archaeologist shall be responsible for ensuring that all cultural materials and associated records collected during the initial archaeological survey and evaluation phase, implementation of the ADRP, or as a result of construction related excavation are cleaned, catalogued and permanently curated with an appropriate institution; that a letter of acceptance from the curation institution is submitted to MMC; that all artifacts are analyzed to identify function and chronology, as they relate to the history of the area, and to allow a comparison with previous nearby studies; that faunal material is identified as to species; and that specialty studies are completed, as appropriate, including obsidian hydration and sourcing analysis, protein residue studies and radiocarbon dating.
2. Curation of artifacts associated with this program shall be completed in consultation with LDR and the Native American representative, as appropriate.

- E. On completion of the ADRP and prior to issuance of grading permits, the qualified archaeologist shall attend a second preconstruction meeting to make comments and/or suggestions concerning the proposed grading process.

Mitigation Measure 5.8-2: The following Mitigation Monitoring and Reporting Program for archaeological resources shall also be implemented for the offsite sewer replacement and wetland revegetation.

I. Prior to Permit Issuance

A. Land Development Review (LDR) Plan Check

1. Prior to Notice to Proceed (NTP) for any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring, if applicable, have been noted on the appropriate construction documents.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project.
3. Prior to the start of work, the applicant must obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coast Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
3. The PI may submit a detailed letter to MMC requesting a reduction to the 1/4 mile radius.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring, the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.

2. Identify Areas to be Monitored
 - a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.
 - b. The AME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor Shall be Present During Grading/Excavation/Trenching
 1. The monitor shall be present full-time during grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities.**
 2. The monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
 3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered may reduce or increase the potential for resources to be present.
- B. Discovery Notification Process
 1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- C. Determination of Significance
 1. The PI and Native American representative, if applicable, shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.

- a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
- b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
- c. If resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

D. Pipeline Discovery

1. If the resources is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) and obtain written approval of the program from MMC, CM and RE. ADRP and any mitigation must be approved by MMC, RE and/or CM before ground disturbing activities in the area of discovery will be allowed to resume.
 - a. Note: For pipeline trenching projects only, the PI shall implement the Discovery Process for Pipeline Trenching projects identified below under "D".
2. If resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.
 - a. Note: For Pipeline Trenching Projects Only. If the deposit is limited in size, both in length and depth; the information value is limited and is not associated with any other resource; and there are no unique features/artifacts associated with the deposit, the discovery should be considered not significant.
 - b. Note, for Pipeline Trenching Projects Only: If significance can not be determined, the Final Monitoring "Report and Site Record (DPR Form 523A/B) shall identify the discovery as Potentially Significant.

IV. Discovery of Human Remains

If human remains are discovered, work shall halt in that area and the following procedures set forth in the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

A. Notification

1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS).
2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.

B. Isolate discovery site

1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenience of the remains.
2. The Medical Examiner, in consultation with the PI, shall determine the need for a field examination to determine the provenience.

3. If a field examination is not warranted, the Medical Examiner shall determine with input from the PI, if the remains are or are most likely to be of Native American origin.
- C. If Human Remains **ARE** determined to be Native American
1. The Medical Examiner shall notify the Native American Heritage Commission (NAHC). By law, **ONLY** the Medical Examiner can make this call.
 2. The NAHC shall contact the PI within 24 hours or sooner, after Medical Examiner has completed coordination.
 3. NAHC shall identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
 4. The PI shall coordinate with the MLD for additional consultation.
 5. Disposition of Native American Human Remains shall be determined between the MLD and the PI, IF:
 - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 24 hours after being notified by the Commission; OR;
 - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner.
- D. If Human Remains are **NOT** Native American
1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
 2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
 3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the Museum of Man for analysis. The decision for internment of the human remains shall be made in consultation with MMC, EAS, the applicant/landowner and the Museum of Man.

V. Night Work

- A. If night work is included in the contract
1. When night work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries
In the event that no discoveries were encountered during night work, The PI shall record the information on the CSV and submit to MMC via fax by 9am the following morning, if possible.
 - b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV - Discovery of Human Remains.
 - c. Potentially Significant Discoveries
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM the following morning to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction

1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

VI. Post Construction

A. Submittal of Draft Monitoring Report

1. The PI shall submit two copies of the Draft Monitoring Report (even if negative) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,
 - a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with State of California Department of Parks and Recreation
The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
4. MMC shall provide written verification to the PI of the approved report.
5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.

B. Handling of Artifacts

1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.

C. Curation of artifacts: Accession Agreement and Acceptance Verification

1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.

D. Final Monitoring Report(s)

1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
 CITY CLERK
 MAIL STATION 2A

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 42-0908

PLANNED DEVELOPMENT PERMIT NO. 10761
 SITE DEVELOPMENT PERMIT NO. 372422
 PUBLIC RIGHT OF WAY PERMIT NO. 464724
MONTE VERDE [MMRP]
 CITY COUNCIL

This Planned Development Permit No. 10761, Site Development Permit No. 372422, and Public Right of Way Permit No. 464724 is granted by the City Council of the City of San Diego to COSTA VERDE HOTEL, LLC, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0601 and 126.0501. The 4.77 acre site is located at 8995 Costa Verde Boulevard in the RS-1-14, Parking Impact Overlay, Community Plan Implementation Overlay "A" Zones within the University Community Plan Area. The project site is legally described as Lot 12, Costa Verde, according to Map No. 12045, filed April 18, 1988 and as corrected by a certificate of correction recorded July 23, 1993 as document 93-470224 of official records.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct one 23-story building, two 22-story buildings, and one 21-story building for a total of 560 condominium units on a 4.77 acre site with improvements in the public right-of-way, site landscaping, described and identified by size, dimension, quantity, type, and location on the approved Exhibits "A", dated September 17, 2007, on file in the Development Services Department.

The project shall include the following buildings as shown in the below table:

- a. One 23-story building, two 22-story buildings, and one 21-story building;
- b. Landscaping (planting, irrigation and landscape related improvements);

- c. Pedestrian Bridge structure across La Jolla Village Drive, south of Genesee Avenue, connecting the Monte Verde development to the north side of La Jolla Village Drive's pedestrian walkway, a public right of way;
- d. 1,312 required off-street parking spaces, including a minimum of 38 accessible spaces, 270 bicycle spaces, and 58 motorcycle spaces; and
- d. Accessory improvements determined by the City Manager to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

STANDARD REQUIREMENTS:

1. Construction, grading or demolition must commence and be pursued in a diligent manner within thirty-six months after the effective date of final approval by the City, following all appeals. Failure to utilize the permit within thirty-six months will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all the SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder
3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the City Manager.
4. This Permit is a covenant running with the subject property and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.
5. The utilization and continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

8. Before issuance of any building or grading permits, complete grading and working drawings shall be submitted to the City Manager for approval. Plans shall be in substantial conformity to Exhibit "A," on file in the Development Services Department. No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. At all bus stops within the project area, if any, the Owner/Permittee shall be responsible for installing sidewalk improvements where needed to comply with Americans with Disability Act (ADA) requirements and in accordance with standards contained in the City of San Diego Street Design Manual.

11. The Owner/Permittee shall participate in and not oppose the formation of a special assessment district, or other financing mechanism, for the construction of Super Loop bus transit stations and/or ongoing operation for the Super Loop Transit Project operated by SANDAG and MTS.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

12. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program (MMRP). These MMRP conditions are incorporated into the permit by reference or authorization for the project.

13. As conditions of Planned Development Permit No. 10761, University Community Plan Amendment No. 10763, Site Development Permit No. 372422, Public Right of Way Permit No.

464724, Easement Vacation No. 372423 and Public Right of Way Vacation No. 372426, the mitigation measures specified in the MMRP, and outlined in Environmental Impact Report No. 6563 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL/MITIGATION REQUIREMENTS.

14. The Owner/Permittee shall comply with the Mitigation, Monitoring, and Reporting Program (MMRP) as specified in Environmental Impact Report No. 6563 shall be satisfactory to the City Manager and City Engineer. Prior to issuance of the first building permit, all conditions of the MMRP shall be adhered to the satisfaction of the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:

- Transportation/Traffic Circulation
- Visual Effects/Neighborhood Character
- Public Facilities
- Paleontological Resources
- Noise
- Biological Resources
- Historical Resources

15. Prior to issuance of any building permit, the Owner/Permittee shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.

AFFORDABLE HOUSING REQUIREMENTS:

16. Prior to recordation of the Final Map, the Owner/Permittee shall comply with the Affordable Housing Requirements of the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code) by entering into an agreement with the San Diego Housing Commission to assure that the affordable units are provided and occupied by eligible households.

FIRE DEPARTMENT REQUIREMENTS:

17. Prior to issuance of a grading permit for any of the four residential towers, the Owner/Permittee shall provide security to the City assuring the design and construction of a new City fire station in the University community. The security shall be in the form acceptable to the Development Services Department. If the City has not prepared a formal cost estimate for the construction of the new station before the Owner/Permittee applies for a grading permit, the security shall be on an assumed total cost of \$8.0 million.

18. The Owner/Permittee shall construct the fire station for the City. The Owner/Permittee shall enter into a reimbursement agreement with the City of San Diego which will identify that the Permittee shall be entitled to reimbursement from the North University City Facilities Benefit Assessment Program, in cash and/or credit, for 100 percent of the cost of the fire station facility. This agreement shall include the following milestones: (1) Within 30 days following

the City's selection and environmental certification of a designated site location, the Owner/Permittee will commence with the design phase for the fire station facility; and (2) The Owner/Permittee will commence with the construction of the fire station, or otherwise assure construction to the satisfaction of the Development Services Department, no later than twelve months after the start of the design phase or prior to the issuance of a construction permit for the fourth residential tower, excluding a permit to construct a foundation for the parking garage for the fourth tower, whichever occurs first.

ENGINEERING REQUIREMENTS:

19. The drainage system for this project shall be private and will be subject to approval by the City Engineer.

20. The Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code.

21. The Owner/Permittee shall enter into a Hold Harmless Agreement with the City for the public drainage system in the private property.

22. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

23. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1, Grading Regulations of the Municipal Code, into the construction plans or specifications.

24. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

25. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate and show the type and location of all post construction Best Management Practices (BMP's) on the final construction drawings, consistent with the approved Water Quality Technical Report.

26. Development of this project shall comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 99 08 and the Municipal Storm Water Permit, Order No. 2001-01 (NPDES General Permit No. CAS000002 and CA S0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan (SWPPP) and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent (NOI) shall be filed with the SWRCB.

A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 99 08 DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in Section C.7 of SWRCB Order No. 99 08 DWQ.

27. This project proposes to export 470,000 cubic yards of material from the project site. All export material shall be discharged into a legal disposal site. The approval of this project does not allow the processing and sale of the export material. All such activities require a separate Conditional Use Permit.

28. Prior to issuance of any construction permits for the La Jolla Village Drive pedestrian bridge, the Owner/Permittee shall obtain a Encroachment, Maintenance and Removal Permit, satisfactory to the City Engineer.

29. The Owner/Permittee shall remove the existing sidewalk and construct a minimum 5-foot wide or greater, non-contiguous sidewalk, along the project frontage on La Jolla Village Drive and Genesee Avenue, per Standard Drawings G-7 and G-9.

30. Prior to the issuance of any permits, the Owner/Permittee shall dedicate 3.5 feet to provide a minimum 5 feet non contiguous sidewalk along La Jolla Village Drive and Genesee. The face of curb to property line shall be 13.5 feet.

31. The Permit shall comply with the conditions of Vesting Tentative Map No. 372429.

LANDSCAPE REQUIREMENTS:

32. Prior to issuance of any construction permits for grading, landscape construction documents for the revegetation and hydro-seeding of all disturbed land shall be submitted in accordance with the Landscape Standards, to the satisfaction of the City Manager. All plans shall be in substantial conformance to this permit and Exhibit "A."

33. In the event that the Landscape Plan and the Site Plan conflict, the Site Plan shall be revised to be consistent with the Landscape Plan such that landscape areas are consistent with the Exhibit "A."

34. Prior to issuance of any construction permits for public right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the City Manager for approval. Improvement plans shall take into account a 40 square foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

35. Prior to issuance of any construction permits for buildings, including any shell structure, complete landscape and irrigation construction documents consistent with the Land Development Manual: Landscape Standards shall be submitted to the City Manager for

approval. The construction documents shall be in substantial conformance with Exhibit "A" Landscape Development Plan. Construction plans shall take into account a 40 square foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.

36. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

37. Prior to issuance of any construction permit for parking structures, the Owner/Permittee shall submit on the planting and irrigation plans a signed statement by a Registered Structural Engineer indicating that supporting structures are designed to accommodate the necessary structural loads and associated planting and irrigation.

38. If any required landscape, including existing or new plantings, hardscape, landscape features, et cetera., indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the City Manager within 30 days of damage or Certificate of Occupancy or a Final Landscape Inspection.

39. Prior to Certificate of Occupancy for any building, it shall be the responsibility of the Owner/Permittee to install all required landscaping associated with that building phase. A No Fee Street Tree Permit, if applicable, shall be obtained for the installation, establishment and on-going maintenance of all street trees.

PLANNING/DESIGN REQUIREMENTS:

40. A minimum of 1,312 off-street parking spaces (including a minimum of 38 accessible spaces), 270 bicycle spaces, and 58 motorcycle spaces shall be permanently maintained on the property within the approximate location shown on the project's Exhibit "A". All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code, and shall not be converted and/or utilized for any other purpose.

41. 139 parking spaces of the 1,312 on-site parking spaces shall be reserved, signed, and accessible to the property currently used by Trophy's restaurant located south of the project. This condition refines an existing recorded agreement between the Owner/Permittee and the Trophy's restaurant owner (Easement Agreement for Parking, Doc. #90 537240). Prior to issuance of the foundation permit for Tower D, Owner/Permittee shall provide plans that show separate access and accommodations for the 139 Trophy's parking spaces satisfactory to the City Engineer.

42. There shall be compliance with the regulations of the Costa Verde Specific Plan and/or the underlying zone, whichever is applicable and less restrictive. No deviations or variances are approved or granted as a condition of approval of this Permit. Where a condition, including exhibits, of this Permit establishes a provision which is more restrictive than the corresponding

regulation of the Costa Verde Specific Plan and/or the underlying zone, then the condition shall prevail.

43. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits, including, but not limited to, elevations and cross sections, or the maximum permitted building height of the Costa Verde Specific Plan, whichever is lower. No deviations or variances are approved or granted as a condition of approval of this Permit.

44. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Permittee.

45. Any future requested amendment to this Permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.

46. All signs associated with this development shall be consistent with sign criteria established by either of the following:

- a. Approved project sign plan (Exhibit "A," on file in the Development Services Department); or
- b. Citywide sign regulations

47. The Owner/Permittee shall post a copy of the approved discretionary permit and Vesting Tentative Map in the sales office for consideration by each prospective buyer

48. Prior to the issuance of any building permits (exclusive of a building permit to construct a foundation for the parking garage for the first and second towers), complete outdoor lighting information shall be submitted to the Development Services Department, Land Development Review Division, for review and approval. Complete lighting information shall include a plan view photometric analysis indicating an isofoot candle plot and a point by point plot to include all areas within the private property and to extend a minimum of 50 feet beyond the property line, construction details as necessary to direct installation of the outdoor lighting system, manufacturers name, visors, prisms, lenses and reflectors and a lighting plan locating each fixture in plan view and a legend. The outdoor lighting system shall be designed, manufactured and installed to allow shading, adjusting, and shielding of the light source so all outdoor lighting is directed to fall only onto the same premises as light sources are located.

Prior to the issuance of any occupancy permit, a night inspection shall be required to verify compliance of the outdoor lighting system. No light shall be directed to fall outside the property line. Light levels along the perimeter of the property shall be measured no higher than three footcandles. Light levels throughout the development shall be the least practical level necessary to effectively illuminate the operation. Sky glow or light halo shall be reduced to the greatest extent practical and in no case shall initial light levels be measured exceeding eight footcandles

anywhere within the site. The Owner/Permittee, or an authorized representative, shall provide an illuminance meter to measure light levels as required to establish conformance with the conditions of this Permit during the night inspection. Night inspections may be required additional fees as determined by the City Manager.

49. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

50. The use of textured or enhanced paving shall meet applicable City standards as to location, noise and friction values.

51. The subject property and associated common areas on site shall be maintained in a neat and orderly fashion at all times.

52. All uses, except storage and loading, shall be conducted entirely within an enclosed building. Outdoor storage of merchandise, material and equipment is permitted in any required interior side or rear yard, provided the storage area is completely enclosed by walls, fences, or a combination thereof. Walls or fences shall be solid and not less than six feet in height and, provided further, that no merchandise, material or equipment stored not higher than any adjacent wall.

53. No mechanical equipment, tank, duct, elevator enclosure, cooling tower, mechanical ventilator, or air conditioner shall be erected, constructed, converted, established, altered, or enlarged on the roof of any building, unless all such equipment and appurtenances are contained within a completely enclosed, architecturally integrated structure whose top and sides may include grillwork, louvers, and latticework.

54. Prior to the issuance of building permits, construction documents shall fully illustrate compliance with the Citywide Storage Standards for Trash and Recyclable Materials (SDMC) to the satisfaction of the City Manager. All exterior storage enclosures for trash and recyclable materials shall be located in a manner that is convenient and accessible to all occupants of and service providers to the project, in substantial conformance with the conceptual site plan marked Exhibit "A," on file in the Development Services Department.

55. The Owner/Permittee shall provide a kiosk or bulletin board that displays information on transit use, carpooling, and other forms of ridesharing for office, residential and hotel tenants/guests.

56. No more than four pushcarts shall be allowed in the areas identified as "Civic Green" and "Pocket Park" on Lots 2 and 3 of the approved Exhibit "A," pursuant to SDMC §141.0619(a). The hours of operation for pushcarts shall occur only between the hours of 6:00 am and 12:00 midnight.

57. The pedestrian and non-motorized vehicle easement shown on the approved Exhibit "A" shall be free of all obstructions and maintained at all times. Obstructions shall include, yet not

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be limited to, telephone booths, newspaper stands, pushcarts, trash receptacles, benches, trees, and other similar objects.

TRANSPORTATION REQUIREMENTS:

58. Prior to the issuance of the first building permit, exclusive of a building permit to construct a foundation for the parking garage for the first and second towers, the Owner/Permittee shall assure, by permit and bond, construction of a pedestrian bridge from Costa Verde to the north side of La Jolla Village Drive as stated in the Costa Verde Specific Plan Final EIR, and as shown on Exhibit "A," satisfactory to the City Engineer. The bridge shall be constructed and accepted by the City prior to the occupancy of any unit within this 560 dwelling unit development. To the extent that construction of the pedestrian bridge will benefit other projects, the Owner/Permittee shall be entitled to, but not necessarily obligated to, seek reimbursement by applying for a Cost Reimbursement District, consistent with Municipal Code 142.0680.

59. The Owner/Permittee shall provide one 16-passenger bus operating five days a week with half-hour frequency to provide free service to UCSD, Scripps Hospital, Sorrento Valley Transit station, and other destinations within the community, similar to the SANDAG proposed Superloop route, for the Costa Verde Specific Plan residents until such time as it may be replaced or augmented by SANDAG's Superloop, satisfactory to the City Engineer.

60. Prior to the issuance of the first building permit, exclusive of a building permit to construct a foundation for the parking garage for the first and second towers, the Owner/Permittee shall assure, by permit and bond, construction of all intersection improvements identified in Table 5.2-19 of the Monte Verde Final EIR, dated Dec. 22, 2006. To the extent that the mitigation requirements will benefit other projects, the Owner/Permittee shall be entitled to, but not necessarily obligated to, seek reimbursement by applying for a Cost Reimbursement District, Municipal Code 142.0680.

61. Prior to the issuance of the first building permit, exclusive of a building permit to construct a foundation for the parking garage for the first and second towers, the Owner/Permittee shall assure, by permit and bond, construction or fair-share payment for improvements to mitigate freeway ramp meter impacts identified in Table 5.2-19 of the Monte Verde Final EIR, as modified by the Additional Information Statement, dated May 24, 2007.

62. Prior to the issuance of the first building permit, the Owner/Permittee shall assure, by permit and bond, widening of Private Drive "A" to 46 feet of pavement, to be striped as a two lane road with a two-way-left-turn-lane between Costa Verde Boulevard and the project's southerly property line with transition to two lanes from project's southerly property line to Esplanade Court, satisfactory to the City Engineer.

63. Prior to the issuance of the first building permit, the Owner/Permittee shall assure, by permit and bond, restriping of the northbound approach on Costa Verde Boulevard at Private Drive "A" to provide one exclusive right turn lane and one exclusive through lane, satisfactory to the City Engineer.

64. All conditions/mitigations listed in the approved traffic analysis for the Monte Verde project must be addressed, satisfactory to the City Engineer.

65. The Owner/Permittee shall comply with all current street lighting standards according to the City of San Diego Street Design Manual (Document No. 297376, filed November 25, 2002) and the amendment to Council Policy 200-18 approved by City Council on February 26, 2002 (Resolution R-296141) satisfactory to the City Engineer. This may require, but not be limited to the installation of new street light(s), upgrading light from low pressure to high pressure sodium vapor, and/or upgrading wattage.

WASTEWATER REQUIREMENTS:

66. Prior to the issuance of any occupancy, the Owner/Permittee shall have completed the construction of all of the off-site public sewer facilities necessary to serve this development per the approved improvement drawings, and shall show evidence that they are operational.

67. The Owner/Permittee shall design all proposed public sewer facilities, and prepare necessary improvement drawings, according to the most current edition of the City of San Diego's Sewer Design Guide. Proposed facilities that do not meet the current standards shall be re designed.

68. Prior to the approval of any building and/or public improvement permits, the Owner/Permittee shall provide evidence, satisfactory to the Metropolitan Wastewater Department Director, indicating that each lot or unit will have its own sewer lateral or provide CC&R's for the operation and maintenance of all on site private sewer facilities that serve more than one lot (or unit).

69. All proposed public sewer facilities are to be designed and constructed in accordance with established criteria in the most current City of San Diego sewer design guide. Proposed facilities that do not meet the current standards shall be private or re-designed.

70. All proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the building permit plan check.

71. To the extent that the above sewer improvements benefit other projects, the Owner/Permittee shall be entitled to, but not necessarily obligated to, seek reimbursement by way of entering into a Reimbursement Agreement with the City or by applying for a Cost Reimbursement District, consistent with either Council Policy 400-07 or Municipal Code 142.0680.

72. Prior to the issuance of any public permit, exclusive of a building permit to construct a foundation for the parking garage for the tower "A" and tower "B," the Owner/Permittee shall assure, by permit and bond, the design and construction of all off-site public sewer facilities that are necessary to serve this development, pursuant to the accepted sewer study.

WATER REQUIREMENTS:

73. Prior to the issuance of any building permits, the Owner/Permittee shall apply for plumbing permit(s) for the installation of private back flow prevention device(s) on all existing or proposed water services to the development, including all domestic, fire and irrigation services, in a manner satisfactory to the Water Department Director and the City Engineer. All backflow prevention devices shall be located above grade and outside of any private structures.

74. Prior to the issuance of any certificates of occupancy, the Owner/Permittee shall install fire hydrants at locations satisfactory to the Fire Department, the Water Department Director and the City Engineer. Fire hydrants shall be located a minimum of five feet from any structures above, at, or below grade. Fire hydrants installed on private property shall be private.

75. Prior to the issuance of any certificates of occupancy, the Owner/Permittee shall design and construct new public water facilities, into acceptable alignments and right-of-way, in the event any public water facility adjacent to the project site loses integrity due to the construction and grading activities associated with this development, in a manner satisfactory to the Water Department Director and the City Engineer.

76. Prior to the issuance of any certificates of occupancy, the public water facilities, including domestic, fire and irrigation services and meters necessary to serve this development, shall be complete and operational in a manner satisfactory to the Water Department Director and the City Engineer.

77. The Owner/Permittee agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current editions of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Public water facilities and easements, as shown on approved Exhibit "A," shall be modified at final engineering to comply with standards.

78. Prior to the issuance of any building permits, the Owner/Permittee shall grant adequate water easements over all public water facilities that are not located within fully improved public rights-of-way, satisfactory to the Water Department Director and the City Engineer. Easements, as shown on approved Exhibit "A", will require modification based on standards at final engineering.

79. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of two parallel 12-inch water facilities in Costa Verde Boulevard, in a manner satisfactory to the Water Department Director and the City Engineer.

80. Prior to the issuance of the first building permit, exclusive of a building permit to construct a foundation for the parking garage for the first and second tower, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s) and the removal of all existing water services adjacent to the project site, in a manner satisfactory to the Water Department Director and the City Engineer.

GEOLOGY REQUIREMENTS

81. Prior to issuance of building permits additional geotechnical information such as verification of as-graded or existing soil conditions needed for design of structure foundations shall be subject to approval by Building Development Review.

INFORMATION ONLY:

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code section 66020.
- This development may be subject to impact fees at the time of building/engineering permit issuance

APPROVED by the Council of the City of San Diego on September 17, 2007, Resolution No. XXXXX.

000452

Planned Development Permit No. 1076
Site Development Permit No. 372422
Public Right of Way Permit No. 464724
Date of Approval: September 17, 2007

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

Tim Daly
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1180 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

COSTA VERDE HOTEL, LLC
Owner/Permittee

By _____
S&L Posnock Living Trust, dated 8/4/95
Stuart E. Posnock, Trustee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1180 et seq.**

Rev. 10/26/06 jsf

Item # 9

**PLANNING COMMISSION OF THE CITY OF SAN DIEGO
MINUTES OF REGULAR SCHEDULED MEETING OF
MARCH 15, 2007
IN CITY COUNCIL CHAMBERS - 12TH FLOOR
CITY ADMINISTRATION BUILDING**

CHRONOLOGY OF THE MEETING:

Chairperson Schultz called the meeting to order at 9:25 a.m. Chairperson Schultz adjourned the meeting at 4:00 p.m.

ATTENDANCE DURING THE MEETING:

Chairperson Barry Schultz- present
Vice-Chairperson Kathleen Garcia- present
Commissioner Robert Griswold- Not present
Commissioner Gil Ontai-present
Commissioner Dennis Otsuji- present
Commissioner Eric Naslund- present
Vacancy
Shirley Edwards, City Attorney- present
Cecilia Williams, Planning Department – present
Mike Westlake, Development Services Department-present
Sabrina Curtin, Recorder-present

✓ ITEM-9: ***MONTE VERDE-- PROJECT NO. 6563**
 City Council District: 1; Plan Area: University

Time Daly presented Report No. PC-07-043 to the Planning Commission.

Speaker slips submitted in favor by: Paul Robinson, Stuart Posnock, Martin Poirier, Calvin, Woo, Ceorge Lattimer, Victoria Molina, Jim Gleason, Ken Price, Curtis Olson, Ruthe Resnick, Michelle Shriner, Cadie Browne, Betsy Lane, Art Johnson, Timmery Pearl, David Bretow, Rita Geller, Marvin Muskat, Michael Engel, Patti Krebs, Olga Corona, Lawerance Levy, Kathy Bongiovanni, Scott Barnett, Karin Threat, Robert Landry, Alice Tana, Brandon King, Justin Mott, Kimberly Sosa, David Hill, Patricia Quizoda, Roya Noori, Bruce File, James Howe, Susana Albarran, Paul Hormann, Martha Dalseth, Patricia LaPointe, Andrew Tran, Michele Rogers, Steven Morse, Arturo Zepeda, Thomas Winkler, Carol Morse, Javier Pinon, James Bradle, Michael Chism, Chris Winkler, John Ortiz, Shaalia Edwards, Anne Leckie, Mary Smith, James Leckie III, Ronald Nielsen, Jared Ziman, Martha Ramirez, Stefanie Wardrip, Irina Dubova, Toby Wardrip, Tina Duong, Monica Cuenas, Richard Biberacher, Lana Lasam, Robin Rogerson, Jason Manipon, Jim Mitchell, Sarena Cawles, Jeff Van Andel, Karen Caruse, Myles Gardner, Mario Mendez, Cathy Espinoza, Joanna Zuniga, Tami Pearce, Andrea, Bos, Robert Lettas, Lyana Khan, Jenny Brown, Cynthia Gerdes, Juan Villegas, Nozar Ravanbach, Siavash Khajehzadeh, Jeff Baker, Richard Hadley, Derek Ek, Steve Knight, John Still, Sandra Goldman, Thelma Bretow, Ahmad Arfaei, Charlotte Knutson, Sarah Holder, Ryan Martinez, Melissa Khoury, Roger Stewart, Petar Emge, Derrick Emge, Suranglehana, Burthalest, Paul Kennedy, Joel Alegre, Stephen Kennedy, Scott Robinson, Cathy Carlson, Janet Bianchini, Anita Craig, Bruce Dahl, Warren Oswald, Joel Fields, Judith Levy, Jeanette Hollingworth, Juvenal Velazquez, Richar Maurer, Jeff Harvey, Bob Bergemann, Don Pansquill, Sandra Nugent, Chuck Chorn, Saul Vega, Andrew Trushinski, Richard Powers, Carol Matson, Time Loewer, Jesus Valencia, Gale Gerdes, Paige Strohson, Brian Bozsoki, Lorenzo Mendoza, J.T. Anderson, Heidi Anderson, Greff Salowsky, Michael Labarne, and Edwin Bucy,

Speaker slips submitted in opposition by: Linda Colley, Chris Paterson, Charles Pratt, Patricia Wilson, Deborah Knight, Theresa Quiroz, Kevin Wirsing, Robert Treitler, and Janay Kruger.

COMMISSION ACTION:

MOTION BY COMMISSIONER ONTAI RECOMMENDS THAT THE CITY COUNCIL ACCEPTS THE REDUCED 21-STORY PROPOSAL, WITH ADDITIONAL RECOMMENDATION;
 THE PLANNING COMMISSION IS UNABLE TO FIND THE EXTRAORDINARY BENEFIT THAT ALLOWS US TO MAKE THE STATEMENT OF OVERRIDING CONSIDERATIONS FOR THE PROJECT AS DEFINED BY THE APPLICANT. THE COMMISSION RECOGNIZES THAT THE 21-STORY "REDUCED PROJECT ALTERNATIVE"

THAT IS DISCUSSED IN THE FINAL ENVIRONMENTAL IMPACT (FEIR) REDUCES THE CUMULATIVE AND UNMITIGABLE IMPACTS, HOWEVER WE ACKNOWLEDGE THAT WE STILL HAVE SIGNIFICANT UNMITIGATED NEGATIVE IMPACTS ON WHICH WE STILL CANNOT MAKE THE FINDINGS OF OVERRIDING CONSIDERATION FOR THIS "REDUCED ALTERNATIVE."

THAT THE RESPONSES TO ISSUES RAISED BY THE CITY ATTORNEY DURING THE MOTION WILL BE ADDRESSED AND PRESENTED TO THE CITY COUNCIL BY STAFF.

Second by Vice-Chairperson Garcia. Passed by a 4-1-2 with Commissioner Naslund voting nay, Commissioner Griswold not present and one vacancy.
Resolution No. 4245-PC.

ITEM-9: **CONSIDERATION OF THE EAST VILLAGE SQUARE
COMPREHENSIVE SIGN PLAN**

City Council District: 2; Plan Area: Downtown

Brad Richter presented Report NO. PC-07-056 to the Planning Commission

No one present to speak in favor or opposition.

COMMISSION ACTION:

MOTION BY COMMISSIONER ONTAI TO RECOMMEND THE CITY COUNCIL APPROVE THE EAST VILLAGE COMPREHENSIVE SQUARE SIGN PLAN.

Second by Commissioner Ontai passed by a 4-0-3 vote with Commissioner Naslund recusing, Commissioner Griswold not present, and one vacancy.
Resolution No. 4234-PC.

ITEM-10: **WATSON RANCH CREEK CULVERT REPLACEMENT
PROJECT NO. 90309**

City Council District: 1; Plan Area: Torrey Highlands Community Plan area

COMMISSION ACTION:

CONSENT MOTION BY VICE-CHAIRPERSON GARCIA TO CERTIFY MITIGATED NEGATIVE DECLARATION NO. 90309, ADOPT THE MITIGATION, MONITORING AND REPORTING PROGRAM (MMRP) AND APPROVE SITE DEVELOPMENT PERMIT NO. 368889.

Second by Commissioner Ontai. Passed by a 4-2-1 vote with and vacancy .
Resolution No. 4231 PC.