

COMMUNITY PLANNING GROUP/STAFF'S/PLANNING COMMISSION

Project Manager **must** complete the following information for the Council docket:

CASE NO. 114358, Nancy Ridge Business Park

STAFF'S

Please indicate recommendation for each action. ie: resolution/ ordinance

- 1. ADOPT resolution and CERTIFY Mitigated Negative Declaration No. 114358 and ADOPT the Mitigation Monitoring and Reporting Program;
 - 2. ADOPT resolutions and APPROVE Planned Development Permit No. 385298, Site Development Permit No. 385300, and Multi-Habitat Planning Area Boundary Line Adjustment; and
 - 4. ADOPT rezone ordinance.
-

PLANNING COMMISSION (list names of Commissioners voting yea or nay)

YEAS: Golba, Griswold, Naslund, Otsuji

NAYS: None

ABSENT: Ontai, Schultz, Smiley

TO: (list recommendation or action)

Recommend the Council of the City of San Diego approval of the Planned Development Permit No. 385298, Site Development Permit No. 385300, Rezone Ordinance, Multi-Habitat Planning Area Boundary Line Adjustment, and certification of Mitigated Negative Declaration No. 114358 and adopt the Mitigation, Monitoring and Reporting Program

COMMUNITY PLANNING GROUP (choose one)

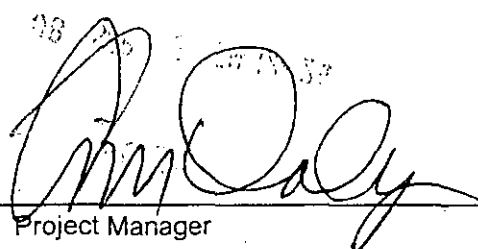
LIST NAME OF GROUP: UNIVERSITY

- No officially recognized community planning group for this area.
- Community Planning Group has been notified of this project and has not submitted a recommendation.
- Community Planning Group has been notified of this project and has not taken a position.
- Community Planning Group has recommended approval of this project.
- Community Planning Group has recommended denial of this project.
- This is a matter of City-wide effect. The following community group(s) have taken a position on the item:

In favor: unanimous

Opposed: 0

Abstain: 0

By  Project Manager



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: July 11, 2008 **REPORT NO. PC-08-068**

ATTENTION: Planning Commission, Agenda of July 17, 2008
Continued from June 19, 2008

SUBJECT: NANCY RIDGE BUSINESS PARK – PROJECT NO. 114358
PROCESS 5

**OWNER/
APPLICANT:** Nancy Ridge Business Park, LLC

SUMMARY

Issue(s): Should the Planning Commission recommend to the City Council approval to construct two step-down, flat pads for outdoor storage use only at 5909 Nancy Ridge Drive, within the Mira Mesa Community Plan?

Staff Recommendations:

1. **Recommend Certification** to the City Council of Mitigated Negative Declaration No. 114358 and **Adoption** of the Mitigation, Monitoring and Reporting Program (MMRP); and
2. **Recommend Approval** to the City Council of Rezone No. 387102, Site Development Permit No. 385300, Planned Development Permit No. 385298, and a Multi-Habitat Planning Area (MHPA) Boundary Line Adjustment.

Community Planning Group Recommendation: On January 22, 2007, the Mira Mesa Community Planning Group voted unanimously to approve the project.

Environmental Review: Mitigated Negative Declaration No. 114358 has been prepared for the project in accordance with the State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program has been prepared and will be implemented which will reduce, to a level of insignificance, any potential impacts identified in the environmental review process.

Fiscal Impact Statement: All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Housing Impact Statement: The proposed project is identified as light industrial and open space within the Mira Mesa Community Plan. No residential units are proposed as part of this project.

BACKGROUND

The Nancy Ridge Business Park project is located across two undeveloped parcel lots of 25.79 acres at 5909 Nancy Ridge Drive, and the adjoining southern parcel, south of Carroll Canyon Road, within the Mira Mesa Community Plan. A portion of the proposed project is located within the Miramar Subarea of the Mira Mesa Community Plan (MMCP), and designated for Light Industrial use. The Light Industrial designation is intended for manufacturing, storage, warehousing, distribution, and similar uses. A portion of the site is also located within designated Open Space in the MMCP. The Open Space designation is intended for the preservation of land in a natural state. Approximately 13.95 acres of the project site is currently zoned AR-1-1, with the remainder of the site zoned IL-2-1.

The project site is located below Nancy Ridge Drive on south and west facing slopes north of the Atchison, Topeka & Santa Fe (AT&SF) Railroad. Both parcels contain moderate to steep slopes with elevations ranging from approximately 200 feet to approximately 280 feet above Mean Sea Level. The northern parcel totals approximately 11.80 acres, and fronts a portion of Nancy Ridge Drive which extends from a point approximately 150 feet south of the Carroll Canyon Road/Nancy Ridge Drive intersection and continues south around a bend turning eastward for a total of approximately 0.48 miles. The southern parcel totals approximately 13.95 acres, and has no street frontage. The project site is bounded to the north/northeast by existing industrial and scientific research development on a mesa above the site. Heading south/southwest and below the site is a canyon and creek bed area. Continuing south, up the slope are undisturbed areas and the AT&SF railway benched into the slope area.

Both parcels contain Environmentally Sensitive Lands due to Steep Hillides and Sensitive Biological Resources on-site. Vegetation on-site consists of Diegan Coastal Sage Scrub, Southern Willow Scrub, Coast Live Oak Woodland, Southern Mixed Chaparral, non-native grasslands, San Diego barrel cactus, and drought-tolerant ornamental vegetation. Both parcels are located partially within the City of San Diego Multiple Species Subarea Plan's Multi-Habitat Planning Area and contain wetlands.

A Site Development Permit and a Planned Development Permit are requested to construct two step-down, flat pad areas, and a driveway totaling approximately 6.17 acres within Environmentally Sensitive Lands for Steep Hillides and Sensitive Biological Resources on-site. The project site is zoned AR-1-1 (Agricultural-Residential). In order to allow for the proposed outdoor storage use, a rezone from AR-1-1 to IL-2-1 (Industrial—Light) is requested for 13.95 acres. Also, according to the City of San Diego Land Development Code, "where the MHPA covers less than 75 percent of a premise, no development will be allowed within the MHPA."

The project's biology report indicates the MHPA covers approximately 16.05 acres (62 percent) of both parcels combined. In order to construct the project, a MHPA Boundary Line Adjustment (BLA) is requested.

DISCUSSION

Project Description:

The entire project site is comprised of two undeveloped parcels totaling approximately 25.79 acres. The project proposes the construction of a paved, non-standard access driveway from Nancy Ridge Drive to an outdoor storage area. The outdoor storage area would consist of two graded pad areas for a total of 4.2 acres. Both pads would be covered with Class 2 base gravel material. Grading calculations for the project site (both parcels) would require a total cut quantity of approximately 58,000 cubic yards with a maximum cut height of 34 feet, and a maximum cut slope height of 34 feet with a maximum cut slope ratio of 2:1. The project would require a total fill quantity of approximately 58,000 cubic yards with a maximum fill depth of 36 feet and a maximum fill slope height of 30 feet with a maximum fill slope ratio of 2:1. No export material would result, as the cut materials would be used for fill.

The drainage pattern would continue to drain south towards the bottom of Soledad Canyon. Increased runoff would result from a minor increase to impervious surfaces and land form alteration. However, the increase would be minimal, and would not be considered significant. The project would be required to incorporate construction Best Management Practices (BMPs) and post-construction BMPs consistent with the approved Water Quality Technical Report. The applicant would also be required to enter into a Maintenance Agreement with the City of San Diego for on-going permanent BMP maintenance. All site runoff would be required to comply with the City of San Diego's Storm Water Standards.

The project site is within the Floodplain and Floodway areas, noted as Special Flood Hazard Areas. However, the project does not propose to alter any flood areas or construct any habitable structures within the Special Flood Hazard Areas or flood fringe. The only encroachment allowed would be the construction of a storm drain pipeline and structure to discharge runoff from the site into the creek bed. The placement of fill material as part of the drainage structure within the Special Flood Area has been conditioned in the draft permit to minimize development effects to the area.

The project also proposes a series of keystone retaining walls around the perimeter of the two pad areas in order to stabilize the proposed step-down, flat pad areas and non-standard driveway. Without the retaining walls the project's development footprint would increase with graded slopes and decrease in available pad area for storage use. Therefore, approximately 2,800 linear feet of retaining walls will be constructed with an average height of 10 to 16 feet, and a maximum height of 31 feet located at the southeast corner of the development. Pursuant to the Land Development Code, the maximum retaining wall height outside of required yards is 12 feet, and the applicant has requested a deviation as part of the Planned Development Permit application to exceed that height. In addition to the planting of new trees at the base of the southerly retaining wall, all of the plantable retaining walls would be screened with drought-

tolerant, native plant species. All retaining walls would be required to provide 80 percent screening within two years consistent with the requirements of the Land Development Code. Considering the site is located well below adjacent development and street thoroughfare, visual impacts of the retaining walls would not exist from the north, east, and west locations. Any possible views from the AT&SF railway and existing industrial buildings, setback from the south side of the canyon area looking north, would be adequately screened with the planted trees and plantings in the walls as described previously.

Community Plan Analysis:

The project site is designated Open Space and Light Industrial by the Mira Mesa Community Plan (MMCP). The area to be graded for the proposed storage use occurs entirely within the portion of the site designated Light Industrial and does not encroach into the area designated Open Space. The Light Industrial designation is intended for manufacturing, storage, warehousing, distribution and similar uses. The proposed use and the rezone from AR-1-1 to IL-2-1 to allow this use is consistent with the MMCP's Light Industrial land use designation.

The MMCP provides development criteria for new commercial and industrial developments requiring discretionary review. However, because the proposed storage use does not include any structures these criteria do not apply. The project site is also located within the Airport Overlay designation in the MMCP, which is intended to ensure that development of properties that are subject to high noise levels or accident potential from aircraft operations at MCAS Miramar are reviewed for conformance with the Airport Land Use Compatibility Plan for MCAS Miramar (ALUCP). The site is within Accident Potential Zone 1 and within the 70 CNEL contour of the ALUCP where storage uses are considered a compatible use.

Due to the project's location adjacent to land designated Open Space, it was reviewed for conformance with all applicable policies in the MMCP's Sensitive Resources and Open Space Element. This Element seeks to preserve and/or enhance natural open space and habitat for rare, threatened, endangered or candidate species. Compliance with the City's Environmentally Sensitive Lands (ESL) regulations will ensure that the proposed project will implement all the applicable policies and recommendations of the MMCP regarding sensitive resources and open space.

Environmental Analysis:

The City of San Diego conducted an Initial Study to determine if the proposed project would result in environmental impacts. Implementation of the Mitigation, Monitoring and Reporting Program (MMRP), detailed in Section V of Mitigated Negative Declaration (MND) No. 114358, would reduce the project's impacts to below a level of significance. Implementation of the proposed MMRP would reduce impacts to below a level of significance in the following categories:

Land Use- The project would result in total impacts to approximately 4.17 acres of Diegan Coastal Sage Scrub (CSS) and non-native grasslands (NNG), of which, approximately 3.66 acres (3.51 CSS/ 0.15 NNG) would occur within the Multi-Habitat Planning Area (MHPA) on-site. An

MHPA Boundary Line Adjustment (BLA) was approved by the California Department of Fish and Game and the U.S. Department of Interior Fish and Wildlife Service on January 16, 2008, which would remove approximately 3.66 acres of sensitive habitat from the MHPA within the proposed development area, and add approximately 8.02 acres of MHPA habitat on-site within an approved City conservation easement for a total net gain of approximately 4.36 acres. The net gain of 4.36 acres, as a result of the MHPA BLA, would satisfy the upland habitat mitigation requirement of 4.17 acres. Therefore, no further mitigation would be required for impacts to Tier II and Tier IIIB habitat.

Biological Resources - The project site and adjacent parcels contain mature trees which have the potential for nesting raptors. No direct impacts to nesting raptors are permitted. Direct impacts would be avoided through compliance with the Migratory Bird Treaty Act. Project-related construction activities could have the potential to indirectly impact raptor species during the breeding season (February 1-September 15). If construction occurs during the raptor breeding season, a preconstruction survey would be conducted by a qualified biologist to determine whether nesting raptors are present. No construction would occur within 300 feet of any identified nest(s) until the young fledge. Noise impacts would be avoided during the breeding season through pre-construction surveys and adherence to appropriate noise buffer zone restrictions.

Paleontological Resources - The project site is underlain by the following geologic formations: Ardath Shale (Tm), Scripps Formation (Tsd) and Stadium Conglomerate (Tst). With respect to paleontological fossil resource potential, all of the above-referenced geologic formations are assigned a high sensitivity rating in all areas where they occur. According to the City of San Diego Significance Determination Thresholds, projects underlain by high sensitivity formations require paleontological monitoring when grading quantities exceed 1,000 cubic yards and have a cut depth greater than 10 feet. The project proposes to construct two levels of graded pads, which would require approximately 58,000 cubic yards of cut with a maximum cut depth of 34 feet to construct. Therefore, paleontological monitoring would be required during all grading activities to mitigate for potential impacts to paleontological resources. In the event that paleontological resources are discovered, excavation would be halted or diverted to allow recovery, evaluation, and recordation of materials. See MND Section V. Mitigation, Monitoring and Reporting Program.

Project-Related Issues:

- The project proposes an outdoor storage facility only.
- The facility will not include any habitable structures and the draft permit includes conditions that will restrict the development and use of the project site to only an outdoor storage facility. Any other uses on the site would require an application to the City to amend the proposed permit.
- No storage of hazardous waste chemicals or materials, petroleum products, or motor vehicles shall be allowed on site.
- The open storage facility shall be required to provide a screening fence of no less than 6 feet in height and no greater than 12 feet in height.

- The height of any materials stored shall not exceed the height of the screening fence.
- The draft permit also requires the applicant to take measures to ensure that water quality is not adversely affected by runoff containing fuel and lubricants or other pollutants.
- The project site encompasses 25.79 acres and the development footprint for the outdoor storage facility will be 6.17 acres. Not including the conveyance of 8.02 acres for the MHPA conservation easement, and consistent with SDMC Section 143.0140(a), the draft permit also requires the applicant to record a covenant of easement on approximately 11.6 acres, the remainder of the site's environmentally sensitive lands that are outside of the allowable development area, to be left in a natural state.

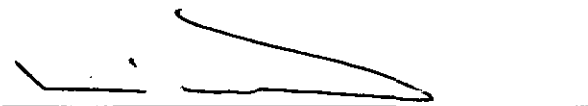
Conclusion:

Staff has determined the proposed Nancy Ridge Business Park project, with the adoption of the rezone from AR-1-1 to IL-2-1 and permit conditions for the outdoor storage use, complies with the applicable sections of the Municipal Code and adopted City Council policies. Staff has determined the required findings can be made to support the decision to approve the proposed project. A Mitigated Negative Declaration has been prepared for this project and the mitigation required would reduce any potentially significant impact to a level below significance. Staff recommends the Planning Commission recommend to the City Council approval of the resolutions granting the Site Development Permit, Planned Development Permit with Multi-Habitat Planning Area boundary line adjustment, and associated rezone.

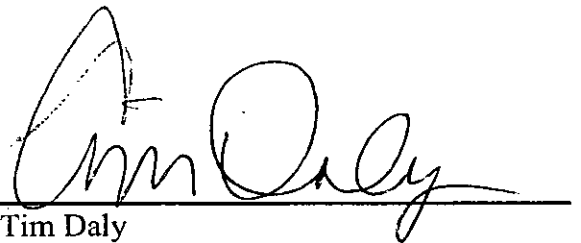
ALTERNATIVES

1. **Recommend Approval** to the City Council of Rezone No. 387102, Site Development Permit No. 385300, Planned Development Permit No. 385298, and Multi-Habitat Planning Area boundary line adjustment, **with modifications.**
2. **Do Not Recommend Approval** to the City Council of Rezone No. 387102, Site Development Permit No. 385300, Planned Development Permit No. 385298, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Program Manager
Development Services Department



Tim Daly
Development Project Manager
Development Services Department

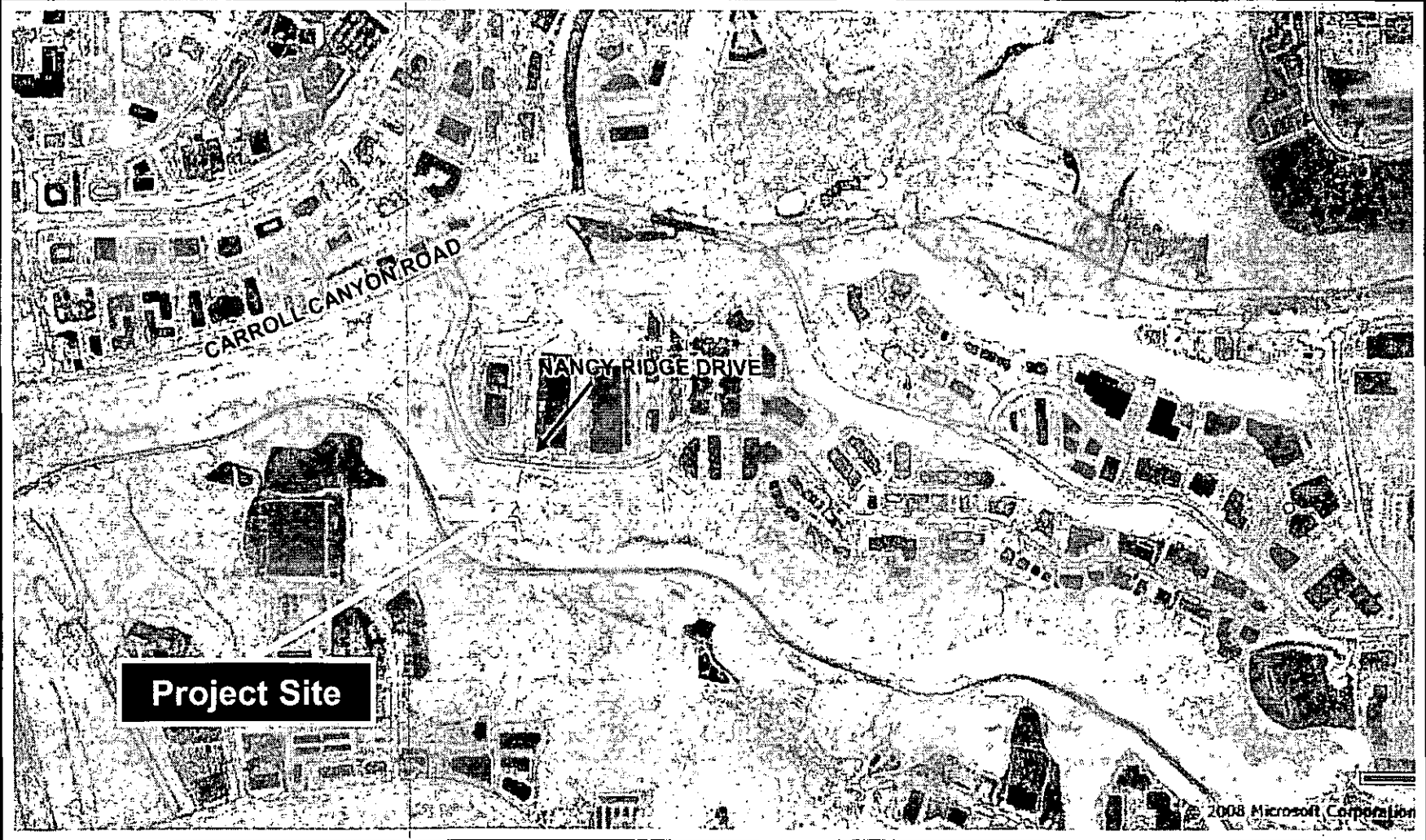
001801

KGB/td

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Project Plans
6. Draft Permit with Conditions
7. Draft Resolution with Findings
8. Draft Ordinance
9. Rezone Exhibit B-4263
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement
12. Project Chronology

Rev 01-04-07/rh

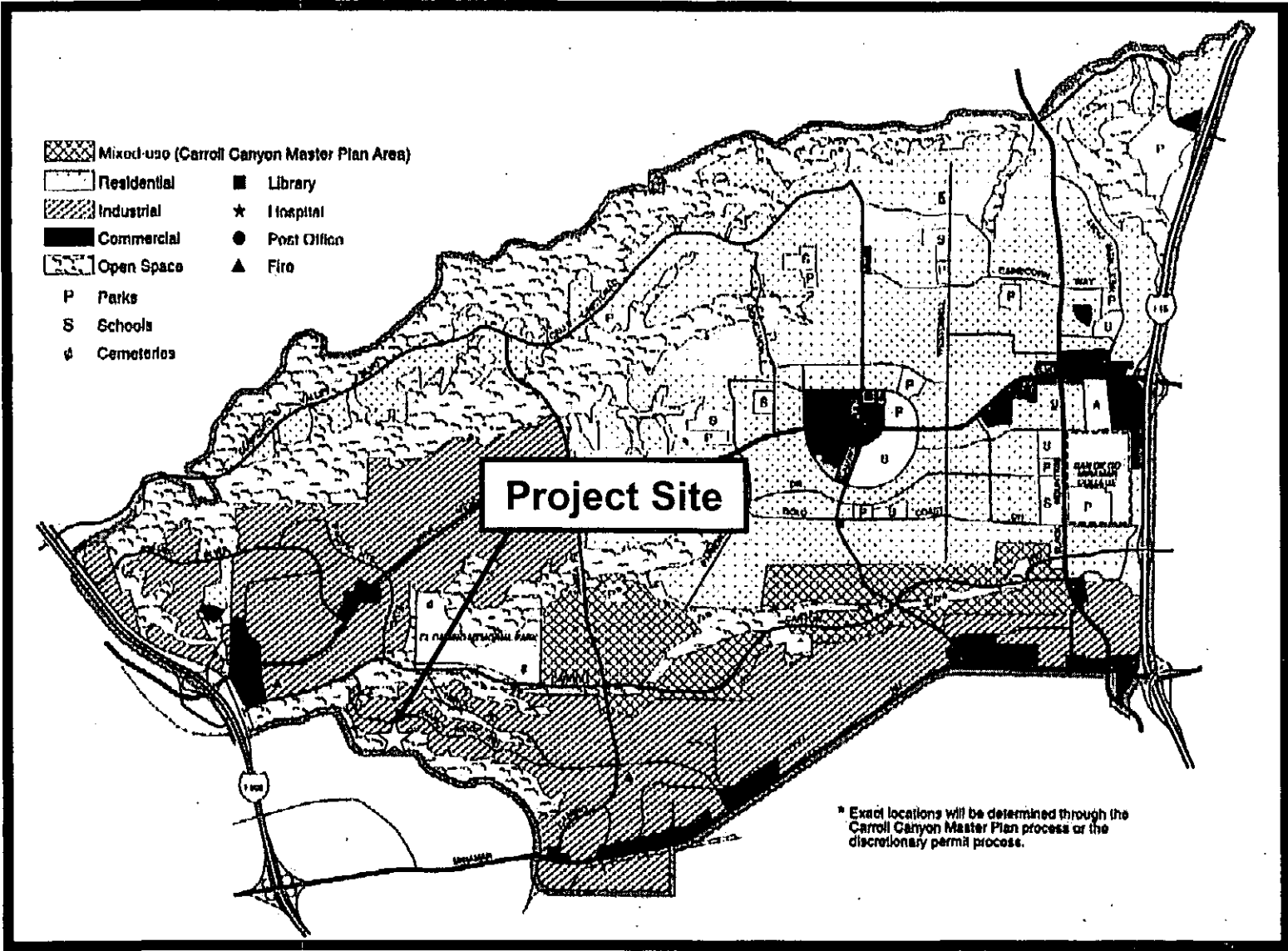


Aerial Photo

NANCY RIDGE BUSINESS PARK – PROJECT NUMBER 114358

5909 Nancy Ridge Drive

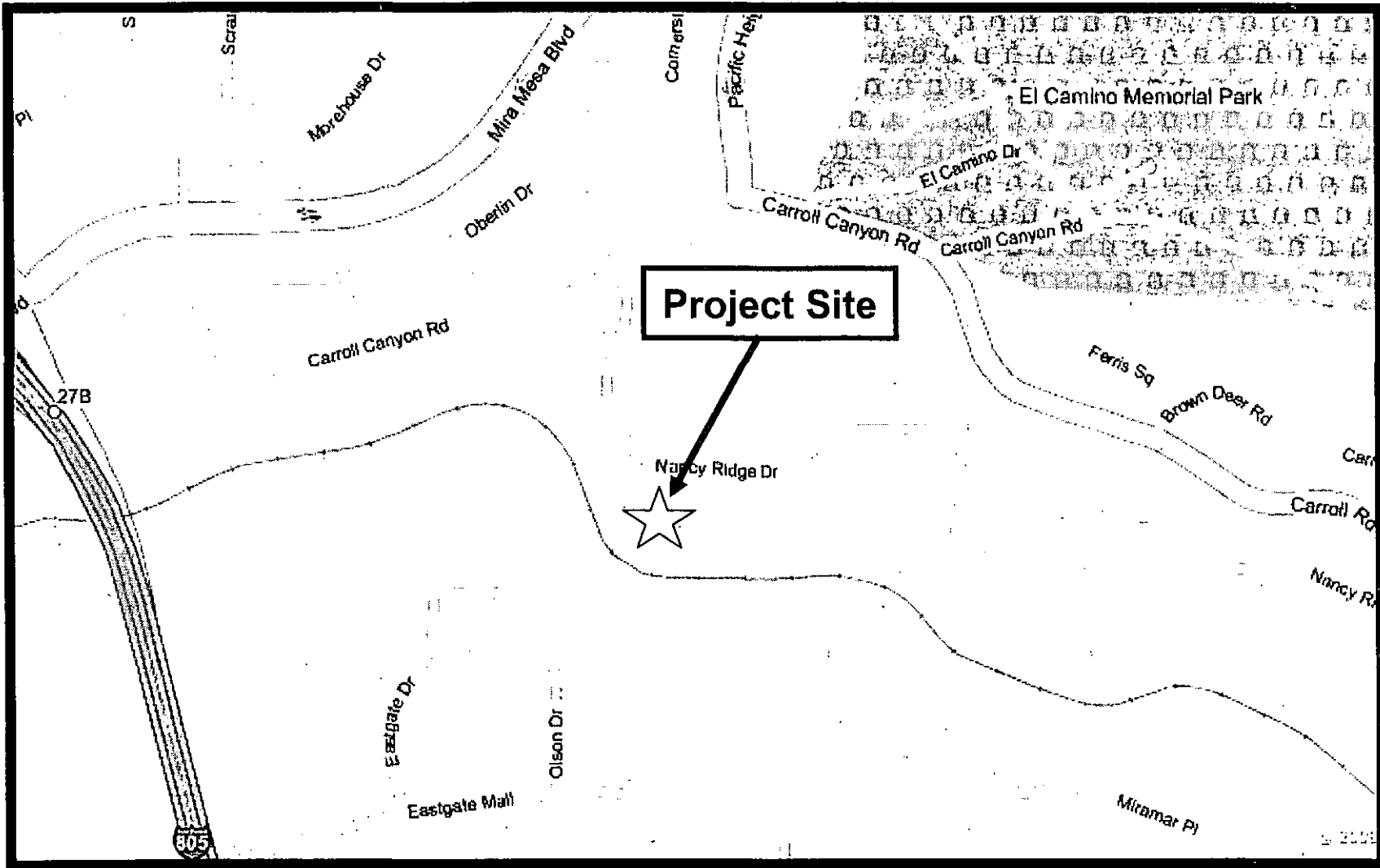




Mira Mesa Community Land Use Map

NANCY RIDGE BUSINESS PARK - PROJECT NUMBER 114358
 5909 Nancy Ridge Drive





Project Location Map

NANCY RIDGE BUSINESS PARK – PROJECT NUMBER 114358
5909 Nancy Ridge Drive



001809

PROJECT DATA SHEET

PROJECT NAME:	NANCY RIDGE BUSINESS PARK	
PROJECT DESCRIPTION:	Construct two level pads for an outdoor storage yard and an access road on a 25.79 acre site at 5909 Nancy Ridge Drive	
COMMUNITY PLAN AREA:	Mira Mesa	
DISCRETIONARY ACTIONS:	Site Development Permit (ESL), Planned Development Permit, and Rezone from AR-1-1 to IL-2-1	
COMMUNITY PLAN LAND USE DESIGNATION:	Light Industrial	
<u>ZONING INFORMATION:</u>		
ZONE: AR-1-1 (Agricultural – Residential) existing; IL-2-1 (Industrial-Light) proposed		
HEIGHT LIMIT: no maximum		
LOT SIZE: 15,000 square-foot minimum (min); 607,662 sq. ft. existing		
FLOOR AREA RATIO: 2.0 maximum (max); no structures proposed		
FRONT SETBACK: 15-ft min; 20-ft standard (std) – n/a - no structures proposed		
SIDE SETBACK: 10-ft (n/a)		
STREETSIDE SETBACK: 15-min; 20-ft std – n/a (no street side yard)		
REAR SETBACK: 0-ft min; 15-ft std – n/a		
PARKING: none required, none proposed		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Industrial-Light; IL-2-1	Industrial Park
SOUTH:	Agricultural-Residential; AR-1-1	Open Space
EAST:	Industrial-Light; IL-2-1 and Agricultural-Residential; AR-1-1.	Industrial Park and Open Space
WEST:	Agricultural-Residential; AR-1-1	Open Space
DEVIATIONS OR VARIANCES REQUESTED:	Deviation to allow retaining walls to observe a maximum of 31-feet in height where 12-feet is the maximum height allowed outside of required setbacks	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On January 22, 2007, the Mira Mesa Community Planning Group unanimously to approve the project.	

DEVELOPMENT SUMMARY

SITE GRADING, DRAINAGE STRUCTURES, AND RETAINING WALLS TO CREATE AN ACCESS DRIVEWAY AND GRADED PAVES.

DISCRETIONARY APPROVALS DATE DEVELOPMENT PERMIT PLANNED DEVELOPMENT PERMIT (REQUIRED FOR INDUSTRIAL ZONE USE WITH REZONE) REZONE FROM AN-1-1 TO A-2-1 AND OPEN SPACE

OVERLAY ZONES AIRPORT ENVIRONMENT BRUSH ZONES COMMUNITY PLAN IMPLEMENTATION-B RESIDENTIAL "TODD" FARRING

GROSS LOT AREA: 23.78 ACRES GROSS FLOOR AREA: N/A EXISTING USE: VACANT PROPOSED USE: OUTDOOR STORAGE

LEGAL DESCRIPTION

APN 343-010-21

PARCEL 1:

THE NORTH HALF OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER, IN SECTION 9, TOWNSHIP 15 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE MERIDIAN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA.

EXCEPT ANY PORTION THEREOF LYING WITHIN THE 200 FOOT RIGHT OF WAY OF THE ADESSON, TOPICKA, AND SANTA FE RAILWAY COMPANY, ALL BEING IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT SURVEY APPROVED FEBRUARY 12, 1953.

PARCEL 2:

AN EASEMENT FOR INTEREST AND EGRESS OVER, UNDER, ALONG AND ACROSS THAT PORTION OF LOT 107 OF MAP NO. 10818, FILED IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 13, 1984.

BEGINNING AT THE MOST SOUTHEASTLY POINT ON LOT 107 OF SAID MAP NO. 10818, THENCE PROCEEDING SOUTHWESTERLY ALONG THE SOUTH LINE OF LOT 107 SOUTH 82°10'00" WEST 138.17 FEET TO THE TRUE POINT OF BEGINNING, SAID POINT BEING THE SOUTHWEST CORNER OF A 30 FOOT WIDE WATER EASEMENT GRANTED TO THE CITY OF SAN DIEGO NOVEMBER 7, 1960, AS FILE NO. 120382; THENCE PROCEEDING WESTERLY ALONG SAID SOUTH LINE OF LOT 107 SOUTH 82°10'00" WEST 842.76 FEET TO THE MOST SOUTHWEST POINT OF AN EASEMENT FOR INTEREST AND EGRESS PURPOSES GRANTED TO IMPERIAL APPLIANCES, INC., A CALIFORNIA CORPORATION, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JULY 7, 1984, AS FILE NUMBER 83-331474; SAID POINT BEING ON A 232.00 FOOT RADIUS CURVE CONCAVE EASTWARD, A RADIAL LINE TO SAID POINT FROM THE CENTER OF SAID 232.00 FOOT RADIUS CURVE BEARS NORTH 81°21'21" EAST, THENCE LEAVING SAID SOUTH LINE OF LOT 107 NORTHERLY ALONG SAID 232.00 FOOT RADIUS CURVE THROUGH A CENTRAL ANGLE OF 34°22'49" A DISTANCE OF 138.28 FEET; SAID POINT BEING A POINT OF REVERSE CURVE TO A TANGENT 20.00 FOOT RADIUS CURVE CONCAVE SOUTHWESTERLY, SAID POINT BEING RADIAL TO SAID 20.00 FOOT RADIUS CURVE NORTH 85°14'40" WEST; THENCE PROCEEDING NORTHWESTERLY ALONG SAID 20.00 FOOT RADIUS CURVE THROUGH A CENTRAL ANGLE OF 90°00'00" A DISTANCE OF 31.42 FEET; SAID POINT BEING A POINT OF CURVE AND TANGENT TO SAID 20.00 FOOT RADIUS CURVE, SAID POINT BEING ON THE SOUTHERLY RIGHT-OF-WAY LINE OF HANCOY RIDGE DRIVE PER MAP NO. 10818; THENCE PROCEEDING SOUTHWESTERLY ALONG SAID RIGHT-OF-WAY LINE SOUTH 84°14'40" EAST 818.36 FEET TO A TANGENT 42.00 FOOT RADIUS CURVE CONCAVE NORTHEASTERLY, SAID POINT BEING A RADIAL LINE TO THE CENTER OF SAID CURVE NORTH 05°45'20" EAST; THENCE PROCEEDING EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 18°20'18" A DISTANCE OF 123.18 FEET; THENCE PROCEEDING ALONG SAID RIGHT-OF-WAY LINE TANGENT TO SAID CURVE NORTH 72°25'24" EAST 183.42 FEET TO A POINT ON THE WESTERLY LINE OF SAID 50.00 FOOT WIDE WATER EASEMENT TO THE CITY OF SAN DIEGO; THENCE DEPARTING SAID RIGHT-OF-WAY LINE SOUTH 01°06'40" WEST 129.81 FEET ALONG SAID WEST LINE OF SAID 50.00 FOOT WIDE WATER EASEMENT TO THE CITY OF SAN DIEGO TO THE TRUE POINT OF BEGINNING.

APN 343-010-31

LOT 107 OF LUSH INDUSTRIAL PARK UNIT NO. 4, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF 10818, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 13, 1984.

A.P.N.s

343-010-21: OPEN STORAGE 343-010-31: ACCESS EASEMENT

STORM WATER NOTES:

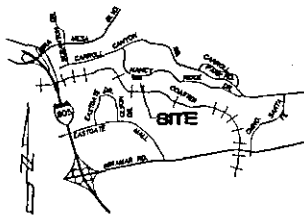
PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBMITTER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT THE SUBMITTER SHALL SUBMIT A STORM WATER QUALITY TECHNICAL REPORT (TWR). THE TWR SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX C OF THE CITY'S STORM WATER STANDARDS.

PALEONTOLOGICAL NOTE:

THE OWNER SHALL RETAIN THE SERVICES OF A QUALIFIED PALEONTOLOGIST TO MONITOR ALL GRADING AND/OR EXCAVATION ACTIVITY.

NANCY RIDGE BUSINESS PARK SITE DEVELOPMENT PERMIT PLANNED DEVELOPMENT PERMIT TITLE SHEET



VICINITY MAP NOT TO SCALE

EARTHWORK DATA (APNs 343-010-21,31)

Table with columns for Assessor's Parcel No., Gross Area, Developed Area, Area in MHPA, and Undisturbed Area in MHPA. Includes sub-sections for Total Fill Quantities, Total Cut Quantities, and Retaining Walls.

PROJECT TEAM

OWNER: NANCY RIDGE BUSINESS PARK, LLC. ARCHITECT: FARRINGTON ENGINEERING CONSULTANTS, INC. ENGINEER: MARK A. FARRINGTON, PE. LANDSCAPE ARCHITECT: DANSON CONUNGHAM LSA.

EARTHWORK QUANTITIES INDICATED ON THESE PLANS ARE FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL PREPARE HIS OWN QUANTITY ESTIMATES FOR JOB BIDDING.

REFERENCE DRAWINGS

- 20454-D (NANCY RIDGE DR. IMPROVEMENTS) 20504-D (NANCY RIDGE DRIVE DEDICATION) 21138-D (RECLAIMED WATER) 22211-D (LUSH INDUSTRIAL PARK UNIT 4)

LAMBERT COORDINATES

TOPOGRAPHICAL SURVEY

TOPOGRAPHICAL SURVEY FOR THIS PROJECT PREPARED BY MCK ENGINEERING, INC., DATED DECEMBER 22, 2005, BY AERIAL PHOTOGRAMMETRY METHODS.

BENCHMARK

VERTICAL BENCHMARK FOR THIS PROJECT IS A FOUND BRASS PILE IN TOP OF CURB AT THE NORTHWEST CORNER OF CASTAGE WALL AND OLSON DRIVE (ELEV = 378.78 MGD029).

WORK TO BE DONE

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS, AND THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO.

STANDARD SPECIFICATIONS

- 1. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (2003 EDITION), INCLUDING THE REGIONAL AND CITY OF SAN DIEGO SUPPLEMENT AMENDMENT, DOCUMENT NO. ACC 701041, FILED JULY 1, 2004. 2. 1999 STANDARD SPECIAL PROVISION FOR SIGNALS, STREET LIGHTING AND ELECTRICAL SYSTEMS OF THE CITY OF SAN DIEGO, DOCUMENT NO. 789842, FILED OCTOBER 22, 1999. 3. THE MUTCD, 2003 EDITION, INCLUDING THE CALIFORNIA SUPPLEMENT AND THE CITY OF SAN DIEGO DOCUMENT NO. ACC SHEET, EFFECTIVE MAY 15, 2005. 4. STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS (JULY 2002), DOCUMENT NO. 788864, FILED JUNE 5, 2003.

STANDARD DRAWINGS

- 1. CITY OF SAN DIEGO STANDARD DRAWINGS, INCLUDING ALL REGIONAL STANDARD DRAWINGS, DOCUMENT NO. ACC 701041, FILED JULY 1, 2004. 2. STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, STANDARD PLAN (JULY 2002), DOCUMENT NO. 788864, FILED JUNE 5, 2003.

PROPOSED IMPROVEMENTS STD. DWG.

Table listing proposed improvements with their corresponding symbols, such as Property Boundary, Existing Contour, Finish Grade Contour, Limits of Grading, Spot Elevation, Graded Swale, Concrete Driveway, etc.

SITE MHPA DATA

Table showing MHPA data for Assessor's Parcel No. -21, including Gross Area, Developed Area, Area in MHPA, and Steep Slope Area.

FARRINGTON ENGINEERING CONSULTANTS, INC. CONSULTING CIVIL ENGINEERING 1175 VIA FINE SAN DIEGO, CA 92108 (659) 475-9490

SHEET INDEX

Table mapping sheet numbers to drawing types: T-1 (TITLE SHEET), C-1 (SLOPE ANALYSIS/SANDBS TOPO MAP), C-2 (GRADING PLAN), C-3 (SITE CROSS SECTIONS), C-4 (EROSION CONTROL NOTES/DETAILS), C-5 (EROSION CONTROL PLAN), L-1 (LANDSCAPE DEVELOPMENT PLAN), L-2 (BRUSH MANAGEMENT PLAN).

Revision table with columns for Revision No., Description, Date, and P.L.S. No. Includes a 'DRY RUN BY' section for plotting scale and sheet number.

FARRINGTON ENGINEERING CONSULTANTS, INC. CONSULTING CIVIL ENGINEERING 1175 VIA FINE SAN DIEGO, CA 92108 (659) 475-9490



NANCY RIDGE BUSINESS PARK

Table for Issue Dates and Revision Dates.

DRY RUN BY: M.F. PLOT SCALE: NONE SHEET NUMBER: T-1 SHEET 1 OF 8

NANCY RIDGE BUSINESS PARK

SITE DEVELOPMENT PERMIT
PLANNED DEVELOPMENT PERMIT
SLOPE ANALYSIS STUDY
SANGIS TOPOGRAPHICAL MAP (1999)

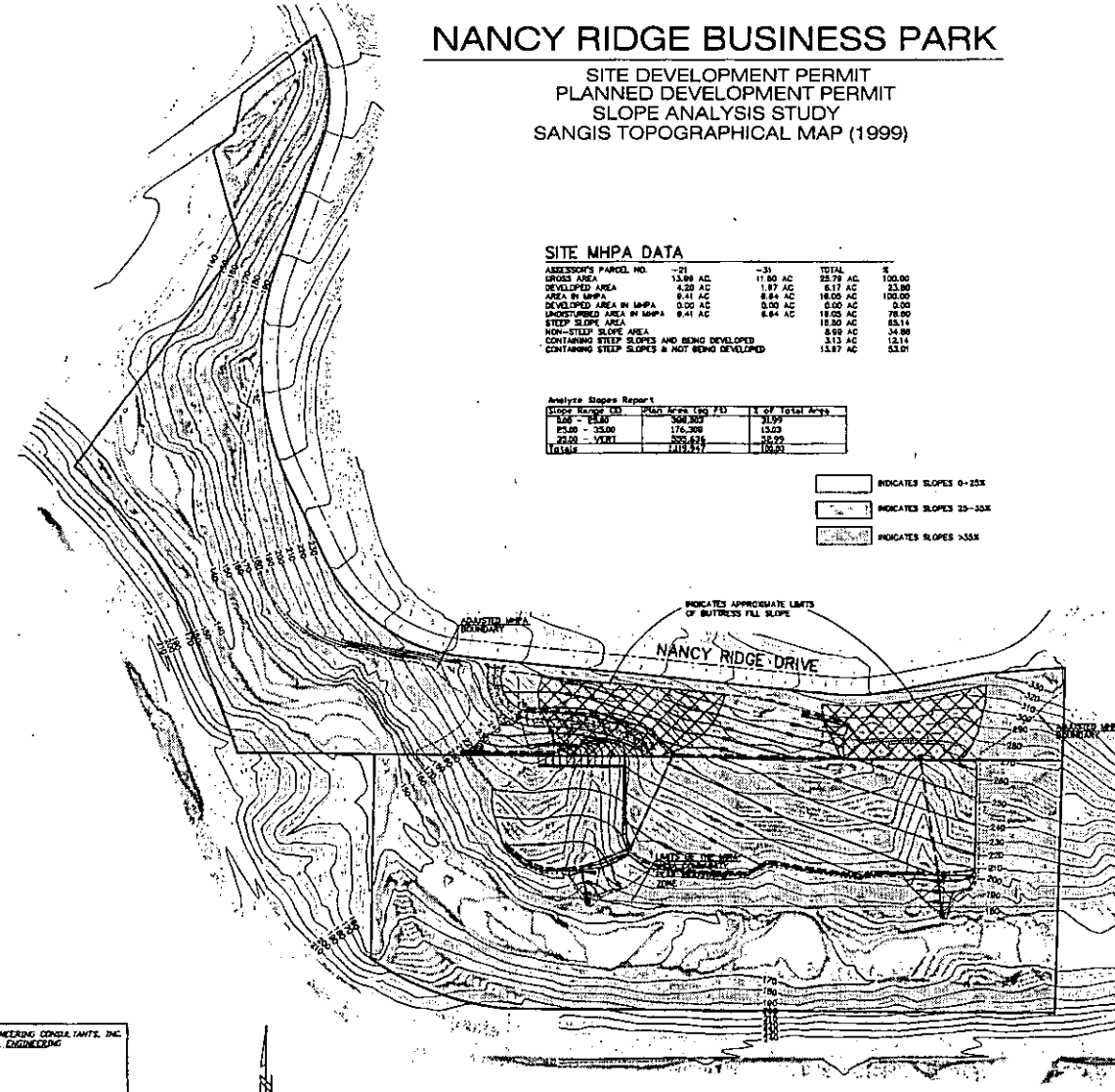
SITE MHPA DATA

ASSESSOR'S PARCEL NO.	-21	-23	TOTAL	%
GROSS AREA	13.99 AC	11.90 AC	25.79 AC	100.00
DEVELOPED AREA	4.20 AC	1.97 AC	6.17 AC	23.90
AREA IN MHPA	8.41 AC	8.84 AC	16.02 AC	100.00
DEVELOPED AREA IN MHPA	0.00 AC	0.00 AC	0.00 AC	0.00
UNDEVELOPED AREA IN MHPA	8.41 AC	8.84 AC	16.02 AC	100.00
STEEP SLOPE AREA			18.00 AC	65.14
NON-STEEP SLOPE AREA			6.89 AC	24.96
CONTAINING STEEP SLOPES AND BEING DEVELOPED			3.13 AC	12.14
CONTAINING STEEP SLOPES & NOT BEING DEVELOPED			13.87 AC	53.01

Analyze Slopes Report

Slope Range (%)	Plan Area (SQ FT)	% of Total Area
0-5	298,207	21.97
5.00 - 15.00	176,206	13.03
20.00 - 35.00	200,436	14.99
TOTAL	775,049	58.00

- INDICATES SLOPES 0-25%
- INDICATES SLOPES 25-35%
- INDICATES SLOPES >35%



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11579 VIA VERDE
SAN DIEGO, CA 92130
(619) 475-4130



NANCY RIDGE BUSINESS PARK
SLOPE ANALYSIS
SANGIS TOPO MAP (1999)

ISSUE DATES

REVISION DATES

PREPARED BY
DRAWN BY
PLOT SCALE
SHEET NUMBER

C-1
SHEET 2 OF 8

PREPARED BY: FARRINGTON ENGINEERING
NAME: 11579 VIA VERDE
ADDRESS: SAN DIEGO, CA 92130
PHONE NO.: 619-475-4130
PROJECT ADDRESS: 20000 NANCY RIDGE DR., SAN DIEGO, CA 92130
PROJECT NAME: NANCY RIDGE BUSINESS PARK

REVISION NO.	REVISION DATE
1	1-9-07
2	2-10-07
3	2-02-07
4	8-18-07
5	8-22-07
6	1-27-08
7	
8	
9	
10	

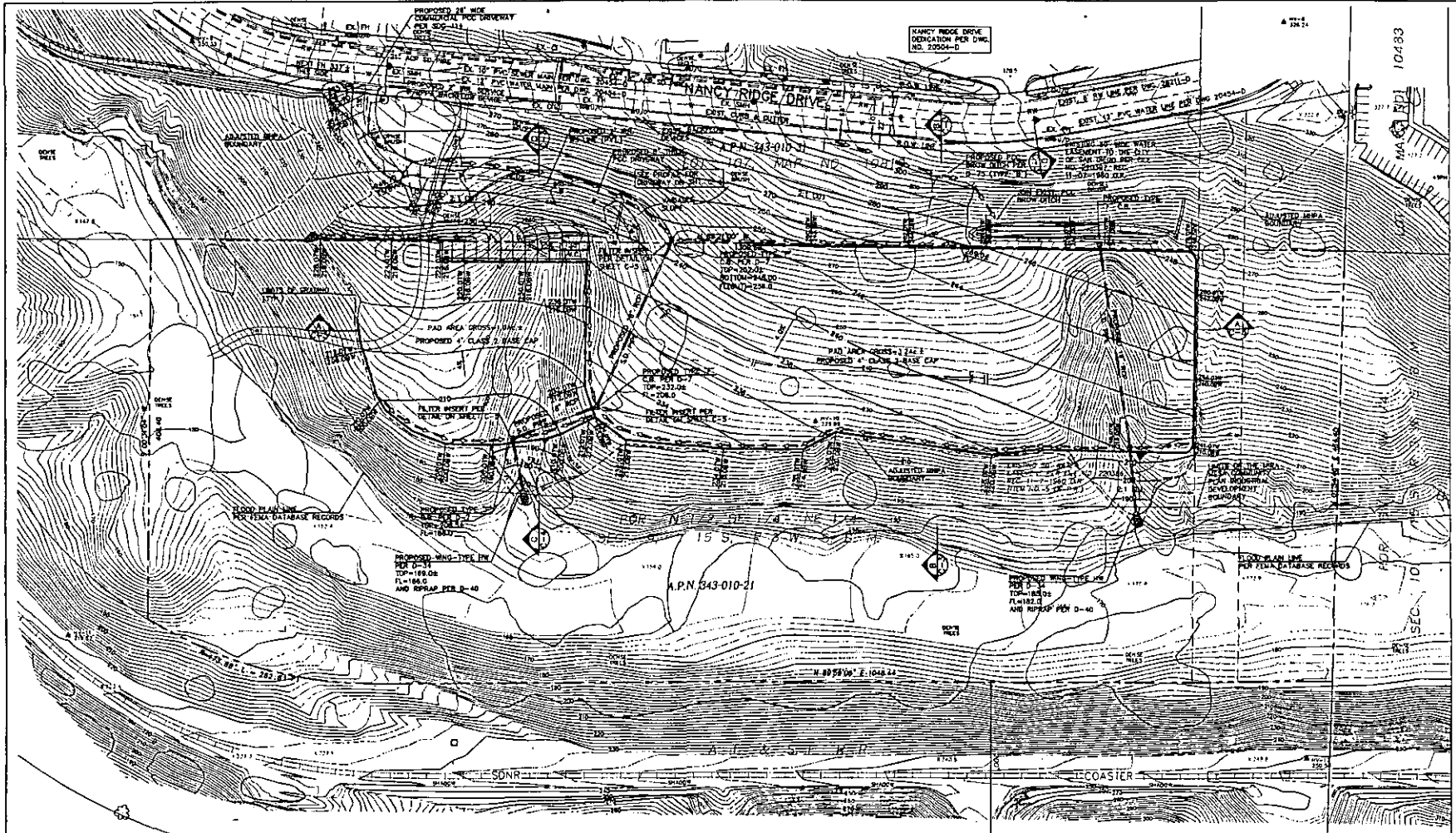
SHEET FILE: SLOPE ANALYSIS
SANGIS TOPO MAP (1999)
P.I.C. NO. 11133
PERMIT NO.

FARRINGTON ENGINEERING CONSULTANTS, INC.
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11579 VIA VERDE
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(619) 475-4130

Mark A. Farrington 623-08
MARK A. FARRINGTON REG. 38117 EXP. 3/31/08 DATE

Scale 1" = 100'

001812



FARRINGTON ENGINEERING CONSULTANTS
CONSULTING CIVIL ENGINEERS
11878 VIA FIBEL
SAN DIEGO, CA 92116
CERS 675-9490



NANCY RIDGE BUSINESS PARK
PRELIMINARY GRADING PLAN

ISSUE DATES

REVISION DATES

DRAWN BY: M.F.
PLOT SCALE: 1"=50'
SHEET NUMBER

C-2
SHEET 3 OF 8

NANCY RIDGE BUSINESS PARK
SITE DEVELOPMENT PERMIT
PLANNED DEVELOPMENT PERMIT
PRELIMINARY GRADING PLAN

PREPARED BY: FARRINGTON ENGINEERING	REVISION 1: 1-5-07
NAME: 11878 VIA FIBEL	REVISION 2: 2-10-07
ADDRESS: SAN DIEGO, CA 92116	REVISION 3: 3-22-07
PHONE NO.: 619-412-9490	REVISION 4: 8-19-07
PROJECT ADDRESS: 6000 NANCY RIDGE DR.	REVISION 5: 8-22-07
SAN DIEGO, CA 92111	REVISION 6: 1-22-08
PROJECT NAME: NANCY RIDGE BUSINESS PARK	REVISION 7: _____
	REVISION 8: _____
	REVISION 9: _____
	REVISION 10: _____
DATE: 10-04-08	
SHEET TITLE: PRELIMINARY GRADING PLAN	P.L.S. NO. 11428
	PERMIT NO. _____

FARRINGTON ENGINEERING CONSULTANTS, INC.
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11878 VIA FIBEL
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Mark A. Farrington 675-08
MARK A. FARRINGTON REG. 3814 EXP. 3/31/09 DATE

Scale 1" = 50'

001813

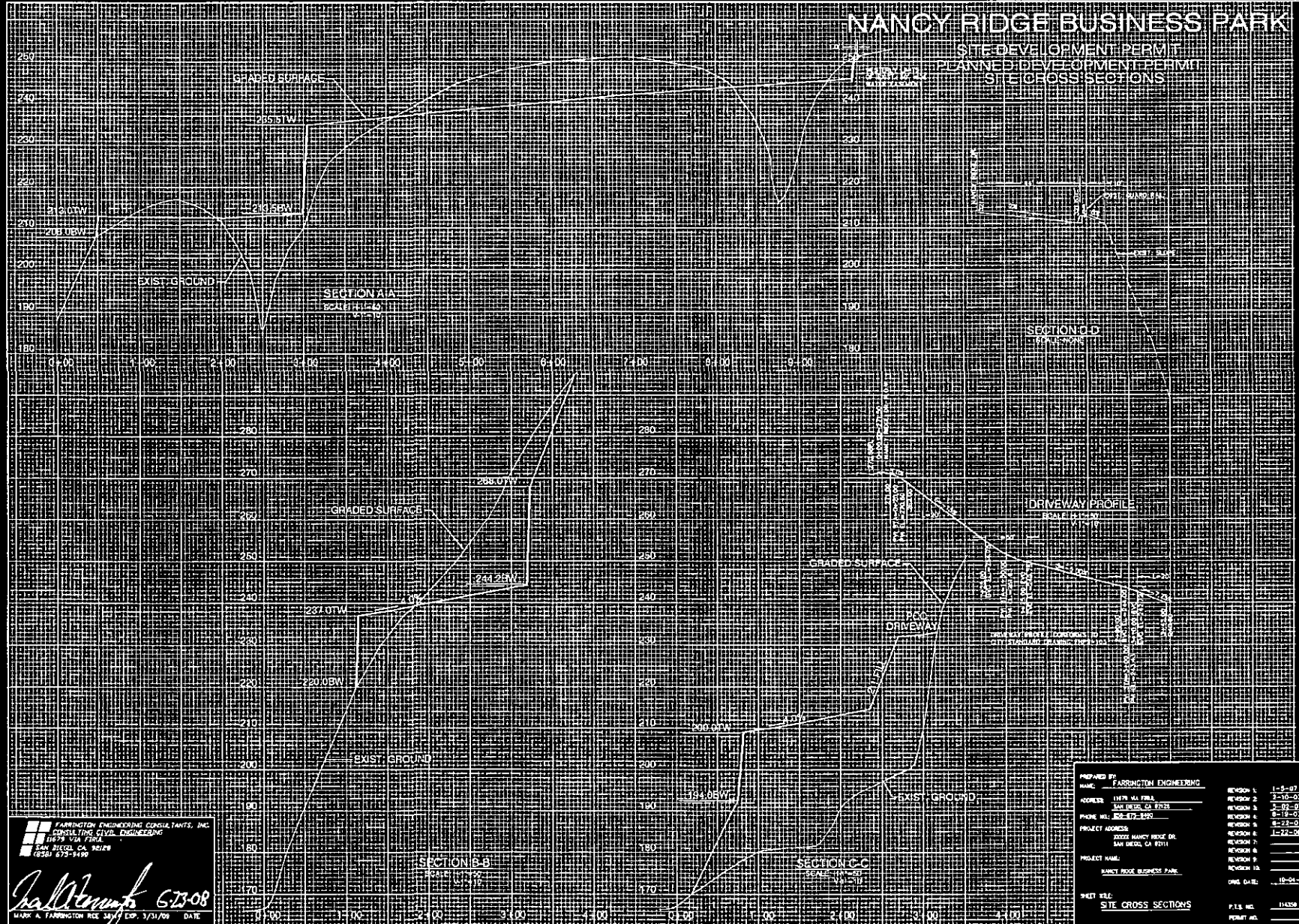
FARRINGTON ENGINEERING CONSULTANTS, INC.
 CONSULTING CIVIL ENGINEERING
 11579 VIA FORD
 SAN DIEGO, CA 92128
 (619) 673-9498



NANCY RIDGE BUSINESS PARK

ISSUE DATES	
REVISION DATES	

DRAWN BY
 H.F.
 PLOT SCALE
 1"=50'
 SHEET NUMBER
 C-3
 SHEET 4 of 8



FARRINGTON ENGINEERING CONSULTANTS, INC.
 CONSULTING CIVIL ENGINEERING
 11579 VIA FORD
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 (619) 673-9498
 Mark A. Farrington
 6/23/08
 MARK A. FARRINGTON REG. 114358 EXP. 3/31/09 DATE

PREPARED BY: FARRINGTON ENGINEERING
 NAME: MARK A. FARRINGTON
 ADDRESS: 11579 VIA FORD
 SAN DIEGO, CA 92128
 PHONE NO.: 619-673-9498
 PROJECT ADDRESS: 33333 NANCY RIDGE DR.
 SAN DIEGO, CA 92111
 PROJECT NAME: NANCY RIDGE BUSINESS PARK
 SHEET NO.: SITE CROSS SECTIONS
 P.E. NO.: 114358
 PERMIT NO.:
 REVISION 1: 1-5-07
 REVISION 2: 3-10-07
 REVISION 3: 3-20-07
 REVISION 4: 6-19-07
 REVISION 5: 6-22-07
 REVISION 6: 1-22-08
 REVISION 7:
 REVISION 8:
 REVISION 9:
 REVISION 10:
 DATE: 10-04-08

FARRINGTON ENGINEERING CONSULTANTS
CONSULTING CIVIL ENGINEERING
11679 VIA FERIA
SAN DIEGO, CA 92120
(619) 579-9439



NANCY RIDGE BUSINESS PARK

ISSUE DATES
REVISION DATES

DRAWN BY
M.F.
PLOT SCALE
Y=30
SHEET NUMBER
C-4
SHEET 5 of 8

PERMANENT POST-CONSTRUCTION BMP NOTES

1. OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (EMDMA), COVENANTS CONDITIONS AND RESTRICTIONS (CC&R), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY FOR THE LAND DEVELOPMENT MANUAL STORM WATER STANDARDS.
2. PERMANENT POST CONSTRUCTION BMP DETAIL SHOWN ON PLAN SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY ENGINEER OR RESIDENT ENGINEER AND THE ENGINEER OF WORK.

EROSION AND SEDIMENT CONTROL NOTES

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/APPROPRIATIONS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCL) FOR CONSTRUCTION LEAD BMP'S AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMP'S, THE WATER QUALITY TREATMENT REPORT (WQTR) IF APPLICABLE.
2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
3. FOR INLETS LOCATED AT SLOPES ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.0 FT PREBUILT EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF PREBUILT IS NOT PROVIDED BY GRADE/SHOW ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DICES.
4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
7. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT DESIGN LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
8. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRECIPITATING RAINFALL.
9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS RECOMMENDED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC DISCHARGE INTO AREAS WHERE UNPOLLUTED WATERS CREATE A HAZARDOUS CONDITION.
11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED FOR THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
12. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE COMPLETION OF EACH WORKING DAY.
13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
14. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
15. THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

1. STABILIZATION ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS GREATER THAN 1 INCH AND REPAIRS AND REPLACEMENT AS NEEDED UNTIL A NOTICE OF TERMINATION ONLY IS FILED.
2. STRUCTURAL PRACTICES: BEESTLING BAYNS, OVERSEED BAYNS, DIVERSION DITCHES, DIVERSIONS, DALETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL, EVENTS GREATER THAN 1 INCH. REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
3. OPERATION AND MAINTENANCE. FUNDING POST-CONSTRUCTION MAINTENANCE MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOLS, DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

PROPOSED OPERATION AND MAINTENANCE PROCEDURE DETAILS

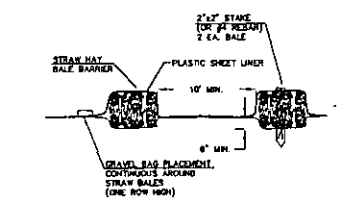
By RESPONSIBLE PARTY RESERVE PROPERTY OWNER

	INSPECTED FREQUENCY	CLEAN UP	AS NEEDED	AS NEEDED	AS NEEDED	AS NEEDED	AS NEEDED	AS NEEDED	SHEET NO.
PROPOSED SITE DESIGN	AS NEEDED	AS NEEDED	AS NEEDED	AS NEEDED	AS NEEDED	AS NEEDED	AS NEEDED	AS NEEDED	1
PROPOSED PERMANENT BMP'S	AS NEEDED	AS NEEDED	AS NEEDED	AS NEEDED	AS NEEDED	AS NEEDED	AS NEEDED	AS NEEDED	3
PROPOSED EROSION CONTROL	AS NEEDED	AS NEEDED	AS NEEDED	AS NEEDED	AS NEEDED	AS NEEDED	AS NEEDED	AS NEEDED	3

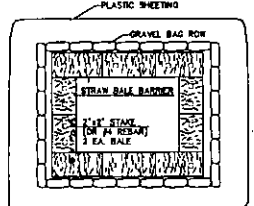
FARRINGTON ENGINEERING CONSULTANTS, INC.
CONSULTING CIVIL ENGINEERING
11679 VIA FERIA
SAN DIEGO, CA 92120
(619) 579-9439

Mark A. Farrington
DATE: 10/31/06

Scale 1" = 50'

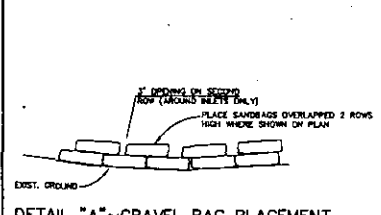


CONCRETE WASTE MANAGEMENT-SECTION

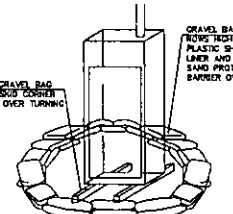


CONCRETE WASTE MANAGEMENT-PLAN WM-8

PLACE AN IDENTIFIABLE SIGN DESIGNATING THE CONCRETE WASH-OUT FACILITY.
CONCRETE WASTE WASH-OUT MATERIAL SHALL DRY BEFORE REMOVING TO A LEGAL DUMP SITE.
REPLACE PLASTIC SHEET LINER IMMEDIATELY AFTER EVERY WASTE REMOVAL.

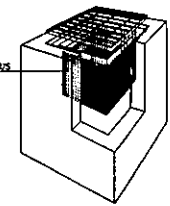


DETAIL "A"-GRAVEL BAG PLACEMENT



SANITARY/SEPTIC WASTE MANAGEMENT WM-9

SANITARY WASTE REMOVAL SHALL BE BY A LICENSED SANITARY WASTE HAULER. SANITARY WASTE SHALL BE MOVED TO A LEGAL SANITARY



DETAIL "A"-FLOW GUARD INSERT (PVT)

RESPONSIBLE PARTY
THE RESPONSIBILITY FOR MAINTAINING THE FLO-GUARD INSERT SHALL BE BY OWNER

MAINTENANCE SCHEDULE
MAINTENANCE OF THE FLO-GUARD INSERT ASSEMBLY SHALL BE AT A MINIMUM ON A MONTHLY BASIS AND/OR AFTER EVERY MEASURABLE RAIN STORM.

FLO-GUARD PLUS
CATCH BASIN FILTER INSERT
(FRAME MOUNT)
FLAT GRATED INLET
KRISTAP ENTERPRISES, INC., SANTA ROSA, CA
(800) 579-8818

LEGEND

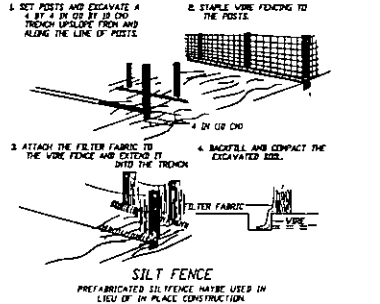
DESCRIPTION	SYMBOL
STABILIZED CONSTRUCTION ENTRANCE/EXIT	
SILT FENCE	CO34 OR ESC 50
UNLINED SHALE & BORN	CO36 OR ESC 52
GRAVEL BAGS	WM-1
MATERIAL DELIVER STORAGE	WM-1
CONCRETE WASTE MANAGEMENT	WM-8
SANITARY/SEPTIC WASTE MANAGEMENT	WM-9

WATER QUALITY NOTES

1. MOST CONSTRUCTION BMP'S WILL INCLUDE KRISTAP FLO-GUARD FILTER INSERTS SHOWN.
2. SURFACE URGRANDE TO PRIVATE 12"x12" CATCH BASINS SHOWN FOR 0.25"/HR. STORM INTENSITIES.
3. MAINTENANCE CHECK OF ALL PRIVATE CATCH BASINS TO BE MADE ON A PER STORM EVENT OR MONTHLY, WHICHEVER IS A GREATER OCCURENCE.
4. MAINTENANCE RESPONSIBILITY SHALL BE BY OWNER.

CONSTRUCTION BMP'S

- BMP'S SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
1. STABILIZED CONSTRUCTION ENTRANCES
 2. GRAVEL BAGS AROUND EACH CATCH BASIN ONCE INSTALLED AND VEGETATION NOT COMPLETED.
 3. SILT FENCING COMPLETELY SURROUNDING PROJECT DISTURBANCE
 4. STREET SWEEPING
 5. CONCRETE WASH OUT AREA.
 6. SANITATION WASTE CONTAINMENT.
 7. MATERIAL WASTE CONTAINMENT.
 8. MATERIAL STORAGE.
 9. BMP GOOD HOUSEKEEPING INSTRUCTIONS TO ALL PARTIES ASSOCIATED WITH CONSTRUCTION.



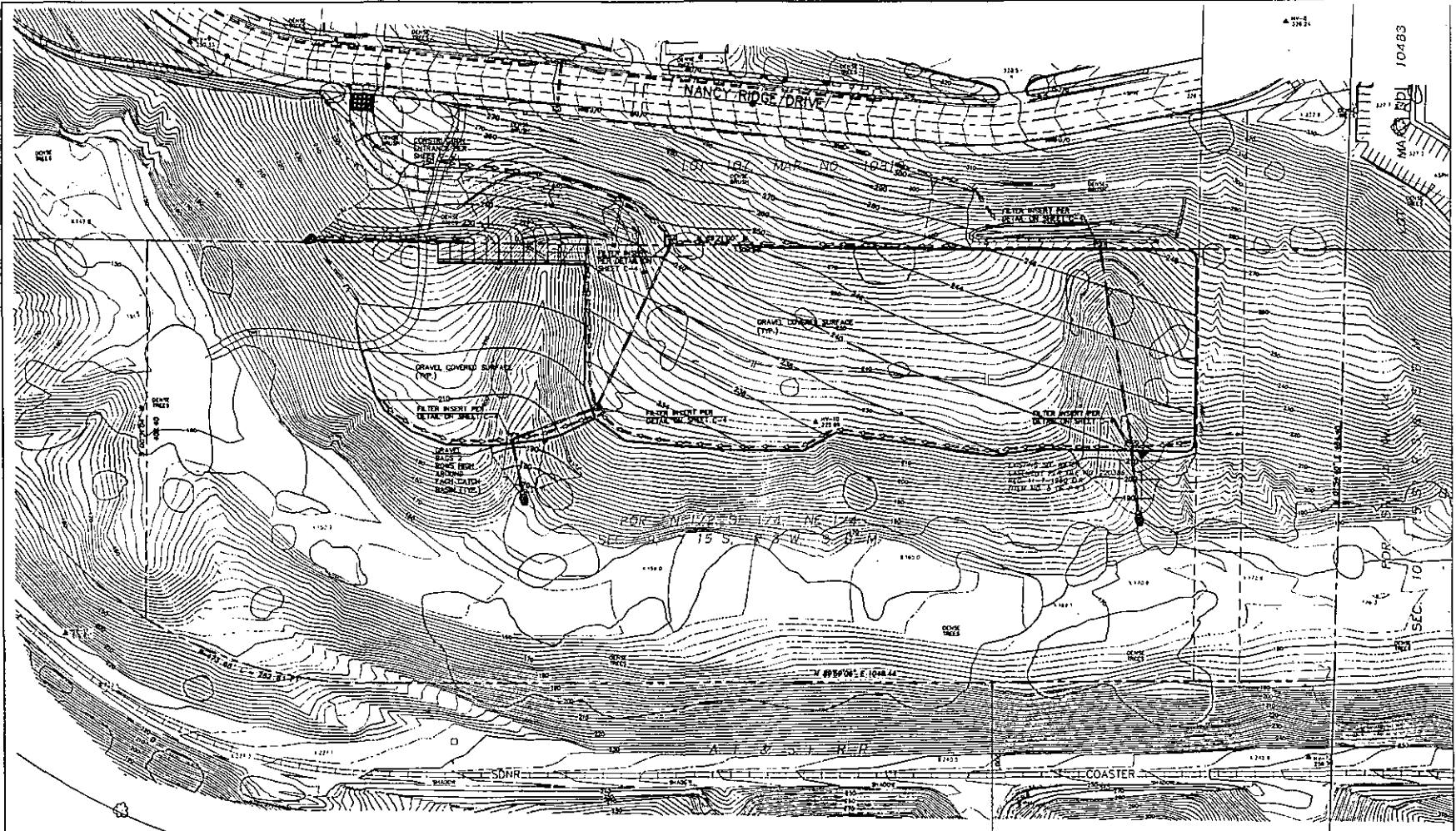
SILT FENCE
PREFABRICATED SILT FENCE MAYBE USED IN LIEU OF IN PLACE CONSTRUCTION

NANCY RIDGE BUSINESS PARK

SITE DEVELOPMENT PERMIT
PLANNED DEVELOPMENT PERMIT
PRELIMINARY EROSION CONTROL PLAN

PREPARED BY: FARRINGTON ENGINEERING

NAME:	11679 VIA FERIA	REVISION 1:	1-5-07
ADDRESS:	SAN DIEGO, CA 92120	REVISION 2:	2-10-07
PHONE NO.:	619-579-9439	REVISION 3:	6-07-07
PROJECT ADDRESS:	NANCY RIDGE DR.	REVISION 4:	8-18-07
REVISION 5:	1-22-08	REVISION 6:	
REVISION 7:		REVISION 8:	
REVISION 9:		REVISION 10:	
PROJECT NAME:	NANCY RIDGE BUSINESS PARK	DATE:	10-24-06
SHEET TITLE:	PRELIMINARY EROSION CONTROL PLAN	P.L.S. NO.:	11488
		PERMIT NO.:	



FARRINGTON ENGINEERING CONSULTANTS
CONSULTING CIVIL ENGINEERING
11675 VIA FERRA
SAN DIEGO, CA 92128
6580 673-9436



NANCY RIDGE BUSINESS PARK
PRELIMINARY EROSION CONTROL PLAN

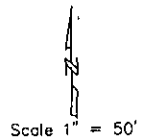
ISSUE DATES
REVISION DATES

NANCY RIDGE BUSINESS PARK
SITE DEVELOPMENT PERMIT
PLANNED DEVELOPMENT PERMIT
PRELIMINARY EROSION CONTROL PLAN

PREPARED BY: NAME: FARRINGTON ENGINEERING ADDRESS: 11675 VIA FERRA SAN DIEGO, CA 92128 PHONE NO: 658-673-9436 PROJECT ADDRESS: 8000 NANCY RIDGE DR. SAN DIEGO, CA 92121 PROJECT NAME: NANCY RIDGE BUSINESS PARK SHEET TITLE: PRELIMINARY EROSION CONTROL PLAN	REVISION 1: 1-5-07 REVISION 2: 2-10-07 REVISION 3: 3-02-07 REVISION 4: 4-18-07 REVISION 5: 8-22-07 REVISION 6: 1-22-08 REVISION 7: _____ REVISION 8: _____ REVISION 9: _____ REVISION 10: _____ DATE: 08-04-08 P.T.S. NO.: 11438 POINT NO.: _____
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DRAWN BY: M.F. PLOT SCALE: 1"=50' SHEET NUMBER: C-5 SHEET 6 OF 8
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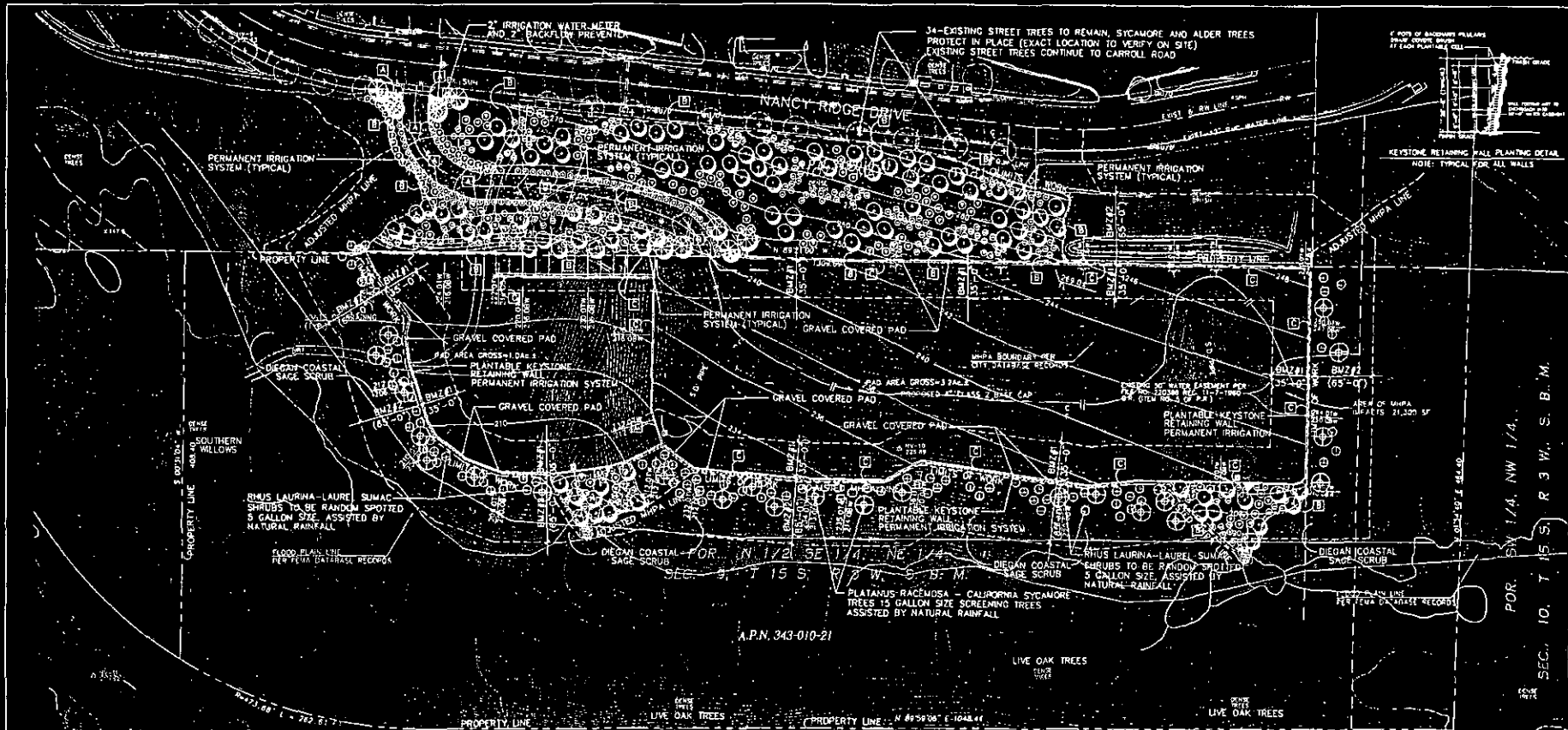
FARRINGTON ENGINEERING CONSULTANTS, INC.
CONSULTING CIVIL ENGINEERING
11675 VIA FERRA
SAN DIEGO, CA 92128
6580 673-9436
Mark A. Farrington 67308
MARK A. FARRINGTON RCE 38114 EP. 3/31/08 DATE



Darrone Design Associates, Inc.
LANDSCAPE ARCHITECTURE & PLANNING
Professional Seal No. 11989-1



NANCY RIDGE BUSINESS PARK
LANDSCAPE DEVELOPMENT PLAN



A.P.N. 343-010-21

POR: S1/4, NW 1/4, R 3 W., S. B. M.
SEC. 10, T 45 S.

PLANT LIST / LEGEND

Table with columns: SYMBOL, BOTANICAL NAME, COMMON NAME, PRECEDENCE/PIZE, FORM/FUNCTION, MASS, HEIGHT/SPREAD, A. DIAM. Rows include trees (Standard Project Entry, Pines, Shrubs), groundcovers, and shrubs.

Table listing tree and shrub species with technical specifications: (BOTANICAL NAME), (FORM/FUNCTION), (MASS), (HEIGHT/SPREAD), (A. DIAM.), (SOIL), (SLOPE), (WIND EXPOSURE), (DRAINAGE), (SUN EXPOSURE), (MATERIALS), (INSTALLATION), (MAINTENANCE).

- 1. PLANTS USED FOR EROSION CONTROL ON DISTURBED SOIL AND SLOPES SHALL ACHIEVE 100 PERCENT SOIL COVERAGE WITHIN TWO YEARS OF BEING INSTALLED.
2. ALL LANDSCAPE AND IRRIGATION SHALL COMPLY TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
3. THROUGHOUT ALL AUTOMATIC ELECTRONICALLY CONTROLLED IRRIGATION SYSTEMS SHALL BE PROVIDED AS REQUIRED FOR PROMPT IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, WATER-DEFICIENT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
4. ALL PLANTING PROVIDED SHALL PROVIDE THE SCREENING OF THE WALL WITHIN TWO YEARS.
5. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY PROJECT OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE S.B.M. SHALL BE MAINTAINED IN A HEALTHY CONDITION. DISPOSED OF DEAD PLANT MATERIAL SHALL BE SATISFACTORYLY DISPOSED OR RECYCLED FOR THE BENEFIT OF THE ENVIRONMENT.
6. ALL IRRIGATION SYSTEMS WILL BE INSTALLED AS RECYCLED WATER IRRIGATION SYSTEMS.
7. PROPOSED IRRIGATION SYSTEMS WILL INCORPORATE SEPARATE SYSTEMS FOR CONTAINER STOCK PLANT MATERIALS AND NATIVE PERENNIALS SLOPE EROSION CONTROL AREAS.
8. NO MACHINERY OR EQUIPMENT WILL BE USED TO PROVIDE INSTALLATION OF IRRIGATION EQUIPMENT OR LANDSCAPE PLANTING IN THE BRUSH MANAGEMENT ZONE (Z) ONLY MANUAL HAND INSTALLATION WILL BE DONE. EVERY EFFORT WILL BE TAKEN TO PROTECT IN PLACE FOR ALL EXISTING NATIVE PLANTS.

Table with columns: MINIMUM TREE SEPARATION DISTANCE, PLANT SPACES (FROM BOOK), ABOVE GROUND UTILITY STRUCTURES, INTERFERENCE (VERTICAL CLEARANCE), INTERFERENCE (HORIZONTAL CLEARANCE). Rows include values for 20 FEET, 10 FEET, and 25 FEET.

PREPARED BY: DARRONE DESIGN ASSOCIATES, INC.
NAME: DAN O'ROURKE, LANDSCAPE ARCHITECT
ADDRESS: 4008 NORTH ILL. ST. STE. 1001, SAN DIEGO, CA 92117
PHONE NO.: 619-214-1001
PROJECT ADDRESS: NANCY RIDGE DR., SAN DIEGO, CA 92118
PROJECT NAME: NANCY RIDGE BUSINESS PARK
SHEET TITLE: LANDSCAPE DEVELOPMENT PLAN
SCALE: 1" = 50'

ISSUE DATES table, REVISION DATES table, and DRAWN BY: DARRONE, PLOT SCALE: 1"=50', SHEET NUMBER: L-10, SHEET 7 OF 8.

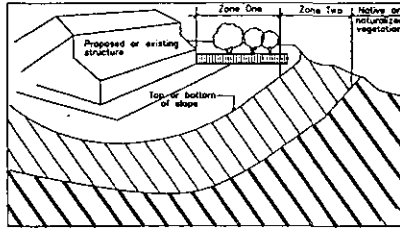
Brush Management Notes:

- All brush management zones shall be planted or maintained in accordance to the standards referenced within the Land Development Manual - Landscape Standards LDC 142-041Z.
- Regular inspections and landscape maintenance are necessary to minimize the potential damage or loss of property from brush fires and other natural hazards such as erosion and slope failures. Because each property is unique, establishing a precise maintenance schedule is not feasible. However, for effective fire and watershed management, property owners should expect to provide maintenance according to each brush management zone.
- Zone One is the most critical zone for fire and watershed safety. All ornamental plantings should be kept well watered and all irrigation water should drain toward the street. Rain gutters and drainage pipes should be cleaned regularly and all leaves removed from the roof before the fire season begins. All planting, particularly non-irrigated natives and large trees should be regularly pruned to minimize dead fuels, to reduce excessive fuel and to provide adequate space between plants and structures.
- Zone Two should include removal of dead woody plants, eradication of weedy species and periodic pruning and thinning of trees and shrubs. Removal of seeds should not be done with hand tools such as hoes, as this removes valuable soil. The use of weed trimmers or other tools which retain short stubble that protects the soil is recommended. Native shrubs should be pruned in the summer after the major plant growth occurs. Well-pruned healthy shrubs should typically require several years to build up excessive fire and dead fuel.
- On slopes of drainage device must be kept clear. Pre-inspect after each major storm since minor soil slips can block drains. Various groundcovers (e.g. Ivy) should be periodically sheared and detach remove (including grasses and some tree plants). Diseased and dead wood should be pruned from trees. Fertilizing trees and shrubs is not typically recommended as this may stimulate excessive growth. However, a light application of balanced fertilizer may be beneficial in producing new growth when severely pruning old shrubs and wood groundcovers.
- Dead restrictions, open space easements or Parks and Recreation vested rights must be taken care by the owner. All landscape areas are the responsibility of the to be maintained by the property owner.
- All proposed native planting in the Brush Management Zone #2 will be irrigated with temporary automatic irrigation system utilizing low volume drip system for native shrubs / on grass planting. The temporary irrigation system will be removed after establishment period.
- No mechanical equipment will be used to provide installation of irrigation equipment or landscape in the Brush Management Zone #2, only manual hand installation will be done. Every effort will be taken to protect in place all existing native plants.

Brush Management:

- Brush management is required in all base zones for the types of development listed below when they are adjacent to any highly flammable area of native or naturalized vegetation that is greater than 10 acres as mapped by the City of San Diego, or adjacent to any area of native or naturalized vegetation that is greater than 50 acres, as shown in Table 142-04A. However, within the Coastal Overlay Zone, brush management is required for all coastal development, within the area, and for adjacent to steep hillside containing sensitive biological resources.
 - New structures
 - Additions to structures
 - Subdivisions that create lots where new structures could be located
 - Existing structures
- Brush Management Zones: Where brush management is required, a comprehensive program shall be implemented that reduces fire hazards around structures by providing an effective fire break between all structures and contiguous areas of flammable vegetation. This fire break shall consist of two distinct brush management areas called "Zone One" and "Zone Two" as shown in Diagram 142-04B.

**Diagram 142-04B
Brush Management Zones**



- Brush management Zone One is the area adjacent to the structure, shall be least flammable, and shall consist of pavement and permanently irrigated ornamental planting. Brush Management Zone One shall not be allowed on slopes with a gradient greater than 4:1 (4 horizontal feet to 1 vertical foot) unless the property that received tentative map approval before November 15, 1989. However, within the Coastal Overlay Zone coastal development shall be subject to the environmental restrictions set forth in Section 143.0142(a)(4) of the Environmentally Sensitive Lands Regulations.
- Where brush management is required by this Section, the width of Zone One and Zone Two shall be increased that shown in Table 142-04H where development is adjacent to steep or vegetation that meets the criteria shown in the table, the required Zone One and Zone Two width shall be increased by the dimension shown. Both Zone One and Zone Two shall be provided on the subject property unless a recorded easement is granted by an adjacent property owner to the owner of the subject property to establish and maintain the required brush management zone (a) on the adjacent property in perpetuity.

**Diagram 142-04H
Brush Management Zone Width Requirements**

Criteria	Zone width
Minimum Zone One Width	35ft
Minimum Zone Two Width	5ft

- The width of brush management Zone One shall be increased by 10 feet for structures that do not meet all of the following requirements:
 - Roof materials shall be fire retardant. Wood shake shingles, whether fire retardant treated or untreated, are not permitted.
 - Walls, eaves, and overhangs shall be one-hour, fire-resistant.
 - Eave vents shall be covered with wire screen not to exceed 1/4-inch mesh.
- Where additional Zone One width is required adjacent to the SMDPA or within the Coastal Overlay Zone, any of the following modifications to development regulations of the Land Development Code or standards in the Land Development Manual are permitted to accommodate the increase in width:
 - The required front yard setback of the base zone may be reduced by 5 feet.
 - A sidewalk may be eliminated from one side of the public right-of-way and the minimum required public right-of-way width may be reduced by 5 feet, or
 - The overall minimum government and public right-of-way width may be reduced in accordance with the Street Design Standards to the Land Development Manual.
- The minimum Zone Two width may be decreased by 2 feet for each 1 foot of increase in Zone One width over the minimum shown in Table 142-04H.

(a) Zone One Requirements

- The required Zone One width shall be provided between flammable vegetation and any structure and shall be measured from the exterior of the structure to the vegetation.
- Zone One shall contain no habitable structures, structures that are directly attached to habitable structures, or other combustible construction that provides a means for transmitting fire to the habitable structures. Structures such as fences, walls, and nonhabitable appendages that are located within brush management Zone One shall be of noncombustible construction.
- Plants within Zone One shall be primarily low growing and less than 4 feet in height with the exception of trees. Plants shall be low-leaf and fire resistant.
- Trees within Zone One shall be located away from structures to a minimum distance of 10 feet as measured from the structures to the drip line of the tree as measured in accordance with the Landscape Standards of the Land Development Manual.
- Permanent irrigation is required for all planting areas within Zone One except as follows:
 - When planting areas contain only species that do not grow taller than 24 inches in height, or
 - When planting areas contain only native or naturalized species that are not summer-dormant and have a maximum height at plant maturity of less than 24 inches.
- Zone One irrigation over spray and runoff shall not be allowed into adjacent areas of native or naturalized vegetation.
- Zone One shall be maintained on a regular basis by pruning and thinning plants, controlling weeds, and maintaining irrigation systems.

(b) Zone Two Requirements

- The required Zone Two width shall be provided between Zone One and the undisturbed, flammable vegetation, and shall be measured from the edge of Zone One (that is furthest from the habitable structure), to the edge of undisturbed vegetation.
- No structures shall be constructed in Zone Two.
- Within Zone Two, 50 percent of the plants over 18 inches in height shall be cut and cleared to a height of 6 inches.
- Within Zone Two, all plants remaining after 30 percent are cut and cleared shall be pruned to reduce fuel loading in accordance with the Landscape Standards in the Land Development Manual.
- The following standards shall be used where Zone Two area is proposed to be planted with new plant material instead of clearing existing native or naturalized vegetation:
 - All new plant material for Zone Two shall be native or naturalized, low-leaf, and fire-resistant. No non-native plant material may be planted in Zone Two either inside the SMDPA or in the Coastal Overlay Zone, adjacent to areas containing sensitive biological resources.
 - New plants shall be low-growing with a maximum height at maturity of 2 feet. Spruce specimens of fire-resistant native trees may exceed the limitation if they are located to reduce the chance of transmitting fire from native or naturalized vegetation to habitable structures.
 - All new Zone Two plantings shall be temporarily irrigated until established. Permanent irrigation is not allowed in Zone Two. Only low flow, low gel-sponge spray heads may be used in Zone Two. Over spray and runoff from the irrigation shall not drift or flow into adjacent areas of native or naturalized vegetation.
 - Where Zone Two is being revegetated as requirement of Section 142.0411(a), revegetation shall comply with the spacing standards in the planted with material that does not grow taller than 24 inches. The remaining planting area may be planted with taller material, but this material shall be maintained in accordance with the requirements for existing plant material in Zone Two.
 - The use of non-invasive planting will be incorporated so as to leave existing vegetation undisturbed.

(c) The Fire Chief may modify the requirements of this section if the following conditions exist:

- The modification to the requirements shall achieve an equivalent level of fire protection as provided by this section, other regulations of the Land Development Code, and the minimum standards contained in the Land Development Manual, and
 - The modification to the requirements is not detrimental to the public health, safety, and welfare of persons residing or working in the area.
- If the City approves a modified plan in accordance with this section as part of the City's approval of a development permit, the modifications shall be recorded with the approved permit conditions.
- For existing structures, the Fire Chief may require brush management in compliance with this section for any area, independent of area, location, or condition if it is determined that an imminent fire hazard exists.
- Brush management for existing structures shall be performed by the owner of the lot with this section for any area, independent of area, location, or condition if it is property that contains flammable vegetation. This requirement is independent of whether the structure being protected by brush management is owned by the property owner subject to these requirements or is a neighboring property.

PREPARED BY:
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 SAN DIEGO, CA 92161
 PHONE NO: **619-594-1101**

PROJECT ADDRESS:
NANCY RIDGE BUSINESS PARK
 SAN DIEGO CA 92161

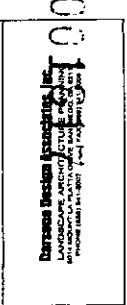
PROJECT NAME:
NANCY RIDGE BUSINESS PARK

DATE:
07-24-09

REVISION 1	1-5-07
REVISION 2	2-07-07
REVISION 3	4-11-07
REVISION 4	6-22-07
REVISION 5	1-08-08
REVISION 6	
REVISION 7	
REVISION 8	
REVISION 9	
REVISION 10	

SHEET TITLE:
LANDSCAPE DEVELOPMENT PLAN
BRUSH MANAGEMENT PLAN

PLS NO: 81398
PERMITS NO:



NANCY RIDGE BUSINESS PARK

ISSUE DATES

REVISION DATES

DRAWN BY:
DAVIDSON

PLLOT SCALE:
 1"=50'

SHEET NUMBER:
L-2.0
 SHEET 8 OF 8

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
 CITY CLERK
 MAIL STATION 2A

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 42-7003

SITE DEVELOPMENT PERMIT NO. 385300
PLANNED DEVELOPMENT PERMIT NO. 385298
NANCY RIDGE BUSINESS PARK [MMRP] – PROJECT NO. 114358

CITY COUNCIL

This Site Development Permit No. 385300, Planned Development Permit No. 385298 is granted by the City Council of the City of San Diego to NANCY RIDGE BUSINESS PARK, LLC and CARYON PROPERTIES, LLC, Owners/Permittees, pursuant to San Diego Municipal Code [SDMC] section 126.0502 and 126.0602. The 25.79 acre site is located at 5909 Nancy Ridge Drive in the AR-1-1, IL-2-1 (proposed), Airport Environs, Accident Potential Zone 1, MCAS Airport Influence Area, Brush Management, Multiple Habitat Planning Area, Floodplain Zone "A", Community Plan Implementation Zone "B", and Residential Tandem Parking zones of the Mira Mesa Community Plan. The project site is legally described as the north half of the southeast quarter of the northeast quarter, in Section 9, Township 15 South, Range 3 West, San Bernardino Base Meridian, in the City of San Diego, County of San Diego, State of California (APN 343-010-21); and Lot 107 of Lusk Industrial Park Unit No. 4, Map 10819 (APN 343-010-31).

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct two graded level pads for outdoor storage use only and an access road on two parcel lots, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated XXXXXXXX, on file in the Development Services Department.

The project shall include:

- a. Site grading, drainage structures, and retaining walls to create an access driveway and two graded pads with 4 inches thick of Class 2 base cap for an outdoor storage area;
- b. A deviation is being granted to allow a retaining wall ranging in height from 12'-0" to a maximum of 31'-0" outside of required setbacks, as shown on Exhibit "A" dated XXXXXXXX.

- c. Landscaping (planting, irrigation and landscape related improvements); and
- d. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in affect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.
4. This Permit is a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service [USFWS] pursuant to Section 10(a) of the ESA and by the California Department of Fish and Game [CDFG] pursuant to Fish and Game Code section 2835 as part of the Multiple Species Conservation Program [MSCP], the City of San Diego through the issuance of this Permit hereby confers upon Owner/Permittee the status of Third Party Beneficiary as provided for

in Section 17 of the City of San Diego Implementing Agreement [IA], executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. OO-18394. Third Party Beneficiary status is conferred upon Owner/Permittee by the City: (1) to grant Owner/Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Owner/Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS, or CDFG, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Owner/Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Owner/Permittee of mitigation obligations required by this Permit, as described in accordance with Section 17.1D of the IA.

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

9. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless

the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

12. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program (MMRP). These MMRP conditions are incorporated into the permit by reference or authorization for the project

13. The mitigation measures specified in the Mitigation Monitoring and Reporting Program, and outlined in Mitigated Negative Declaration No. 114358, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL/MITIGATION REQUIREMENTS.

14. The Owner/Permittee shall comply with the Mitigation, Monitoring, and Reporting Program (MMRP) as specified in Mitigated Negative Declaration No. 114358, satisfactory to the Development Services Department and the City Engineer. Prior to issuance of the first grading permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:

Land Use
Biological Resources
Paleontological Resources

15. Prior to issuance of any construction permit, the Owner/Permittee shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.

ENGINEERING REQUIREMENTS:

16. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices (BMP) maintenance, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction BMP's necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

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18. Prior to the issuance of any construction permit the Owner/Permittee shall incorporate and show the type and location of all post construction BMP's on the final construction drawings, consistent with the approved Water Quality Technical Report.
19. The drainage system for this project shall be private and will be subject to approval by the City Engineer.
20. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
21. Development of this project shall comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 99 08 and the Municipal Storm Water Permit, Order No. 2001-01 (NPDES General Permit No. CAS000002 and CA S0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan (SWPPP) and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent (NOI) shall be filed with the SWRCB.

A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 99 08 DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in Section C.7 of SWRCB Order No. 99 08 DWQ.

22. The Owner/Permittee shall construct a 26-foot wide standard driveway on Nancy Ridge Drive. All work shall be completed and accepted by the City Engineer prior to open storage operations.
23. Fill placed in the Special Flood Hazard Area for the purpose of creating a building pad must be compacted to 95% of the maximum density obtainable with the Standard Proctor Test Fill method issued by the American Society for Testing and Materials (ASTM Standard D-698). Granular fill slopes must have adequate protection for a minimum flood water velocity of five feet per second.

GEOLOGY REQUIREMENTS:

24. Additional geotechnical review will be required as part of the ministerial permit issuance process when a building or grading permit is required for this project.

LANDSCAPE REQUIREMENTS:

25. Landscape Construction Documents associated with grading, retaining walls, and building permits shall clearly demonstrate within the landscape scope of work, notes on plans, details, and/or landscape specifications that construction of retaining walls shall not exceed the limits of work as defined on Exhibit "A" Landscape Development Plan.
26. Landscape Construction Documents associated with grading, retaining walls, and building permits shall clearly demonstrate within the landscape scope of work and/or landscape specifications that planting which occurs in Brush Management Zone 2 and in the MHPA, as defined on Exhibit "A" Landscape Development Plan, shall be planted by hand, without the use of machinery. No mechanical or vehicular equipment shall be permitted.
27. Landscape Construction Documents associated with grading, retaining walls, and building permits shall clearly demonstrate within the landscape scope of work and/or landscape specifications that Brush Management Zone 2 shall be temporarily irrigated and shall consist of only above-ground piping as defined in the Land Development Manual: Landscape Standards. No trenching or mechanical equipment shall be permitted Brush Management Zone 2 and in the MHPA, as defined on Exhibit "A" Landscape Development Plan.
28. In the event that the Landscape Plan and the Site Plan conflict, the Site Plan shall be revised to be consistent with the Landscape Plan such that landscape areas are consistent with the Exhibit 'A' Landscape Development Plan.
29. Prior to issuance of construction permits for grading, the Owner/Permittee or subsequent Owner shall submit landscape construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the Land Development Manual Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Office of the Development Services Department.
30. Installation of slope planting and erosion control including seeding of all disturbed land (slopes and pads) consistent with the approved landscape and grading plans is considered to be in the public interest. The Permittee shall initiate such measures as soon as the grading and disturbance has been completed. Such erosion control/slope planting and the associated irrigation systems (temporary and/or permanent) and appurtenances shall be installed in accordance with the approved plans and the Land Development Manual: Landscape Standards.
31. The Owner/Permittee or subsequent Owner shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.
32. The Owner/Permittee or subsequent Owner shall ensure that all proposed landscaping, especially landscaping adjacent to native habitat and/or MHPA, shall not include exotic plant species that may be invasive to native habitats. Plant species found within the California Invasive

Plant Council's (Cal-IPC) Invasive Plant Inventory and the City of San Diego's Land Development Manual, Landscape Standards are prohibited.

33. Construction Documents for grading shall include the following note: "Installation of landscaping associated with these construction documents shall require a minimum short-term establishment period of 120 days for all native/naturalized slope restoration and a minimum long-term establishment/maintenance period of 25 months. Final approval of the required landscaping shall be to the satisfaction of the Mitigation Monitoring Coordination section of the Development Services Department.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

34. The Owner/Permittee and/or any subsequent Owner shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit 'A', Brush Management Plan, on file in the Office of the Development Services Department.

35. Prior to issuance of any construction permits for grading, retaining walls, or buildings, Landscape Construction Documents shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit 'A.'

36. Prior to issuance of any construction permits for grading, retaining walls, or buildings, a complete set of Brush Management Construction Documents shall be submitted for approval to the Development Services Department and the Fire Marshall. The construction documents shall be in substantial conformance with Exhibit 'A' and shall comply with the Uniform Fire Code, M.C. 55.0101; the Land Development Manual, Landscape Standards; and the Land Development Code, Landscape Regulations Section 142.0412 (Ordinance 19413).

37. The Brush Management Program shall consist of two zones consistent with the Brush Management Regulations of the Land Development Code Section 142.0412 as follows: a standard Zone One of 35 feet and a standard Zone Two of 65 feet.

38. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while non-combustible accessory structures may be approved within the designated Zone One area subject to Fire Marshall and Development Services Department approval.

39. The following note shall be provided on the Brush Management Construction Documents: "It shall be the responsibility of the Permittee to schedule a pre-construction meeting on-site with the contractor and the Development Services Department to discuss and outline the implementation of the Brush Management Program."

40. In Zone One, plant material shall be selected to visually blend with the existing hillside vegetation. No invasive plant material shall be permitted as jointly determined by the Landscape Analysis Section [LAS] and the Environmental Analysis Section [EAS].

41. All new Zone Two planting shall be temporarily irrigated with an above-ground irrigation system until established. Zone Two shall be maintained on a regular basis by pruning and thinning plants, removing weeds, and maintaining the temporary irrigation system. Only native vegetation shall be planted or hydroseeded. If Zone Two is being revegetated, 50% of the planting area shall be seeded with material that does not grow taller than 24 inches.
42. Prior to final inspection, the approved Brush Management Program shall be implemented. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Land Development Manual, Landscape Standards.

PLANNING/DESIGN REQUIREMENTS:

43. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
44. Other than the open storage use, as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated XXXXXXXX, on file in the Development Services Department, the Owner/Permittee and/or any subsequent Owner shall not be allowed to convert, change or modify to any other uses or development on the site unless appropriate application(s) or amendment(s) to this Permit have been granted.
45. No storage of hazardous waste chemicals or materials, petroleum products, or motor vehicles shall be allowed on site.
46. Outdoor storage of merchandise, material, and equipment shall be permitted on this site provided that the area is screened by a solid fence, wall or combination thereof, not less than 6'-0" in height and not greater than 12'-0" in height. No merchandise, material, or equipment shall exceed the height of the screening fence, wall or combination thereof. Fences and/or walls which exceed a height of 6'-0" shall obtain a building permit as required by the Municipal and Uniform Building Codes.
47. The Owner/Permittee shall take measures to ensure that water quality is not adversely affected by runoff containing fuel and lubricants or other pollutants.
48. Prior to issuance of any construction permits, the Owner/Permittee shall provide a Litter Control Program to ensure that the property is kept free of litter, satisfactory to the City Engineer
49. Prior to issuance of any construction permits, the Owner/Permittee shall execute a covenant of easement to be recorded against title to the affected premises, identified as all areas outside the development footprint, not including the conveyance of 8.02 acres for the MHPA, as shown on the approved Exhibit "A," Nancy Ridge Business Park, and executed in favor of the City. The covenant shall contain information as required by SDMC Sections 143.0152(a) (1-4).

50. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as a condition of approval of this Permit. Where there is a conflict between a condition (including exhibits) of this Permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations. Where a condition (including exhibits) of this Permit establishes a provision which is more restrictive than the corresponding regulation of the underlying zone, then the condition shall prevail.

51. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

WASTEWATER REQUIREMENTS:

52. The open storage area shall not contain any habitable structure or trailer on the site. Any future habitable building structure on the site shall require the Owner/Permittee and/or subsequent owner to provide a sewer study and possible upgrade of offsite public sewer mains, acceptable to the Metropolitan Wastewater Department Director and satisfactory to the City Engineer.

WATER REQUIREMENTS:

53. Prior to the issuance of any construction permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water services, outside of any driveway or drive aisle and the removal of any existing unused water services within all rights-of-way adjacent to the project site, in a manner satisfactory to the Water Department Director and the City Engineer.

54. Prior to the issuance of any construction permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention devices on each water service (domestic and irrigation), in a manner satisfactory to the Director of Public Utilities, the City Engineer and the Cross Connection Control Group in the Customer Support Division of the Water Department.

55. No approved improvements or landscaping, including private water facilities, grading and enhanced paving, shall be installed in or over any easement prior to the applicant obtaining an Encroachment Maintenance and Removal Agreement.

56. Prior to the issuance of any certificates of occupancy, the Owner/Permittee shall install additional fire hydrants, if needed, at locations satisfactory to the Fire Department and the City Engineer.

57. All on-site water facilities shall be private including domestic, fire and irrigation systems.

58. Prior to the issuance of any certificates of occupancy, public water facilities necessary to serve the development, including services and meters, shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

59. The Owner/Permittee agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Water facilities as shown on the approved plans shall be modified at final engineering to comply with standards.

INFORMATION ONLY:

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code §66020.
- This development may be subject to impact fees at the time of construction permit issuance

APPROVED by the City Council of the City of San Diego on [date and resolution number] .

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Permit Type/PTS Approval No.: SDP 385300
PDP 385298
Date of Approval: XXXXXXXX

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

Tim Daly
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

[NAME OF COMPANY]
Owner/Permittee

By _____
NAME
TITLE

[NAME OF COMPANY]
Owner/Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

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(R-INSERT)

RESOLUTION NUMBER R-NUMBER

ADOPTED ON DATE

WHEREAS, NANCY RIDGE BUSINESS PARK, LLC, Owner/Permittee, filed an application with the City of San Diego for a Site Development Permit (SDP) No. 385300, Planned Development Permit (PDP) No. 385298, and a Multi-Habitat Planning Area (MHPA) boundary line adjustment to construct two step-down, flat pads for outdoor storage use known as the Nancy Ridge Business Park project, located at 5909 Nancy Ridge Drive, and legally described as the north half of the southeast quarter of the northeast quarter, in Section 9, Township 15 South, Range 3 West, San Bernardino Base Meridian, in the City of San Diego, County of San Diego, State of California (APN 343-010-21); and Lot 107 of Lusk Industrial Park Unit No. 4, Map 10819 (APN 343-010-31), in the Mira Mesa Community Plan area, in the AR-1-1 zone, which is proposed to be rezoned to the IL-2-1 zone; and

WHEREAS, on July 17, 2008, the Planning Commission of the City of San Diego considered Site Development Permit (SDP) No. 385300, Planned Development Permit (PDP) No. 385298, and a Multi-Habitat Planning Area (MHPA) boundary line adjustment, and pursuant to Resolution No. PC-XXXX voted to INSERT EITHER "recommend City Council approval of the permit" OR "approved/denied the permit"; and

WHEREAS, the matter was set for public hearing on XXXXXX, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

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BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to SDP No. 385300, PDP No. 385298, and a Multi-Habitat Planning Area (MHPA) boundary line adjustment:

Site Development Permit - Section 126.0504

A. Findings for all Site Development Permits

1. The proposed development will not adversely affect the applicable land use plan. The project site is designated Open Space and Light Industrial by the Mira Mesa Community Plan (MMCP). The area to be graded for the proposed storage use occurs entirely within the portion of the site designated Light Industrial and does not encroach into the area designated Open Space. The Light Industrial designation is intended for manufacturing, storage, warehousing, distribution and similar uses. The proposed use and the rezone from AR-1-1 to IL-2-1 to allow the open storage area is consistent with the MMCP's Light Industrial land use designation and therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare. The proposed site grading to create an access driveway and graded pads for outdoor storage on portions of a 25.79 acre site is located at 5909 Nancy Ridge Drive and the adjacent parcel to the south. The project has been conditioned to address project compliance with the City's regulations and other regional, state and federal regulations to prevent detrimental impacts to public health, safety and welfare. The proposed development meets or exceeds all established guidelines or requirements concerning fire safety access, control of storm water runoff, driveway and grading configurations, and all other items which may affect the public health, safety, or welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code. The proposed site grading to create an access driveway and graded pads for outdoor storage use complies with the applicable regulations of the proposed IL-2-1 zone, with the exception of retaining wall height. Specific conditions of approval require the continued compliance with all relevant regulations of the City of San Diego effective for this site and have been written as such into Planned Development Permit No. 385298. Development of the property shall meet all requirements of the regulations and development criteria of the IL-2-1 zone, except as specifically allowed and modified by the Planned Development Permit No. 385298 which allows specific deviations. All relevant regulations shall be complied with at all times for the life of the project, except as allowed through specific deviations.

B. Supplemental Findings--Environmentally Sensitive Lands

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands. The proposed site grading to create an access

driveway and graded pads for outdoor storage on portions of a 25.79 acre site is located at 5909 Nancy Ridge Drive and the adjacent parcel to the south. The project site consists of two parcels located below Nancy Ridge Drive on south and west facing slopes. Both parcels contain moderate to steep slopes with elevations ranging from approximately 200 feet to approximately 280 feet Above Mean Sea Level. The northern parcel (APN 343-010-31) totals approximately 11.80 acres, and fronts a portion of Nancy Ridge Drive which extends from a point approximately 150 feet south of the Carroll Canyon Road/Nancy Ridge Drive intersection and continues south around a bend turning eastward for a total of approximately 0.48 miles. The southern parcel (APN 343-010-21) totals approximately 13.99 acres, and has no street frontage. Both parcels contain Environmentally Sensitive Lands due to Steep Hillides and Sensitive Biological Resources on-site, and are located partially within the City of San Diego Multiple Species Subarea Plan's Multi-Habitat Planning Area and contain wetlands.

Based upon the site topography and the location of the parcels, the proposed project has been designed to limit overall grading quantities to reach a 23.8% development area where 25% is allowable, and has limited impacts to sensitive biological resources by obtaining an Multi-Habitat Planning Area (MHPA) Boundary Line Adjustment, which would result in a net gain of 4.36 acres of MHPA lands.

2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards. The proposed site grading to create an access driveway and graded pads for outdoor storage on portions of a 25.79 acre site is located at 5909 Nancy Ridge Drive and the adjacent parcel to the south. The proposed project, by utilizing plantable, keystone type retaining walls, will minimize the alteration of the natural land forms that might otherwise be reconfigured if fill slopes were to be utilized in lieu of the keystone walls. Additionally, by utilizing plantable retaining walls in lieu of fill slopes, the project improvements will not encroach into the flood plain and thus will minimize the effects of erosional forces and flood hazards. There will be no structures on site thereby minimizing any potential for a fire hazard.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands. The proposed site grading to create an access driveway and graded pads for outdoor storage on portions of a 25.79 acre site is located at 5909 Nancy Ridge Drive and the adjacent parcel to the south. Based upon the site topography and the location of the parcels, the proposed project has been designed to limit overall grading quantities to reach a 23.8% development area where 25% is allowable, and has limited impacts to sensitive biological resources by obtaining an Multi-Habitat Planning Area (MHPA) Boundary Line Adjustment, which would result in a net gain of 4.36 acres of MHPA lands. Additionally, the proposed development will occur outside of wetland areas and would maintain a minimum buffer of 100-feet. Potential indirect impacts occurring from drainage and sedimentation during construction would be mitigated through compliance with the MSCP Land Use Adjacency Guidelines and construction, post-construction and permanent BMP maintenance consistent with the approved Water Quality Technical Report. All wetland areas would be protected on-site.

The proposed development also proposes using plantable keystone type retaining walls in lieu of fill slopes. There will be substantially less encroachment into potential environmentally sensitive lands by the proposed development on this site or adjacent environmentally sensitive lands.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan. The proposed site grading to create an access driveway and graded pads for outdoor storage on portions of a 25.79 acre site is located at 5909 Nancy Ridge Drive and the adjacent parcel to the south. The proposed development is consistent with the MHPA preserve boundary, as allowed through a MHPA boundary line adjustment. By minimizing that portion of the site to be developed and restricting the remaining portion of the site's use as open space only, the proposed development conforms to the MSCP Subarea plan.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply. The proposed site grading to create an access driveway and graded pads for outdoor storage on portions of a 25.79 acre site is located at 5909 Nancy Ridge Drive and the adjacent parcel to the south. The proposed project is located several miles inland and, therefore, would not contribute to the erosion of public beaches nor would it impact the local shoreline sand supply. Runoff from the site would be directed to the graded pad areas, and primary filtering of storm water runoff would be achieved through catch basins on each pad level equipped with Kristar filter inserts, which would be discharged through rip rap dissipaters to the canyon area below the site. In addition, the site is designed with the use of keystone type retaining walls which will keep the development footprint out of that portion of the site subject to erosive conditions.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development. The proposed site grading to create an access driveway and graded pads for outdoor storage on portions of a 25.79 acre site is located at 5909 Nancy Ridge Drive and the adjacent parcel to the south. An environmental initial study has been conducted for the proposed development and concluded that the Mitigation, Monitoring and Reporting Program prepared for the site and incorporated into the development permit requirements will alleviate negative impacts created by the proposed development.

Planned Development Permit - Section 126.0604

A. Findings for all Planned Development Permits

1. The proposed development will not adversely affect the applicable land use plan. The project site is designated Open Space and Light Industrial by the Mira Mesa Community Plan (MMCP). The area to be graded for the proposed storage use occurs entirely within the portion of the site designated Light Industrial and does not encroach into the area designated Open Space. The Light Industrial designation is intended for manufacturing, storage, warehousing, distribution and similar uses. The proposed use

and the rezone from AR-1-1 to IL-2-1 to allow the open storage area is consistent with the MMCP's Light Industrial land use designation and therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare. The proposed site grading to create an access driveway and graded pads for outdoor storage on portions of a 25.79 acre site is located at 5909 Nancy Ridge Drive and the adjacent parcel to the south. The proposed site grading to create an access driveway and graded pads for outdoor storage on portions of a 25.79 acre site is located at 5909 Nancy Ridge Drive and the adjacent parcel to the south. The project has been conditioned to address project compliance with the City's regulations and other regional, state and federal regulations to prevent detrimental impacts to public health, safety and welfare. The proposed development meets or exceeds all established guidelines or requirements concerning fire safety access, control of storm water runoff, driveway and grading configurations, and all other items which may affect the public health, safety, or welfare.

3. The proposed development will comply with the regulations of the Land Development Code. The proposed site grading to create an access driveway and graded pads for outdoor storage use complies with the applicable regulations of the proposed IL-2-1 zone, with the exception of retaining wall height. The project is proposing a maximum 31-foot high retaining wall where the maximum height is 12-feet.

Specific conditions of approval require the continued compliance with all relevant regulations of the City of San Diego effective for this site and have been written as such into Planned Development Permit No. 385298. Development of the property shall meet all requirements of the regulations and development criteria of the IL-2-1 zone, except as specifically allowed and modified by the Planned Development Permit No. 385298 which allows specific deviations. All relevant regulations shall be complied with at all times for the life of the project, except as allowed through specific deviations.

4. The proposed development, when considered as a whole, will be beneficial to the community. The proposed site grading to create an access driveway and graded pads for outdoor storage on portions of a 25.79 acre site is located at 5909 Nancy Ridge Drive and the adjacent parcel to the south. The proposed development will be beneficial to the community in that it will afford local businesses in the area a location whereby they can store their product and/or equipment inventory in lieu of more remote locations thereby lessening the impact of their trucks and vehicles on the congested roadways in the area and the savings of non-renewable resources such as gasoline while lessening the impact to the environment.

5. Any proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone. Development of the property shall meet all requirements of the regulations and development criteria of the IL-2-1 zone, except as specifically allowed and modified by

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the Planned Development Permit No. 385298 which allows the specific deviation to the project's maximum retaining wall height.

The Planned Development Permit regulations allow for deviations to the minimum requirements of the zoning regulations affecting a site if the proposed design is demonstrated to be an imaginative and creative design solution which would not result from the strict application of the regulations. The development proposes outdoor storage facility which minimizes steep hillside grading impacts by constructing a series of plantable keystone retaining walls that are sensitive to adjacent properties and minimizes the impacts to environmentally sensitive lands. The proposed layout of the project site will be such a creative and imaginative design. The deviation is therefore allowable through the Planned Development Permit regulations. The development's concept plans for the project identify compliance with all other development criteria in effect for the site. All relevant regulations shall be complied with at all times for the life of the project, except as allowed through the specific deviation listed above.

The above findings are supported by the minutes, maps and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that the recommendation of the Planning Commission is sustained, and SDP No. 385300, PDP No. 385298, and a Multi-Habitat Planning Area (MHPA) boundary line adjustment is granted to Nancy Ridge Business Park, LLC, Owner/Permittee, under the terms and conditions set forth in the permit attached hereto and made a part hereof.

APPROVED: MICHAEL AGUIRRE, City Attorney

By _____
 NAME
 Deputy City Attorney

ATTY/SEC. INITIALS

DATE

Or.Dept:Clerk

R-INSERT

Form=permitr.frm(61203wct)

Reviewed by Tim Daly

001837

Rezone Ordinance

(O-INSERT~)

ORDINANCE NUMBER O-_____ (NEW SERIES)

ADOPTED ON _____

AN ORDINANCE OF THE COUNCIL OF THE CITY OF SAN DIEGO CHANGING 13.95 ACRES LOCATED, WITHIN THE MIRA MESA COMMUNITY PLAN AREA, IN THE CITY OF SAN DIEGO, CALIFORNIA, FROM THE AR-1-1 ZONE INTO THE IL-2-1 ZONE, AS DEFINED BY SAN DIEGO MUNICIPAL CODE SECTION 131.0603; AND REPEALING ORDINANCE NO. 18451 (NEW SERIES), ADOPTED DECEMBER 9, 1997, OF THE ORDINANCES OF THE CITY OF SAN DIEGO INsofar AS THE SAME CONFLICTS HEREWITH.

BE IT ORDAINED, by the Council of the City of San Diego, as follows:

Section 1. That 13.95 acres, located south of 5909 Nancy Ridge Drive, and legally described as north half of the southeast quarter of the northeast quarter, in Section 9, Township 15 South, Range 3 West, San Bernardino Base Meridian, in the City of San Diego, County of San Diego, State of California (APN 343-010-21); in the Mira Mesa Community Plan area, in the City of San Diego, California, as shown on Zone Map Drawing No. B-4263, filed in the office of the City Clerk as Document No. OO- _____, are rezoned from the AR-1-1 zone into the IL-2-1 Zone, described and defined by San Diego Municipal Code Chapter 13 Article 1 Division 6. This action amends the Official Zoning Map adopted by Resolution R-301263 on February 28, 2006.

Section 2. That Ordinance No. 18451 (New Series), adopted December 9, 1997, of the ordinances of the City of San Diego is repealed insofar as the same conflicts with the rezoned uses of the land.

Section 3. That a full reading of this ordinance is dispensed with prior to its final passage, a written or printed copy having been available to the City Council and the public a day prior to its final passage.

Section 4. This ordinance shall take effect and be in force on the thirtieth day from and after its passage, and no building permits for development inconsistent with the provisions of this ordinance shall be issued unless application therefore was made prior to the date of adoption of this ordinance.

APPROVED: MICHAEL AGUIRRE, City Attorney

By _____
Attorney name
Deputy City Attorney

Initials~
Date~
Or.Dept: INSERT~
Case No.114358
O-INSERT~
Form=inloto.frm(61203wct)

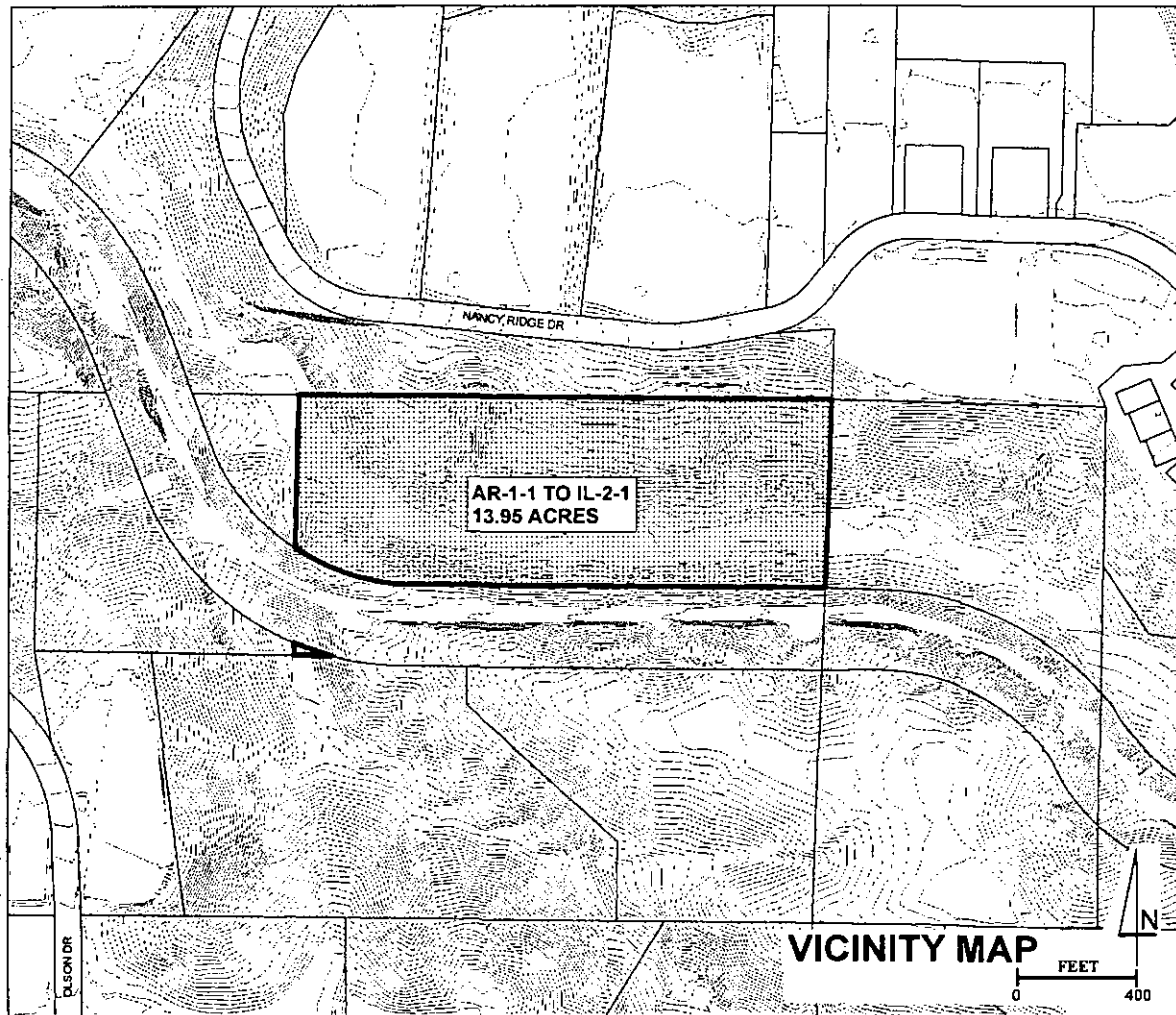
Rev 1-9-08 rh
document7

001839



CITY OF SAN DIEGO • DEVELOPMENT SERVICES

PROPOSED REZONING



Sec. 9-T155-R3W-POR		
ORDINANCE NO. _____	REQUEST IL-2-1	CASE NO. PTS114358
EFF. DATE ORD. _____	PLANNING COMM. RECOMMENDATION	DEVELOPMENT SERVICES MANAGER
ZONING SUBJ. TO _____	CITY COUNCIL ACTION	B- 4263
BEFORE DATE _____		APN: 343-010-21
EFF. DATE ZONING _____		(258-1701) 04-15-08 ldj
MAP NAME AND NO. _____		

001841

Mira Mesa Community Planning Group
Meeting Minutes
January 22, 2007

Attendees:

Joe Frichtel	Glen Best	Ian Firth	Marvin Miles	Jeanette Waltz
Jeff Stevens	Marlon Austria	Linda Geldner	Erwin Rose	Tim Schenck
Bruce Brown	Michael Linton	Bob Mixon	Ted Brengel	Mark Kornheiser
Bob Chamberlain				

1. Meeting was called to order at 7:04 p.m.
2. Agenda Additions or Deletions – none
3. Motion was made to approve December 2006 meeting minutes as submitted (Brown/Geldner) with correction of spelling Geldner's name. Motion passed 11-0-3.
4. Information Items:
 - a. Khoa Nguyen reported Taste of Mira Mesa will on Feb. 6th, 6:30 to 8:30 at GenProbe; city recently formed a Gang Commission to listen to teens and residents concerns...next meeting will be Feb 5th, 4:00 to 5:00 at Mira Mesa Library; Metro Transit Board has reinstated Rt. 31 and will begin service on Jan. 28th; smoking is not prohibited within 25 feet of any bus stop beginning in March; financing bond was passed to save the City approx. \$9M for ballpark.
 - b. Jennifer Cordeau, Planning Dept., reported Park Planning will be integrated with Planning Dept; Brown Act training will be Jan. 25th, 6:00 – 8:00 p.m.; Synergy Dance Studio was approved then appealed by the tenant below due to potential noise impacts on his business.
 - c. San Vicente Pipeline Update – Andrew Oleksyn, engineer with County Water Authority (CWA), gave an update on the western shaft construction. Currently 22% done with the eleven mile tunnel. End of February/early March the tunnel machine will begin assembly in the western shaft (at Mercy and I-15) and once it starts digging will take about eleven months to complete ¾ mile of tunnel. After 7:00 pm there will be no equipment on the surface of the shaft. The tunneling for eleven miles is expected to be completed by December 2008. Waltz asked that the CWA come back to the MMCPG should they encounter subsurface water in excess of what can be handled by the City's storm drain system and must be pumped to the top of Canyon Hills park for surface distribution. She continues to express concern that any water pumped to the top of the park could create vernal pools where none exist today due to relatively flat surface and soil composition. She also continued to express concern that as the water is distributed on top of the mountain filters down, it could impact existing homes that are downhill from the overflow water distribution site, depending on the volume of water distributed.
 - d. Public Comment – Stewart Posnock, Garden Communities, introduced himself and stated that Garden Communities had recently purchased Pardee's Casa Mira View on December 28th. They anticipate obtaining all required approvals from the City of San Diego prior to the Development Agreement expiring in 2008. They will be the builders of the project as well.
5. Correspondence – Brengel reported having received none
6. Old Business:
 - a. Sorrento Valley Science Park and Carroll Canyon Road/I-805 Interchange– Geldner reported the subcommittee review of the project was contingent upon the status of Carroll Canyon Road to the west to Scranton. The traffic issues are very significant particularly if the costs continue to climb and funding is not permanently identified with inflation for materials and labor factored in. Geldner contacted both Sandag and Caltrans to make a presentation to the MMCPG

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tonight to discuss status of Carroll Canyon Road extension and possible funding mechanisms. Jack Boda, Director Mobility Management and Project Implementation with Sandag (619-699-6930) and Allan Kosup, I-5 Corridor Director with Caltrans (619-688-3611) each presented the planned improvements along I-5 at the intersection of Carroll Canyon Road. They explained the proposed improvements are contingent upon the State Commission, responsible for distributing Prop 1D money for state traffic improvement projects, selecting this project to receive funding. The decision should be made by the Commission in March. They explained their proposed cost estimate included a 4% increase to the cost of the project/year should it be selected.

The applicants representative, Mary Pampush, with Lankford & Associates, explained the original Planned Industrial Permit (PID#86-0125) approved 200,000 sf for the proposed site. They are proposing to construct 300,000 sf (Bldg A: 139,000 sf/5-story and Bldg B: 161,000 sf/8-story) They propose to construct a below grade parking garage for 1,020 cars along with surface parking. They also propose 50% of the square footage will be used for R&D and 50% for office (to reduce traffic generation). Waltz questioned that the existing permit is not 86-0125 but rather approved amendment PID 89-0398 that is the "stamped approved" exhibit they distributed to the group showing the existing approval for 185,000 sf. not 200,000 sf. Ms Pampush distributed a handout prepared by their traffic engineers, Urban Systems Associates (4402-Exhibits.dwg), outlining 9 traffic improvement projects they have agreed to contribute to or construct:

1. Vista Sorrento Pkwy/Sorrento Valley Blvd: construct northbound right turn only lane of at least 500 feet.
2. Pacific Heights Blvd/MM Blvd: construct a southbound right turn only lane.
3. MM Blvd/Sequence Drive: Construct on additional east bound left turn lane for a total of two left turn lanes.
4. MM Blvd/Camino Santa Fe: construct on additional left turn lane in the eastbound and westbound directions.
5. Carroll Canyon Road Extension: Contribute \$1M to the FBA Fund
6. Carroll Canyon Road/I-805 Ramps: Contribute \$200K to the on ramp connection to I-805 southbound
7. Mira Sorrento Place: contribute \$306K to the FBA Fund for Mira Sorrento Place or to Carroll Canyon Road.
8. I-5/Roselle Street: contribute \$125K to the I-5 improvement project at this location.
9. Transit: Contribute to a private shuttle (costs unknown)

All projects they are "contributing" to, must be paid at the time they pull their building permits. Brown requested that they also be responsible for timing the traffic signals at Morehouse and Scranton with Scranton and Mira Sorrento Place as well as, timing of signal at MM Blvd southbound with Morehouse Drive.

The Board will wait to receive the latest assessment letter from the City to review their comments and to hear back from the State Commission as to whether or not they will fund the proposed Caltrans/Sandag I-5/Carroll Canyon Road projects.

7. New Business:

- a. Carroll Canyon Business Park Substantial Conformity Review (SCR) to PID 98-0978 – James Greco, with T&B Planning, presented the proposed request to allow auto sales and service/maintenance for Lots 1 and 2 which the existing permit specifically excludes. He also addressed the Planning Boards earlier request of the land owner to explain how and why the final landscaping of the existing business park was not built per the Planning Boards extensive review, comment and approval of the landscape plan. Following the presentation of the proposed

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auto sales/service locations and hearing from the applicant that he was forced by the Army Corps of Engineers to provide a paved access road through what was to have been the landscaped and natural pedestrian path, the Board expressed concern as to whether or not Lots 1 & 2 are suitable for auto sales/service. They are far removed from the commercial strip of Miramar Road designated in the Mira Mesa Community Plan as the appropriate location for auto sales/service and the site is adjacent to the Carroll Canyon Master Plan to be developed with upscale residential and mixed uses. The Board did not make a recommendation for approval and will form a subcommittee to review the proposal and to work with the landowner to discuss how they can revise the existing landscaping to more closely match what the group originally approved for the Carroll Canyon Business Park. Jennifer Cordeau and Khoa are to let City staff know that the Board has not finalized their review or recommendation of the requested SCR.

- b. Nancy Ridge Business Park: Linda Beach and Christian Tresize, with Dacon Development, presented the proposed project to rezone a 14 acre parcel of raw land at the west end of Nancy Ridge Drive from Agricultural (A-1-10) to Light Industrial (IL-2-1 for 3.5 acres) and the balance to be designated as Open Space. The 3.5 light industrial acres will be developed in two graded and graveled flat pads with no buildings for the purposes of providing storage facilities for the Mira Mesa business community. The pads are located 80 feet below street grade in a canyon invisible to passing traffic. Following discussion by the Board and receiving assurances that drainage, erosion control and security fencing and lighting will be installed per City standards, the motion was made (Brown/Mixon) to approve the requested rezone as presented to create two flat, non-building pads on the proposed site. Motion passed unanimously.

8. Committee Reports:

- a. Los Penasquitos Canyon Citizen's Advisory Committee – Pam Stevens reported the ranger station needs funding identified, the ranch house needs volunteer ranch hands, and she is looking for an alternate to attend the meetings whenever she must be out of town.
- b. CPC – Stevens reported their next meeting is tomorrow. A chair needs to be appointed.
- c. By-Laws – Stevens reported we are still waiting for the Brown Act to be added to the City's template before we can finalize our By-Laws. Also need to discuss changing landowner to property owner per the city's instruction as that means any individual who owns any size of property within Mira Mesa could fill that seat rather than as for a large landholder.
- d. Stonecreek – will be back next month
- e. Compact – Schenck reported they were dark in December, he cannot make the Jan meeting. Still looking for a replacement for this position.

9. Meeting was adjourned at 9:40 p.m.

Respectfully submitted,

Jeanette Waltz

As secretary, Mira Mesa Community Planning Group

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Project Title: <u>NANCY RIDGE BUSINESS PARK</u>	Project No. (For City Use Only) <u>114358</u>
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? _____ Corporate Identification No. _____

Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print): CARYON PROPERTIES LLC

Owner Tenant/Lessee

Street Address: BOX 910064

City/State/Zip: SAN DIEGO, CA 92191

Phone No: 858-945-8335 Fax No: 858-792-4052

Name of Corporate Officer/Partner (type or print): CHRISTIAN P. TRESIZE

Title (type or print): MANAGER

Signature: [Signature] Date: 6/1/07

Corporate/Partnership Name (type or print): CARYON PROPERTIES LLC

Owner Tenant/Lessee

Street Address: BOX 910064

City/State/Zip: SAN DIEGO, CA 92191

Phone No: 858-945-8335 Fax No: 858-792-4052

Name of Corporate Officer/Partner (type or print): L.C. BEACH

Title (type or print): PRESIDENT/GENERAL PARTNER/DIRECTOR OF MAXIMON LLC

Signature: [Signature] Date: 6/20/07

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

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Project Title: <u>NANCY RIDGE BUSINESS PARK</u>	Project No. (For City Use Only)
--	---------------------------------

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? CA Corporate Identification No. 88-0382538

Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
NANCY RIDGE BUSINESS PARK LLC

Owner Tenant/Lessee

Street Address: BOX 910064

City/State/Zip: SAN DIEGO CA 92191

Phone No: 858-945-8335 Fax No: 858-792-4052

Name of Corporate Officer/Partner (type or print):
CHRISTIAN TRESIZE

Title (type or print):
VICE-PRESIDENT

Signature: [Signature] Date: 9/24/06

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

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Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

PTS# 114358, Nancy Ridge Business Park
Project Chronology

Date	Action	Description	City Review Time	Applicant Response Time
10/11/06	First Submittal	Project Deemed Complete		
11/27/06	First Assessment Letter	Assessment Letter identifying issues.	47 days	
01/11/07	Second Submittal	Resubmittal by applicant.		46 days
03/02/07	Second Assessment Letter	Assessment Letter identifying issues.	50 days	
3/23/07	Mtg w/ applicant	LDR/DD attend w/o review staff in response to applicant ltrs, 3/2/07, 3/12/07, & 3/14/07.		
04/02/07	Mtgs w/ applicant	Mtgs w/ review staff and supv. (Water, EAS, MSCP, LRP, Trans, Wastewater)		
04/12/07	Mtgs w/ applicant	Mtgs w/ review staff and supv. (Landscape, Planning Review)		
04/18/07	Revised Cycle issues	DPM forwards revised issues per mtgs w/ review staff.		
06/30/07	Third Submittal	Resubmittal by applicant team.		120 days
07/19/07	Mtg w/ applicant	LDR/Planning w/ supv. to discuss change in project scope.		
07/24/07	Review staff mtg	EAS, MSCP, Planning to discuss revised scope and add'l impacts to ESL/MHPA		
08/03/07	Third Assessment Letter	Assessment Letter identifying issues.	34 days	

08/27/07	Fourth Submittal	Resubmittal by applicant team.		24 days
09/26/07	Fourth Assessment Letter	Assessment Letter identifying issues.	30 days	
10/10/07	Applicant request mtg w/ DSD Dir.	Ltr rec'vd		
10/12/07	Mtg w/ applicant	DSD/Dir. Boekamp, DD Manis, DPM		
12/1/07 – 12/19/07	Applicant work w/ MSCP on MHPA boundary adj.	Mtg's w/ MSCP staff and Reg. Agencies		
2/21/08	Mtg. w/ applicant	Mtg w/ DSD/Dir, ADD Gallardo, DPM re: applicant 1/29/08 ltr.		
2/21/08	Fifth Submittal	Resubmittal by applicant team.		148 days
3/19/08	Fifth Assessment letter	Assessment Letter identifying issues.	36 days	
4/18/08	Draft MND	Public review and comment.		
5/29/08	Mtg w/ applicant	Require applicant response to draft MND comments.		
6/19/08	Planning Comm. Hearing	Without final CEQA doc., item continued to 7/17/08.		
6/24/08	Final MND			
7/17/08	Planning Comm. Hearing			
TOTALS	21 Months 14 days		197 days	296 days

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Mitigated Negative Declaration

ENTITLEMENTS DIVISION
(619) 446-5460

Project No. 114358

SUBJECT: Nancy Ridge Business Park: SITE DEVELOPMENT PERMIT, PLANNED DEVELOPMENT PERMIT, MULTI-HABITAT PLANNING AREA (MHPA) BOUNDARY LINE ADJUSTMENT and REZONE from AR-1-1 (Agricultural—Residential) to IL-2-1 (Industrial—Light) to construct two step-down, flat pads for outdoor storage use and a paved non-standard driveway totaling approximately 6.17 acres on a 25.79-acre site. The project site would consist of two parcels. A deviation is requested to allow retaining walls with a maximum height of 24 31 feet. The project site is located at 5909 Nancy Ridge Drive within the Mira Mesa Community Plan Area, Residential Tandem Parking Overlay Zone, Marine Corps Air Station Miramar Airport Influence Area, Accident Potential Zone 2, Airport Environs Overlay Zone, FAA Part 77 Notification Area, Environmentally Sensitive Lands, and Floodway-100 and Floodplain-100 Zones. Legal Description: Parcel 1, the north half of the southeast quarter of the northeast quarter, in Section 9, Township 15 South, Range 3 West, San Bernardino Base Meridian, in the City of San Diego, County of San Diego, State of California (APN 343-010-21); and Lot 107 of Lusk Industrial Park Unit No. 4, according to Map thereof No. 10819 (APN 343-010-31). Council District 5. Applicant: Nancy Ridge Business Park, LLC.

UPDATE June 2008: Revisions to this document have been made when compared to the draft Addendum. The revisions are not considered “substantial revisions” pursuant to CEQA Section 15073.5(b). Revisions are shown in ~~strikeout~~/underline format.

- I. PROJECT DESCRIPTION: See attached Initial Study.
- II. ENVIRONMENTAL SETTING: See attached Initial Study.
- III. DETERMINATION:

The City of San Diego conducted an Initial Study which determined that the proposed project could have a significant environmental effect in the following area(s): **Land Use, Biological Resources and Paleontological Resources**. Subsequent revisions in the project proposal create the specific mitigation identified in Section V of this Mitigated Negative Declaration. The revised project now avoids or mitigates the potentially significant environmental effects previously identified, and the preparation of an Environmental Impact Report will not be required.

IV. DOCUMENTATION:

The attached Initial Study documents the reasons to support the above Determination.

V. MITIGATION, MONITORING AND REPORTING PROGRAM:

A. GENERAL

1. Prior to Notice to Proceed (NTP) for any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the Assistant Deputy Director (ADD) of the Entitlements Division shall verify that the following statement is shown on the grading and/or construction plans as a note under the heading **ENVIRONMENTAL MITIGATION REQUIREMENTS**: *“The Nancy Ridge Business Park project is subject to a Mitigation Monitoring and Reporting Program and shall conform to the mitigation conditions as contained in the Mitigated Negative Declaration Project No. 114358.”*
2. Prior to the commencement of work, a Preconstruction Meeting (Pre-con) shall be conducted and include City of San Diego’s Mitigation Monitoring and Coordination (MMC) staff, Resident Engineer, Applicant, Project Paleontologist, Project Biologist, Environmental Consultants and other parties of interest.

B. LAND USE (MULTIPLE SPECIES CONSERVATION PROGRAM)

1. MHPA Boundary Line Adjustment

- a. Prior to the recordation of the first final map and/or issuance of any grading permits, the on-site adjusted MHPA (8.02 acres total) shall be conveyed to the City’s MSCP Preserve through either fee title to the City, or conservation easement or covenant of easement granted in favor of the City and wildlife agencies. Conveyance of any MHPA land in fee to the City shall require approval from the Park and Recreation Department Open Space Division Deputy Director and shall exclude detention basins or other storm water control facilities, brush management areas, landscape/revegetation areas, and graded slopes.

2. Land Use Adjacency Guidelines

The Nancy Ridge Business Park project site is located within and adjacent to the MSCP Subarea Plan’s Multi-Habitat Planning Area (MHPA). Therefore, the following MHPA Land Use Adjacency Guidelines shall be made conditions of project approval:

- a. Prior to initiation of any ground disturbing activities, the project biologist shall discuss the sensitive nature of the adjacent habitat with the crew and subcontractor.

- b. Prior to the start of construction, the construction limits shall be clearly delineated by a survey crew prior to brushing, clearing or grading. The limits of grading shall be defined with silt fencing and orange construction fencing, and checked by the biological monitor before initiation of trenching activities and/or ground disturbing activities.
- c. Prior to the issuance of any construction permit, the City Manager shall review the landscape plans to ensure that no invasive non-native plant species have been proposed for areas adjacent to the MHPA.
- d. All required temporary lighting, including security lighting of the staging areas, or permanent lighting adjacent to the MHPA shall be shielded, unidirectional, low pressure sodium illumination (or similar) and directed away from preserve areas using appropriate placement and shields.
- e. No staging/storage areas for equipment and materials shall be located within or adjacent to habitat retained in open space area. No equipment maintenance shall be conducted within or near the adjacent open space.
- f. The post-construction Best Management Practices are required to be consistent with the approved Water Quality Technical Report, to the satisfaction of the City Engineer. The project biologist shall oversee implementation of Best Management Practices as needed to prevent any significant sediment transport. Training of construction crews and field workers must be conducted to ensure that all conditions are met. All construction/grading plans shall be made available to crews in the field showing these conditions.
- g. No trash, oil, parking or other construction related activities shall be allowed outside the established limits of grading. All construction related debris shall be removed off-site to an approved disposal facility.
- h. No invasive, non-native plant species shall be permitted on-site. The hydroseed mix used for erosion control shall only contain native species and shall only be applied under the supervision of the biologist or a landscape architect.
- i. Appropriate barriers shall be provided along the MHPA boundaries to direct public access to appropriate locations and reduce domestic animal predation.
- j. No toxic materials or water used during construction related work shall be allowed to be diverted or drained off-site, into the MHPA, during and after construction activity. The biologist shall ensure that the appropriate measures and control devices are used as needed during construction to deter any drainage toward sensitive habitat.

3. Coastal California Gnatcatcher

- A. Prior to the issuance of any grading permit, the City Manager (or appointed designee) shall verify that the Multi-Habitat Planning Area (MHPA) boundaries and the following project requirements regarding the Coastal California Gnatcatcher are shown on the construction plans:

NO CLEARING, GRUBBING, GRADING, OR OTHER CONSTRUCTION ACTIVITIES SHALL OCCUR BETWEEN MARCH 1 AND AUGUST 15, THE BREEDING SEASON OF THE COASTAL CALIFORNIA GNATCATCHER, UNTIL THE FOLLOWING REQUIREMENTS HAVE BEEN MET TO THE SATISFACTION OF THE CITY MANAGER:

1. A QUALIFIED BIOLOGIST (POSSESSING A VALID ENDANGERED SPECIES ACT SECTION 10(a)(1)(A) RECOVERY PERMIT) SHALL SURVEY THOSE HABITAT AREAS WITHIN THE MHPA THAT WOULD BE SUBJECT TO CONSTRUCTION NOISE LEVELS EXCEEDING 60 DECIBELS [dB(A)] HOURLY AVERAGE FOR THE PRESENCE OF THE COASTAL CALIFORNIA GNATCATCHER. SURVEYS FOR THE COASTAL CALIFORNIA GNATCATCHER SHALL BE CONDUCTED PURSUANT TO THE PROTOCOL SURVEY GUIDELINES ESTABLISHED BY THE U.S. FISH AND WILDLIFE SERVICE WITHIN THE BREEDING SEASON PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. IF GNATCATCHERS ARE PRESENT, THEN THE FOLLOWING CONDITIONS MUST BE MET:
 - a. BETWEEN MARCH 1 AND AUGUST 15, NO CLEARING, GRUBBING, OR GRADING OF OCCUPIED GNATCATCHER HABITAT SHALL BE PERMITTED. AREAS RESTRICTED FROM SUCH ACTIVITIES SHALL BE STAKED OR FENCED UNDER THE SUPERVISION OF A QUALIFIED BIOLOGIST; AND
 - b. BETWEEN MARCH 1 AND AUGUST 15, NO CONSTRUCTION ACTIVITIES SHALL OCCUR WITHIN ANY PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES WOULD RESULT IN NOISE LEVELS EXCEEDING 60 dB(A) HOURLY AVERAGE AT THE EDGE OF OCCUPIED GNATCATCHER HABITAT. AN ANALYSIS SHOWING THAT NOISE GENERATED BY CONSTRUCTION ACTIVITIES WOULD NOT EXCEED 60 dB(A) HOURLY AVERAGE AT THE EDGE OF OCCUPIED HABITAT MUST BE COMPLETED BY A QUALIFIED ACOUSTICIAN (POSSESSING CURRENT NOISE ENGINEER LICENSE OR REGISTRATION WITH MONITORING NOISE LEVEL EXPERIENCE WITH LISTED ANIMAL SPECIES) AND APPROVED BY THE CITY MANAGER AT LEAST TWO WEEKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES DURING THE BREEDING SEASON, AREAS RESTRICTED FROM SUCH ACTIVITIES SHALL BE

STAKED OR FENCED UNDER THE SUPERVISION OF A QUALIFIED BIOLOGIST; OR

- c. AT LEAST TWO WEEKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, UNDER THE DIRECTION OF A QUALIFIED ACOUSTICIAN, NOISE ATTENUATION MEASURES (e.g., BERMS, WALLS) SHALL BE IMPLEMENTED TO ENSURE THAT NOISE LEVELS RESULTING FROM CONSTRUCTION ACTIVITIES WILL NOT EXCEED 60 dB(A) HOURLY AVERAGE AT THE EDGE OF HABITAT OCCUPIED BY THE COASTAL CALIFORNIA GNATCATCHER. CONCURRENT WITH THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND THE CONSTRUCTION OF NECESSARY NOISE ATTENUATION FACILITIES, NOISE MONITORING* SHALL BE CONDUCTED AT THE EDGE OF THE OCCUPIED HABITAT AREA TO ENSURE THAT NOISE LEVELS DO NOT EXCEED 60 dB(A) HOURLY AVERAGE. IF THE NOISE ATTENUATION TECHNIQUES IMPLEMENTED ARE DETERMINED TO BE INADEQUATE BY THE QUALIFIED ACOUSTICIAN OR BIOLOGIST, THEN THE ASSOCIATED CONSTRUCTION ACTIVITIES SHALL CEASE UNTIL SUCH TIME THAT ADEQUATE NOISE ATTENUATION IS ACHIEVED OR UNTIL THE END OF THE BREEDING SEASON (AUGUST 16).

* Construction noise monitoring shall continue to be monitored at least twice weekly on varying days, or more frequently depending on the construction activity, to verify that noise levels at the edge of occupied habitat are maintained below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. If not, other measures shall be implemented in consultation with the biologist and the City Manager, as necessary, to reduce noise levels to below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. Such measures may include, but are not limited to, limitations on the placement of construction equipment and the simultaneous use of equipment.

2. IF COASTAL CALIFORNIA GNATCATCHERS ARE NOT DETECTED DURING THE PROTOCOL SURVEY, THE QUALIFIED BIOLOGIST SHALL SUBMIT SUBSTANTIAL EVIDENCE TO THE CITY MANAGER AND APPLICABLE RESOURCE AGENCIES WHICH DEMONSTRATES WHETHER OR NOT MITIGATION MEASURES SUCH AS NOISE WALLS ARE NECESSARY BETWEEN MARCH 1 AND AUGUST 15 AS FOLLOWS:

- a. IF THIS EVIDENCE INDICATES THE POTENTIAL IS HIGH FOR COASTAL CALIFORNIA GNATCATCHER TO BE PRESENT BASED ON HISTORICAL RECORDS OR SITE CONDITIONS, THEN CONDITION A.III SHALL BE ADHERED TO AS SPECIFIED ABOVE.
- b. IF THIS EVIDENCE CONCLUDES THAT NO IMPACTS TO THIS SPECIES ARE ANTICIPATED, NO MITIGATION MEASURES WOULD BE NECESSARY.

C. BIOLOGICAL RESOURCES

1. General:

- A. Prior to the issuance of any grading permits and/or the first pre-construction meeting, the owner/permittee shall submit evidence to the ADD of the Entitlements Division verifying that a qualified biologist has been retained to implement the biological resources mitigation program as detailed below (see 1 through 3):
 1. At least thirty days prior to the pre-construction meeting, a letter of verification shall be submitted to the MMC section which includes the name and contact information of the Biologist and the names of all persons involved in the Biological Monitoring of the project.
 2. At least thirty days prior to the pre-construction meeting, the qualified Biologist shall verify that any special reports, maps, plans and time lines, such as but not limited to, revegetation plans, plant relocation requirements and timing, avian or other wildlife protocol surveys, impact avoidance areas or other such information has been completed and updated.
 3. The qualified biologist (project biologist) shall attend the first preconstruction meeting.
- B. The project biologist shall supervise the placement of orange construction fencing or equivalent along the limits of disturbance within and surrounding sensitive habitats, as shown on the approved Exhibit A. In addition the biologist shall determine where silt fencing shall be installed, as appropriate
- C. All construction activities (including staging areas) shall be restricted to the development area, as shown on the approved Exhibit A. The project biologist shall monitor construction activities as needed to ensure that construction activities do not encroach into biologically sensitive areas beyond the limits of disturbance, as shown on the approved Exhibit A.
- D. No grading or clearing activities shall occur within the area defined as Brush Management Zone (BMZ) II, as shown on the approved Exhibit A. Construction activities within BMZ II shall be restricted to hand crews for the purposes of brush zone management maintenance and landscape planting.

2. Mitigation for Potential Impacts to Sensitive Birds

Prior to the Issuance of Grading Permits:

- a. Prior to Notice to Proceed (NTP) for any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the applicant shall provide a signed letter stating that no grading or any type of habitat destruction shall take place during the typical bird nesting season (February 1 -September 15) or;
- b. The applicant's project biologist shall perform a pre-grading/pre-construction directed survey/report for active nests within 3 days of grading/construction activities to the satisfaction of EAS. If active nests of species are detected the report shall include mitigation to the satisfaction of EAS and/or the USFWS and CDFG as follows:
- c. Prior to Notice to Proceed (NTP) for any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, a qualified biologist shall determine the presence or absence of active or occupied nests within the project site or area adjacent which could be impacted, with written results submitted to the Assistant Deputy Director (ADD) of the Entitlements Division.

Prior to Start of Construction:

- d. If active or occupied sensitive bird nests are identified during the pre-grading survey, or are otherwise noted during the week grading is to commence (see Item 3 below), and project construction has the potential to impact nests during the breeding season (February 1 - September 15), the biologist in consultation with EAS staff shall determine an appropriate buffer (i.e. per the ESL), around the bird nesting area which shall be free from grading or construction activity. The buffer area must be identified and flagged.
- e. These restrictions, as required, shall be noted on all grading and construction plans. If active or occupied nests to be protected are located on, or adjacent to the site, weekly biological monitoring of these nests shall be conducted by the project biologist during the breeding season (February 1 through September 15) with written results submitted to the ADD of the Entitlements Division. If no active or occupied nests are discovered on, or adjacent to the project site, no further mitigation is required.

During Construction:

- f. If active or occupied nests are discovered during construction activities, the biologist shall notify the Resident Engineer (RE) and Mitigation Monitoring and Coordination Staff (MMC).
- g. The RE shall stop work in the vicinity of the nests. The qualified biologist shall mark all pertinent trees, holes, or shrubs and delineate the appropriate "no construction" buffer area per City ESL and/or the USFWS/CDFG's direction, around any nest sites, satisfactory to the ADD of the Entitlements Division. The buffer shall be maintained until the qualified biologist determines, and

demonstrates in a survey report satisfactory to the ADD of the Entitlements Division that any young birds have fledged.

Post Construction:

- h. The biologist shall be responsible for ensuring that all field notes and reports have been completed, all outstanding items of concern have been resolved or noted for follow up, and that focused surveys are completed, as appropriate.
- i. Within three months following the completion of monitoring, two copies of the Final Biological Monitoring Report (even if negative) and/or evaluation report, if applicable, which describes the results, analysis, and conclusions of the Biological Monitoring Program (with appropriate graphics) shall be submitted to Mitigation Monitoring Coordination (MMC) for approval by the ADD of LDR.
- j. For any unforeseen additional biological resources impacted during construction, the rehabilitation, revegetation, or other such follow up action plan(s) shall be included as part of the Final Biological Monitoring Report in accordance with the City of San Diego's Land Development Code, Biological Resources Guidelines (July 2002). Additional mitigation measures may also be required.
- k. This report shall address findings of active/inactive nests and any recommendations for retention of active nests, removal of inactive nests and mitigation for offsetting loss of breeding habitat.

MMC shall notify the RE of receipt of the Final Biological Monitoring Report.

D. PALEONTOLOGICAL RESOURCES

I. Prior to Permit Issuance

A. Entitlements Division Plan Check

- 1. Prior to Notice to Proceed (NTP) for any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee of the Entitlements Division shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.

B. Letters of Qualification have been submitted to ADD

- 1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
- 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
- 3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring, the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.

2. Identify Areas to be Monitored

Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).

3. When Monitoring Will Occur

- a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
- b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

A. Monitor Shall be Present During Grading/Excavation/Trenching

1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities.**

2. The monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
 3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
- B. Discovery Notification Process
1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- C. Determination of Significance
1. The PI shall evaluate the significance of the resource.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
 - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
 - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
 - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

IV. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries

In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSV and submit to MMC via fax by 8AM on the next business day.

b. Discoveries

All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.

c. Potentially Significant Discoveries

If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.

d. The PI shall immediately contact MMC, or by 8AM on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.

B. If night work becomes necessary during the course of construction

1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
2. The RE, or BI, as appropriate, shall notify MMC immediately.

C. All other procedures described above shall apply, as appropriate.

V. Post Construction

A. Preparation and Submittal of Draft Monitoring Report

1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring.
 - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with the San Diego Natural History Museum
The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
4. MMC shall provide written verification to the PI of the approved report.
5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.

B. Handling of Fossil Remains

1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.

2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate
- C. Curation of fossil remains: Deed of Gift and Acceptance Verification
1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

VI. PUBLIC REVIEW DISTRIBUTION:

Draft copies or notice of this Mitigated Negative Declaration were distributed to:

City of San Diego:

Councilmember Maienschein, District 5
 Tim Daly, Development Project Manager, Development Services Department
 Martha Blake, Senior Planner, Development Services Department
 Bill Tripp, LDR-Planning Review, Development Services Department
 Thomas Bui, LDR-Engineering Review, Development Services Department
 Dan Monroe, City Planning and Community Investment
 Patrick Thomas, LDR-Geology Review, Development Services Department
 Betsy Miller, City Planning and Community Investment – MSCP (MS 5A)
 Mitigation Monitoring Coordination (MS 1102B)
 City Attorney's Office (MS 59)
 Mira Mesa Branch Library (81P)

Other:

Nancy Ridge Business Park, LLC
 Mira Mesa Community Planning Group (310)
 Mira Mesa Journal (312)
 Friends of Penasquitos Preserve, Inc. (313)
 Marian Bear Natural Park Recreation Council (317)
 U.S. Environmental Protection Agency (19)
 U.S. Fish & Wildlife Service (23)
 U.S. Army Corps of Engineers (26)
 California Department of Fish & Game (32)
 California Regional Water Quality Control Board (44)
 State Clearinghouse (46)
 Environmental Law Society (164)
 Sierra Club (165)

Audubon Society (167)
Jim Peugh (167A)
California Native Plant Society (170)
Center for Biological Diversity (176)
Endangered Habitats League (182)
Historical Resources Board (87)
Carmen Lucas (206)
Jerry Schaefer, PHD (209)
South Coastal Information Center (210)
San Diego Archaeological Center (212)
Save Our Heritage Organisation (214)
Ron Christman (215)
Louie Guassac (215A)
Clint Linton (215B)
San Diego County Archaeological Society, Inc. (218)
Native American Heritage Commission (222)
Kumeyaay Cultural Repatriation Committee (225)
Native American Distribution (225A-R)

VII. RESULTS OF PUBLIC REVIEW:

- () No comments were received during the public input period.
- () Comments were received but did not address the draft Mitigated Negative Declaration finding or the accuracy/completeness of the Initial Study. No response is necessary. The letters are attached.
- (X) Comments addressing the findings of the draft Mitigated Negative Declaration and/or accuracy or completeness of the Initial Study were received during the public input period. The letters and responses follow.

Copies of the draft Mitigated Negative Declaration, the Mitigation, Monitoring and Reporting Program and any Initial Study material are available in the office of the Land Development Review Division for review, or for purchase at the cost of reproduction.



Martha Blake, Senior Planner, AICP
Development Services Department

April 18, 2008
Date of Draft Report

June 24, 2008
Date of Final Report

Analyst: Arnhart



San Diego County Archaeological Society, Inc.

Environmental Review Committee

3 May 2008

To: Mr. James Arnhart
Development Services Department
City of San Diego
1222 First Avenue, Mail Station 501
San Diego, California 92101

Subject: Draft Mitigated Negative Declaration
Nancy Ridge Business Park
Project No. 114358


Dear Mr. Arnhart:

1. I have reviewed the subject DMND on behalf of this committee of the San Diego County Archaeological Society.

Based on the information contained in the DMND and initial study, and the cultural resources report for the project, we agree that significant impacts to historical resources are not likely to result. Consequently, we agree that no mitigation measures for historical resources are required.

SDCAS appreciates being included in the City's environmental review process for this project.

Sincerely,


James W. Royle, Jr., Chairperson
Environmental Review Committee

cc: Harris Archaeological Consultants
SDCAS President
File

I. Comment Noted.



STATE OF CALIFORNIA

GOVERNOR'S OFFICE of PLANNING AND RESEARCH

STATE CLEARINGHOUSE AND PLANNING UNIT

ARNOLD SCHWARZENEGGER
GOVERNOR

May 20, 2008



CYNTHIA BRYANT
DIRECTOR

James Arnhart
City of San Diego
1222 First Avenue, MS-501
San Diego, CA 92101-4155

Subject: Nancy Ridge Business Park
SCH#: 2008041111

Dear James Arnhart:

- 2. The State Clearinghouse submitted the above named Mitigated Negative Declaration to selected state agencies for review. On the enclosed Document Details Report please note that the Clearinghouse has listed the state agencies that reviewed your document. The review period closed on May 19, 2008, and the comments from the responding agency (ies) is (are) enclosed. If this comment package is not in order, please notify the State Clearinghouse immediately. Please refer to the project's ten-digit State Clearinghouse number in future correspondence so that we may respond promptly.

2. Comment noted.

Please note that Section 21104(c) of the California Public Resources Code states that:

"A responsible or other public agency shall only make substantive comments regarding those activities involved in a project which are within an area of expertise of the agency or which are required to be carried out or approved by the agency. Those comments shall be supported by specific documentation."

These comments are forwarded for use in preparing your final environmental document. Should you need more information or clarification of the enclosed comments, we recommend that you contact the commenting agency directly.

This letter acknowledges that you have complied with the State Clearinghouse review requirements for draft environmental documents, pursuant to the California Environmental Quality Act. Please contact the State Clearinghouse at (916) 445-0613 if you have any questions regarding the environmental review process.

Sincerely,

Terry Roberts
Director, State Clearinghouse

Enclosures
cc: Resources Agency

SCH# 41111
 Project Title Nancy Ridge Business Park
 Lead Agency San Diego, City of

Type MN Mitigated Negative Declaration
Description D
 Site Development Permit, Planned Development Permit, Multi-Habitat Planning Area (MHPA) Boundary Line Adjustment and Rezone from AR-1 (Agricultural-Residential) to IL-2-1 (Industrial-Light) to construct two step-down, flat pads for outdoor storage use and a paved non-standard driveway totaling approximately 6.17 acres on a 25.79-acre site. The project site would consist of two parcels. A deviation is requested to allow over-height retaining walls with a maximum height of 24 feet. The project site is located at 5909 Nancy Ridge Drive within the Mira Mesa Community Plan Area, Residential Tandem Parking Overlay Zone, Marine Corps Air Station Miramar Airport Influence Area, Accident Potential Zone 2, Airport Environs Overlay Zone, FAA Part 77 Notification Area, Environmentally Sensitive Lands, and Floodway-100 and Floodplain-100 Zones.

Lead Agency Contact
Name James Amhart
Agency City of San Diego
Phone (619) 448-5385 **Fax**
email
Address 1222 First Avenue, MS-501
City San Diego **State** CA **Zip** 92101-4155

Project Location
County San Diego
City San Diego
Region
Cross Streets Carroll Canyon Road and Nancy Ridge Drive (5908 Nancy Ridge Drive)
Parcel No. 343-010-21, 31
Township 15S **Range** 3W **Section** 9 **Base**

Proximity to:
Highways I-5 and I-805
Airports Marine Corps Air Station Miramar
Railways SDNR Coaster
Waterways Los Peñasquitos Canyon Creek, Soledad Canyon, and Rose Canyon
Schools La Jolla Day School and Preuss Model School (UCSD)
Land Use Industrial Light and Open Space / AR-1-1 (Agricultural-Residential) Zone

Project Issues Aesthetic/Visual; Archaeologic-Historic; Flood Plain/Flooding; Geologic/Seismic; Landuse; Other Issues; Soil Erosion/Compaction/Grading; Vegetation; Water Quality; Wetland/Riparian; Wildlife

Reviewing Agencies Resources Agency; Regional Water Quality Control Board, Region 9; Department of Parks and Recreation; Native American Heritage Commission; Public Utilities Commission; Office of Historic Preservation; Department of Fish and Game, Region 5; Department of Water Resources; Department of Conservation; California Highway Patrol; Caltrans, District 11; Caltrans, Division of Aeronautics

Date Received 04/18/2008 **Start of Review** 04/18/2008 **End of Review** 05/19/2008

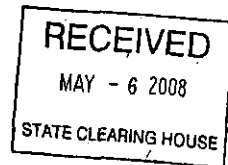
Note: Blanks in data fields result from insufficient information provided by lead agency.

NATIVE AMERICAN HERITAGE COMMISSION

515 CAPITOL MALL, ROOM 354
 SACRAMENTO, CA 95814
 (916) 653-4251
 Fax (916) 657-4890
 Web Site www.nahc.ca.gov
 e-mail: da_nahc@pacbell.net



May 1, 2008



Clear
 5-19-08
 e

Mr. James Amhart, Development Planner
CITY OF SAN DIEGO DEVELOPMENT SERVICE DEPARTMENT
 1222 First Avenue, MS 501
 San Diego, CA 92101-40.4155

Re: SCH#2008041111; CEQA Notice of Completion; Mitigate Negative Declaration for the Nancy Ridge Business Park Project, City of San Diego, San Diego County, California

Dear Mr. Amhart:

The Native American Heritage Commission is the state agency designated to protect California's Native American Cultural Resources. The California Environmental Quality Act (CEQA) requires that any project that causes a substantial adverse change in the significance of an historical resource, that includes archaeological resources, is a 'significant effect' requiring the preparation of an Environmental Impact Report (EIR) per the California Code of Regulations §15064.5(b)(c) (CEQA guidelines). Section 15382 of the 2007 CEQA Guidelines defines a significant impact on the environment as "a substantial, or potentially substantial, adverse change in any of physical conditions within an area affected by the proposed project, including ... objects of historic or aesthetic significance." In order to comply with this provision, the lead agency is required to assess whether the project will have an adverse impact on these resources within the 'area of potential effect (APE)', and if so, to mitigate that effect. To adequately assess the project-related impacts on historical resources, the Commission recommends the following action:

3. ✓ Contact the appropriate California Historic Resources Information Center (CHRIS) for possible 'recorded sites' in locations where the development will or might occur. Contact information for the information center nearest you is available from the State Office of Historic Preservation (916/653-7278) / <http://www.ohp.parks.ca.gov>. The record search will determine:
 - If a part or the entire APE has been previously surveyed for cultural resources.
 - If any known cultural resources have already been recorded in or adjacent to the APE.
 - If the probability is low, moderate, or high that cultural resources are located in the APE.
 - If a survey is required to determine whether previously unrecorded cultural resources are present.
4. ✓ If an archaeological inventory survey is required, the final stage is the preparation of a professional report detailing the findings and recommendations of the records search and field survey.
 - The final report containing site forms, site significance, and mitigation measures should be submitted immediately to the planning department. All information regarding site locations, Native American human remains, and associated funerary objects should be in a separate confidential addendum, and not be made available for public disclosure.
 - The final written report should be submitted within 3 months after work has been completed to the appropriate regional archaeological information center.
5. ✓ Contact the Native American Heritage Commission (NAHC) for:
 - A Sacred Lands File (SLF) search of the project area and information on tribal contacts in the project vicinity that may have additional cultural resource information. Please provide this office with the following citation format to assist with the Sacred Lands File search request: USGS 7.5-minute quadrangle citation with name, township, range and section.
 - The NAHC advises the use of Native American Monitors to ensure proper identification and care given cultural resources that may be discovered. The NAHC recommends that contact be made with Native American Contacts on the attached list to get their input on potential project impact (APE). In some cases, the existence of a Native American cultural resources may be known only to a local tribe(s).
6. ✓ Lack of surface evidence of archaeological resources does not preclude their subsurface existence.
 - Lead agencies should include in their mitigation plan provisions for the identification and evaluation of accidentally discovered archaeological resources, per California Environmental Quality Act (CEQA) §15064.5 (f). In areas of identified archaeological sensitivity, a certified archaeologist and a culturally affiliated Native American, with knowledge in cultural resources, should monitor all ground-disturbing activities.
 - A culturally-affiliated Native American tribe may be the only source of information about a Sacred Site/Native American cultural resource.
 - Lead agencies should include in their mitigation plan provisions for the disposition of recovered artifacts, in consultation with culturally affiliated Native Americans.

3. Qualified City staff conducted a records search for the project site using the California Historic Resources Inventory System (CHRIS). No known archeological sites are located on, or immediately adjacent to, the site. Recorded archeological sites were identified within one mile of the project site. An archaeological report and survey was prepared by Harris Archaeological Consultants. The results of the archaeological report indicated that no unique, important or significant cultural resources were identified on-site, and the potential for subsurface cultural resources was low within the project area. Staff determined that the probability for encountering cultural resources on this property was low based upon the results of the archaeological report and the project site's natural constraints (steep sloping hillside).

4. An archaeological report entitled, *Results of a Cultural Resources Record Search and Survey for the Nancy Ridge Business Park Project, City of San Diego, California* (July 14, 2006) was prepared by Harris Archaeological Consultants. See response to Comment No. 2 and Initial Study Discussion, Section IV for additional information

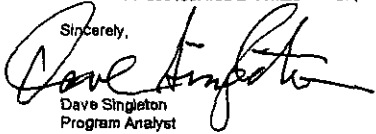
5. The Environmental Analysis Section (EAS) contacted the Native American Heritage Commission for a Sacred Lands File (SLF) search of the project area. The SLF failed to indicate the presence of Native American cultural resources in the immediate area. The local Native American tribes were included in the noticing of the environmental document. No response was received.

6. Comment noted. See response to Comment No. 2.

7. ✓ Lead agencies should include provisions for discovery of Native American human remains or unmarked cemeteries in their mitigation plans.
- CEQA Guidelines, Section 15064.5(d) requires the lead agency to work with the Native Americans identified by this Commission if the Initial Study identifies the presence or likely presence of Native American human remains within the APE. CEQA Guidelines provide for agreements with Native American, identified by the NAHC, to assure the appropriate and dignified treatment of Native American human remains and any associated grave sites.
8. ✓ Health and Safety Code §7050.5, Public Resources Code §5097.98 and Sec. §15064.5 (d) of the California Code of Regulations (CEQA Guidelines) mandata procedures to be followed, including that construction or excavation be stopped in the event of an accidental discovery of any human remains in a location other than a dedicated cemetery until the county coroner or medical examiner can determine whether the remains are those of a Native American. Note that §7052 of the Health & Safety Code states that disturbance of Native American cemeteries is a felony.
9. ✓ Lead agencies should consider avoidance, as defined in §15370 of the California Code of Regulations (CEQA Guidelines), when significant cultural resources are discovered during the course of project planning and implementation

Please feel free to contact me at (916) 853-6251 if you have any questions.

Sincerely,



Dave Singleton
Program Analyst

Attachment: List of Native American Contacts

Cc: State Clearinghouse

7. Comment noted. See response to Comment No. 2. There is a very low probability that Native American remains would be disturbed through the construction of the project.

8. Comment noted. See response to Comment No. 6.

9. Comment noted.

NATIVE AMERICAN HERITAGE COMMISSION

916 CAPITOL MALL, ROOM 364
 SACRAMENTO, CA 95814
 (916) 653-6251
 Fax (916) 657-6390
 Web Site www.nahc.ca.gov
 e-mail: dn_nahc@pacbell.net



May 1, 2008

Mr. James Arnhart, Development Planner

CITY OF SAN DIEGO DEVELOPMENT SERVICE DEPARTMENT

1222 First Avenue, MS 501
 San Diego, CA 92101-40.4155

Re: SCH#2008041111: CEQA Notice of Completion: Mitigate Negative Declaration for the Nanacy Ridge Business Park Project, City of San Diego, San Diego County, California

Dear Mr. Arnhart:

The Native American Heritage Commission is the state agency designated to protect California's Native American Cultural Resources. The California Environmental Quality Act (CEQA) requires that any project that causes a substantial adverse change in the significance of an historical resource, that includes archaeological resources, is a 'significant effect' requiring the preparation of an Environmental Impact Report (EIR) per the California Code of Regulations §15064.5(b)(c) (CEQA guidelines). Section 15382 of the 2007 CEQA Guidelines defines a significant impact on the environment as "a substantial, or potentially substantial, adverse change in any of physical conditions within an area affected by the proposed project, including ... objects of historic or aesthetic significance." In order to comply with this provision, the lead agency is required to assess whether the project will have an adverse impact on these resources within the 'area of potential effect (APE)', and if so, to mitigate that effect. To adequately assess the project-related impacts on historical resources, the Commission recommends the following action:

10. ✓ Contact the appropriate California Historic Resources Information Center (CHRIS) for possible 'recorded sites' in locations where the development will or might occur.. Contact information for the information Center nearest you is available from the State Office of Historic Preservation (916/653-7278)/ <http://www.ohp.parks.ca.gov>. The record search will determine:
- If a part of the entire APE has been previously surveyed for cultural resources.
 - If any known cultural resources have already been recorded in or adjacent to the APE.
 - If the probability is low, moderate, or high that cultural resources are located in the APE.
 - If a survey is required to determine whether previously unrecorded cultural resources are present.
11. ✓ If an archaeological inventory survey is required, the final stage is the preparation of a professional report detailing the findings and recommendations of the records search and field survey.
- The final report containing site forms, site significance, and mitigation measures should be submitted immediately to the planning department. All information regarding site locations, Native American human remains, and associated funerary objects should be in a separate confidential addendum, and not be made available for public disclosure.
 - The final written report should be submitted within 3 months after work has been completed to the appropriate regional archaeological information Center.
12. ✓ Contact the Native American Heritage Commission (NAHC) for:
- A Sacred Lands File (SLF) search of the project area and information on tribal contacts in the project vicinity that may have additional cultural resource information. Please provide this office with the following citation format to assist with the Sacred Lands File search request: USGS 7.5-minute quadrangle citation with name, township, range and section.
 - The NAHC advises the use of Native American Monitors to ensure proper identification and care given cultural resources that may be discovered. The NAHC recommends that contact be made with Native American Contacts on the attached list to get their input on potential project impact (APE). In some cases, the existence of a Native American cultural resources may be known only to a local tribe(s).
13. ✓ Lack of surface evidence of archaeological resources does not preclude their subsurface existence.
- Lead agencies should include in their mitigation plan provisions for the identification and evaluation of accidentally discovered archaeological resources, per California Environmental Quality Act (CEQA) §15064.5 (f). In areas of identified archaeological sensitivity, a certified archaeologist and a culturally affiliated Native American, with knowledge in cultural resources, should monitor all ground-disturbing activities.
 - A culturally-affiliated Native American tribe may be the only source of information about a Sacred Site/Native American cultural resource.
 - Lead agencies should include in their mitigation plan provisions for the disposition of recovered artifacts, in consultation with culturally affiliated Native Americans.

10. See Comment No. 3

11. See Comment No. 4

12. See Comment No. 5

13. See Comment No. 6

14. ✓ Lead agencies should include provisions for discovery of Native American human remains or unmarked cemeteries in their mitigation plans.
- CEQA Guidelines, Section 15064.5(d) requires the lead agency to work with the Native Americans identified by this Commission if the initial Study identifies the presence or likely presence of Native American human remains within the APE. CEQA Guidelines provide for agreements with Native American, identified by the NAHC, to assure the appropriate and dignified treatment of Native American human remains and any associated grave liens.
15. ✓ Health and Safety Code §7050.5, Public Resources Code §5097.98 and Sec. §15064.5 (d) of the California Code of Regulations (CEQA Guidelines) mandate procedures to be followed, including that construction or excavation be stopped in the event of an accidental discovery of any human remains in a location other than a dedicated cemetery until the county coroner or medical examiner can determine whether the remains are those of a Native American. Note that §7052 of the Health & Safety Code states that disturbance of Native American cemeteries is a felony.
16. ✓ Lead agencies should consider avoidance, as defined in §15370 of the California Code of Regulations (CEQA Guidelines), when significant cultural resources are discovered during the course of project planning and implementation

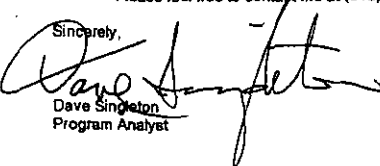
14. See Comment No. 7

15. See Comment No. 8

16. See Comment No. 9

Please feel free to contact me at (916) 653-6251 if you have any questions.

Sincerely,


Dave Singleton
Program Analyst

Attachment: List of Native American Contacts

Cc: State Clearinghouse

**Native American Contacts
San Diego County
May 1, 2008**

San Pasqual Band of Mission Indians
Allen E. Lawson, Chairperson
P.O. Box 365
Valley Center, CA 92082
(760) 749-3200
(760) 749-3876 Fax

Diegueno

Kumeyaay Cultural Historic Committee
Ron Christman
56 Viejas Grade Road
Alpine, CA 92001
(619) 445-0385

Diegueno/Kumeyaay

Santa Ysabel Band of Diegueno Indians
Johnny Hernandez, Spokesman
P.O. Box 130
Santa Ysabel, CA 92070
randietaylor@yahoo.com
(760) 765-0845
(760) 765-0320 Fax

Diegueno

Jamul Indian Village
William Mesa, Chairperson
P.O. Box 612
Jamul, CA 91935
jamulrez@sctdv.net
(619) 669-4785
(619) 669-48178 - Fax

Diegueno/Kumeyaay

Sycuan Band of the Kumeyaay Nation
Denny Tucker, Chairperson
459 Sycuan Road
El Cajon, CA 92021
silva@sycuan-nsn.gov
(619) 445-2613
(619) 445-1927 Fax

Diegueno/Kumeyaay

Mesa Grande Band of Mission Indians
Mark Romero, Chairperson
P.O. Box 270
Santa Ysabel, CA 92070
mesagrandeband@msn.com
(760) 782-3818
(760) 782-9092 Fax

Diegueno

Viejas Band of Mission Indians
Robby L. Barrett, Chairperson
P.O. Box 908
Alpine, CA 91903
aguillar@viejas-nsn.gov
(619) 445-3810
(619) 445-5337 Fax

Diegueno/Kumeyaay

Kumeyaay Cultural Heritage Preservation
Paul Cuero
36190 Church Road, Suite 5
Campo, CA 91906
chairman@campo-nsn.gov
(619) 478-8046
(619) 478-9505
(619) 478-5818 Fax

Diegueno/ Kumeyaay

This list is current only as of the date of this document.

Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5087.94 of the Public Resources Code and Section 5087.98 of the Public Resources Code.

This list is only applicable for contacting local Native American with regard to cultural resources for the proposed, SCH#2008041111; CEQA Notice of Completion; Mitigated Negative Declaration for Nancy Ridge Business Park Project, Mixed-Use Development located in the Mira Mesa Community Planning Area; City of San Diego; San Diego County, California.

Native American Contacts
San Diego County
May 1, 2008

(waaymil Laguna Band of Mission Indians
Jarmen Lucas
P.O. Box 775
Pine Valley, CA 91962
619) 709-4207 Diegueno -

Waja Band of Mission Indians
Lebecca Osuna, Spokesperson
09 S. Maple Street
Escondido, CA 92025
(760) 737-7628
(760) 747-8568 Fax Diegueno

Kumeyaay Cultural Repatriation Committee
Steve Banegas, Spokesperson
095 Barona Road
Lakeside, CA 92040
(619) 742-5587
(619) 443-0681 FAX Diegueno/Kumeyaay

Bill Linton
P.O. Box 507
Santa Ysabel, CA 92070
(760) 803-5694
billinton73@aol.com Diegueno/Kumeyaay

This list is current only as of the date of this document.

Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5097.94 of the Public Resources Code and Section 5097.96 of the Public Resources Code.

This list is only applicable for contacting local Native American with regard to cultural resources for the proposed, SCH#2008041111; CEQA Notice of Completion; Mitigated Negative Declaration for Nancy Ridge Business Park Project, Mixed-Use Development located in the Mira Mesa Community Planning Area; City of San Diego; San Diego County, California.

NATIVE AMERICAN HERITAGE COMMISSION

915 CAPITOL MALL, ROOM 384
SACRAMENTO, CA 95814
(916) 653-8251
Fax (916) 657-5390
Web Site www.nahc.ca.gov
e-mail: ds_nahc@pacbell.net



June 4, 2008

Mr. James Arnhart

CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

1222 First Avenue, MS 501
San Diego, CA 902101-4155

Re: Request for a Sacred Lands File records search for the proposed Nancy Ridge Business Park Project (SCH#2008041111); located in the Del Mar USGS Quadrangle Area of the City of San Diego; Area of San Diego County, California

Dear Mr. Arnhart:

17. The Native American Heritage Commission was able to perform a record search of its Sacred Lands File (SLF) for the affected project area. The SLF failed to indicate the presence of Native American cultural resources in the immediate project area. The absence of specific site information in the Sacred Lands File does not guarantee the absence of cultural resources in any project area. This project site is in close proximity to previously discovered prehistoric burial sites and is believed to hold numerous cultural resources.
18. Early consultation with Native American tribes in your area is the best way to avoid unanticipated discoveries once a project is underway. Enclosed is the name of the nearest tribes that may have knowledge of cultural resources in the project area. A list of Native American contacts is attached to assist you. It is advisable to contact the persons listed; if they cannot supply you with specific information about the impact on cultural resources, they may be able to refer you to another tribe or person knowledgeable of the cultural resources in or near the affected project area.
19. Lack of surface evidence of archeological resources does not preclude the existence of archeological resources. Lead agencies should consider avoidance, as defined in Section 15370 of the California Environmental Quality Act (CEQA) when significant cultural resources could be affected by a project. Also, Public Resources Code Section 15064.5(f) and Section 15097.98 and Health & Safety Code Section 7050.5 provide for provisions for accidentally discovered archeological resources during construction and mandate the processes to be followed in the event of an accidental discovery of any human remains in a project location other than a dedicated cemetery. Discussion of these should be included in your environmental documents, as appropriate.

If you have any questions about this response to your request, please do not hesitate to contact me at (916) 653-6251.

Sincerely,

Dave Singleton, Program Analyst

Attachment: Native American Contact List

17. Comment noted.

18. The local Native American tribes were included in the noticing of the environmental document. No response was received from any of the tribes regarding the project site and potential or known cultural resources.

19. Based upon the results of the CHRIS data search, archaeological report, and the project's natural constraints (steep sloping hillsides), EAS has determined the project's potential to impact cultural resources is low. Therefore, no avoidance is deemed necessary.

The Public Resources Code adequately protects against accidental discovery of cultural resources during construction when the potential for cultural resources has been determined to be low. No mitigation is required.

Native American Contacts
San Diego County
June 4, 2008

San Pasqual Band of Mission Indians
Allen E. Lawson, Chairperson
PO Box 365 Diegueno
Valley Center , CA 92082
(760) 749-3200
(760) 749-3876 Fax

Kumeyaay Cultural Historic Committee
Ron Christman
56 Viejas Grade Road Diegueno/Kumeyaay
Alpine , CA 92001
(619) 445-0385

Santa Ysabel Band of Diegueno Indians
Johnny Hernandez, Spokesman
PO Box 130 Diegueno
Santa Ysabel , CA 92070
brandietaylor@yahoo.com
(760) 765-0845
(760) 765-0320 Fax

Jamul Indian Village
William Mesa, Chairperson
P.O. Box 612 Diegueno/Kumeyaay
Jamul , CA 91935
jamulrez@sctdv.net
(619) 669-4785
(619) 669-48178 - Fax

Sycuan Band of the Kumeyaay Nation
Danny Tucker, Chairperson
5459 Sycuan Road Diegueno/Kumeyaay
El Cajon , CA 92021
ssilva@sycuan-nsn.gov
619 445-2613
619 445-1927 Fax

Mesa Grande Band of Mission Indians
Mark Romero, Chairperson
P.O Box 270 Diegueno
Santa Ysabel , CA 92070
mesagrandeband@msn.com
(760) 782-3818
(760) 782-9092 Fax

Viejas Band of Mission Indians
Bobby L. Barrett, Chairperson
PO Box 908 Diegueno/Kumeyaay
Alpine , CA 91903
daguijar@viejas-nsn.gov
(619) 445-3810
(619) 445-5337 Fax

Kumeyaay Cultural Heritage Preservation
Paul Cuero
36190 Church Road, Suite 5 Diegueno/ Kumeyaay
Campo , CA 91906
chairman@campo-nsn.gov
(619) 478-9046
(619) 478-9505
(619) 478-5818 Fax

This list is current only as of the date of this document.

Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5097.94 of the Public Resources Code and Section 5097.98 of the Public Resources Code.

This list is only applicable for contacting local Native Americans with regard to cultural resources for the proposed Nancy Ridge Business Park Project of the City of San Diego; San Diego County, California for which a Sacred Lands File search and Native American Contacts list were requested.

California Native Plant Society

City of San Diego
Department of Development Services
DSDEAS@sanidiego.gov

May 18, 2008

Re: JO: 42-7003 - Nancy Ridge Business Park project, City of San Diego

The San Diego chapter of the California Native Plant Society has reviewed this project and has serious concerns about the adequacy of the treatment of botanical resources in the Nancy Ridge Business Park project. The project vicinity is known to support very sensitive plant associations, including native grasslands, vernal pools, and riparian habitats, as well as Narrow Endemic Species such as San Diego Thorn-mint and many others. Some of the numerous flaws to the analysis include the following:

20. • No spring rare plant survey was completed. The only botanical site survey was a single day visit to the property on August 14, 2006, with a brief follow-up (for habitat mapping only) in May of 2007. Directed rare plant surveys, including spring rare plant surveys, are required in order to adequately assess project impacts and mitigation. In the absence of this, complete disclosure is not being provided, and rare plants are very likely to have been missed.
21. • The report indicates that the project site supports Altamont Clay, which is known to support numerous rare plants. Not discussion of this is provided in the report. Rare clay endemics are known to occur in this soil-type. A follow-up survey in March or April, focusing on the clay areas, is clearly required.
22. • We are unconvinced of the adequacy of the generalized botanical field surveys of the site. The report lists only 61 plants. Given the diversity of habitat-types, we would expect at least twice as many plants, including many rare plants, to be present on the project site. This strongly suggests that the single day survey, in August, was inadequate to assess botanical resources.

We urge the City to reject the biological resources report for this project. We are confident that it would be a relatively simple matter to prove beyond a reasonable doubt that the project's impacts to native plants and plant communities have not been adequately assessed, and that the proposed mitigation is inadequate.

Thank you for your consideration,

Carrie Schneider, Conservation Chair
San Diego Chapter of the California Native Plant Society
P O Box 121390, San Diego CA 92112-1390, (858) 352-4413 (day), (619) 282-3645 (evening), info@cnpsdd.org



Dedicated to the preservation of California native flora

20. In response to the comment letter received by the California Native Plant Society (CNPS), EAS contacted CNPS to determine, more specifically, the plant species of concern. CNPS provided EAS with a list of twenty-six plant species. Eight of the twenty-six plant species are considered "covered" species under the City's Multiple Species Conversation Program (MSCP) Implementing Agreement, of which two of those eight species are also listed as narrow endemic species. The eight sensitive plant species include the following: San Diego thorn mint, Orcutt's brodiaea, San Diego sand aster, Variegated dudleya, Willowy monardella, San Diego goldenstar, Wart-stemmed canethus, and Palmer's goldenbush.

The applicant's qualified project biologist conducted a spring rare plant survey on June 7, 2008 for each of the eight plant species listed as MSCP covered species and/or narrow endemic species. The extent of the survey included the development impact footprint area and extended outwards sixty feet to encompass the Brush Management Zone 2 area. None of the eight target species were detected on-site.

The spring rare plant survey took place after the time when some annual plants would be in evidence. All eight sensitive plant species could essentially be ruled out because they are either perennial species that would have been detected at any time of year, or appropriate habitat/soils do not occur within the proposed development area.

Willow monardella was the only plant species mentioned to have suitable habitat on-site, which is located within the drainage bottom at the base of the canyon system. The drainage bottom is located outside of the development area, and would not be directly, indirectly or cumulatively impacted by the proposed project. Therefore, no additional information is required.

21. Soil types were considered for potentially sensitive plants prior to and during the initial site reconnaissance and spring rare plant survey. See Comment No. 20 for the results of the spring rare plant survey.

Native American Contacts
San Diego County
June 4, 2008

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This list is current only as of the date of this document.

Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5097.84 of the Public Resources Code and Section 5097.98 of the Public Resources Code.

This list is only applicable for contacting local Native Americans with regard to cultural resources for the propose Nancy Ridge Business Park Project of the City of San Diego; San Diego County, California for which a Sacred Lands File search and Native American Contacts list were requested.

22. It is not the intent of a field reconnaissance to definitively document every single plant species that occurs on a project site. The primary objectives of a field reconnaissance are to determine, to the greatest extent possible, if any sensitive species occur on the site, and to inventory the plant species that are indicative of the vegetation communities and/or habitat types that occur on the site. The biological reconnaissance and spring rare plant survey are adequate to confirm the project will not result in significant direct, indirect or cumulative impacts to any sensitive plant species.

City of San Diego
Development Services Department
ENTITLEMENTS DIVISION
1222 First Avenue, Mail Station 501
San Diego, CA 92101
(619) 446-6460

INITIAL STUDY
Project No. 114358

SUBJECT: Nancy Ridge Business Park: SITE DEVELOPMENT PERMIT, PLANNED DEVELOPMENT PERMIT, MULTI-HABITAT PLANNING AREA (MHPA) BOUNDARY LINE ADJUSTMENT and REZONE from AR-1-1 (Agricultural—Residential) to IL-2-1 (Industrial—Light) to construct two step-down, flat pads for outdoor storage use and a paved non-standard driveway totaling approximately 6.17 acres on a 25.79-acre site. The project site would consist of two parcels. A deviation is requested to allow retaining walls with a maximum height of ~~24~~ 31 feet. The project site is located at 5909 Nancy Ridge Drive within the Mira Mesa Community Plan Area, Residential Tandem Parking Overlay Zone, Marine Corps Air Station Miramar Airport Influence Area, Accident Potential Zone 2, Airport Environs Overlay Zone, FAA Part 77 Notification Area, Environmentally Sensitive Lands, and Floodway-100 and Floodplain-100 Zones. Legal Description: Parcel 1, the north half of the southeast quarter of the northeast quarter, in Section 9, Township 15 South, Range 3 West, San Bernardino Base Meridian, in the City of San Diego, County of San Diego, State of California (APN 343-010-21); and Lot 107 of Lusk Industrial Park Unit No. 4, according to Map thereof No. 10819 (APN 343-010-31). Council District 5. Applicant: Nancy Ridge Business Park, LLC.

I. PURPOSE AND MAIN FEATURES:

A Site Development Permit and Planned Development Permit are requested to construct two step-down, flat pad areas totaling approximately 4.2 acres within Environmentally Sensitive Lands for Steep Hillides and Sensitive Biological Resources on-site (see Figure 2, Site Plan). The entire project site is comprised of two parcels totaling approximately 25.79 acres. The proposed upper flat pad area would total approximately 3.2 acres, and the lower pad area would total approximately 1.0 acre. Both pads would be covered with gravel, and accessed from Nancy Ridge Drive via a paved non-standard driveway. Due to the topography of the site and site design, the project requests a deviation to allow over-height retaining walls with a maximum height of ~~24~~ 31 feet. The project site is zoned AR-1-1 (Agricultural-Residential). In order to allow for the proposed outdoor storage use, a Rezone from AR-1-1 to IL-2-1 (Industrial—Light) is requested.

Portions of both parcels are located within the City of San Diego Multiple Species Conservation Program's (MSCP) Multi-Habitat Planning Area (MHPA). According to the City of San Diego Land Development Code, "where the MHPA covers less than 75% of a premise, no development will be allowed within the MHPA". The biology report indicates the MHPA covers approximately 16.05 acres (62%) of both parcels combined. In order to construct the project, as proposed, a MHPA Boundary Line Adjustment (BLA) is requested. On January 16, 2008, the United States Fish and Wildlife Services and California Department of Fish and Game approved a MHPA BLA to remove approximately 3.66 acres of MHPA from the proposed development area and add 8.02 acres of MHPA on-site within a conservation easement for a total net gain of 4.36 acres

of MHPA lands (see Figure 5, MHPA BLA). Please see Discussion Section IV for further detail.

Per San Diego Municipal Code (SDMC) Parking Regulations, no fewer than 15 parking spaces are required to be permanently maintained on-site at all times. As proposed, the project would meet all SDMC parking requirements.

Grading calculations for the project site (both parcels) would require a total cut quantity of approximately 58,000 cubic yards with a maximum cut height of 34 feet and a maximum cut slope height of 34 feet with a maximum cut slope ratio of 2:1. The project would require a total fill quantity of approximately 58,000 cubic yards with a maximum fill depth of 36 feet and a maximum fill slope height of 30 feet with a maximum fill slope ratio of 2:1. No export material would result, as the cut materials would be used for fill. The project proposes approximately 2,800 feet of keystone retaining walls, in order to stabilize the proposed step-down, flat pad areas and non-standard driveway. The retaining walls would reach a maximum height of 24 31 feet, and would be screened with drought-tolerant, native plant species. All retaining walls would be required to provide 80% screening within two years consistent with the requirements of the Land Development Code. Landscaping would include trees such as Coast Live Oak and California Sycamore, shrubs such as Laurel Sumac and Toyon, and groundcovers such as Dwarf Coyote Brush and Golden Yarrow. All landscaping would conform to the City's Landscape Technical Manual.

The drainage pattern would continue to drain south towards the bottom of Soledad canyon. Increased runoff would result from a minor increase to impervious surfaces and land form alteration. However, the increase would be minimal, and would not be considered significant. The project would be required to incorporate construction Best Management Practices (BMPs) and post-construction BMPs consistent with the approved Water Quality Technical Report. The applicant would also be required to enter into a Maintenance Agreement with the City of San Diego for on-going permanent BMP maintenance. All site runoff would be required to comply with the City of San Diego's Storm Water Standards.

II. ENVIRONMENTAL SETTING:

The undeveloped 25.79-acre site is located at 5909 Nancy Ridge Drive (APN 343-010-31) in the AR-1-1 (Agricultural—Residential) Zone and IL-2-1 (Industrial—Light) Zone within the Miramar Subarea of the Mira Mesa Community Plan Area, Residential Tandem Parking Overlay Zone, Marine Corps Air Station Miramar Airport Influence Area, Accident Potential Zone 2, Airport Environs Overlay Zone, FAA Part 77 Notification Area, Environmentally Sensitive Lands, and Floodway-100 and Floodplain-100 Zones (see Figure 1, Location Map). Surrounding development is primarily located within the IL-2-1 Zone, with the exception of vacant parcels zoned AR-1-1, which are located within the canyon areas immediately east and west of the project site along Soledad and Carroll Canyon. The Mira Mesa Community Plan designates portions of the site for both Industrial and Open Space uses. Surrounding development is designated mostly for Light Industrial use with the exception of properties abutting canyon areas (i.e. Soledad Canyon, Carroll Canyon), which, typically, contain designated Open Space.

The project site consists of two parcels located below Nancy Ridge Drive on south and west facing slopes (see Figure 3, Topographical Map) north of the Atchison, Topeka & Santa Fe Railroad. Both parcels contain moderate to steep slopes with elevations ranging

from approximately 200 feet to approximately 280 feet Above Mean Sea Level. The northern parcel (APN 343-010-31) totals approximately 11.80 acres, and fronts a portion of Nancy Ridge Drive which extends from a point approximately 150 feet south of the Carroll Canyon Road/Nancy Ridge Drive intersection and continues south around a bend turning eastward for a total of approximately 0.48 miles. The southern parcel (APN 343-010-21) totals approximately 13.99 acres, and has no street frontage. Both parcels contain Environmentally Sensitive Lands due to Steep Hillides and Sensitive Biological Resources on-site. Vegetation on-site consists of Diegan Coastal Sage Scrub, Southern Willow Scrub, Coast Live Oak Woodland, Southern Mixed Chaparral, non-native grasslands, San Diego barrel cactus, and drought-tolerant ornamental vegetation. Both parcels are located partially within the City of San Diego Multiple Species Subarea Plan's Multi-Habitat Planning Area and contain wetlands.

III. ENVIRONMENTAL ANALYSIS: See attached Initial Study Checklist.

IV. DISCUSSION:

*During the environmental review of the project, it was determined that construction could potentially result in significant but mitigable impacts in the following area(s): **Land Use, Biological Resources and Paleontological Resources.***

Biological Resources

According to the City of San Diego "Significance Determination Thresholds" for biological resources, impacts to 0.10 acre or more of total sensitive upland habitat (Tiers I, II, IIIA, IIIB) may be considered significant. The Environmental Analysis Section (EAS) conducted a field visit of the site and reviewed photographic surveys, and determined the site contains sensitive biological resources. A biological resources report was required to determine impacts to sensitive biological resources resulting from the proposed project. A biological resources report entitled, *Biological Resources Report, Nancy Ridge Business Park, City of San Diego, San Diego County, California* (August 24, 2006) was prepared by Everett and Associates. Subsequent revised biological reports were submitted by Everett and Associates on June 22, 2007, August 20, 2007 and January 30, 2008.

According to the biology report, the project site contains approximately 2.66 acres Coast Live Oak Woodland (Tier I), 11.38 acres Diegan Coastal Sage Scrub (Tier II), 3.29 acres Southern Mixed Chaparral (Tier IIIA), 0.36 acre Non-Native Grasslands (Tier IIIB), 2.38 acres Southern Willow Scrub (wetland), 0.48 acre Disturbed (Tier IV), 1.46 acres Unvegetated Habitat (Tier IV), and 3.78 acres Urban/Developed (Tier IV) (see Figure 4, Biological Resources Map). All habitats classified as Tier IV habitats are not considered sensitive, and require no mitigation. The project would result in direct impacts to approximately 3.81 acres of Diegan Coastal Sage Scrub (CSS) and 0.36 acres of non-native grasslands (NNG). No impacts to Coast Live Oak Woodland, Southern Mixed Chaparral and Southern Willow Scrub would occur as a result of project implementation. These habitats are located outside of the development area and maintain appropriate buffers to preclude project-related impacts to sensitive upland habitats or wetlands. No impacts are associated with brush management. Brush Management Zone I would occur entirely within the proposed development footprint. Brush Management Zone II (BMZ II) would extend approximately 65 feet beyond the development area into the MHPA. Impacts to sensitive biological resources resulting from BMZ II are considered impact neutral, and require no mitigation. The project would result in total impacts to

approximately 4.17 acres of CSS and NNG, of which, approximately 3.66 acres (3.51 CSS/ 0.15 NNG) would occur within the MHPA on-site.

The biological resources report identifies Southern Willow Scrub on-site within the lower canyon area. Southern Willow Scrub is a wetland habitat primarily occurring within the northern parcel with a small portion extending from the northern parcel into the northwest corner of the southern parcel and off-site into MHPA lands. The drainage that transects the project site generally meets the City's definition of a wetland. The City's Environmentally Sensitive Lands regulations require that impacts to wetlands be avoided. Unavoidable impacts should be minimized to the maximum extent practicable.

All proposed development would occur outside of wetland areas, and would maintain a minimum buffer of 100 feet. Potential indirect impacts occurring from drainage and sedimentation during construction would be mitigated through compliance with the MSCP Land Use Adjacency Guidelines (1.4.3) and construction, post-construction and permanent BMP maintenance consistent with the approved Water Quality Technical Report. All wetland areas would be protected on-site. Therefore, no permits from the U.S. Army Corps of Engineers or the California Department of Fish and Game are required. Approval of the project would add an additional 1.71 acres of Southern Willow Scrub wetland habitat on-site, which would be conserved in an approved City conservation easement within the MHPA consistent with the BLA.

According to the City's Biology Guidelines, the applicant is required to mitigate at a ratio of 1:1 for impacts to Tier II habitat and a ratio of 0.5:1 for impacts to Tier IIIB habitat when the location and preservation of the impacts occur within the MHPA. Therefore, the applicant would be required to mitigate for a total of 4.17 acres (3.81 acres of Tier II habitat and 0.36 acre of Tier IIIB habitat). An MHPA Boundary Line Adjustment (BLA) was approved by the California Department of Fish and Game and the U.S. Department of Interior Fish and Wildlife Service on January 16, 2008, which would remove approximately 3.66 acres of sensitive habitat from the MHPA within the proposed development area, and add approximately 8.02 acres of MHPA habitat on-site within an approved City conservation easement for a total net gain of approximately 4.36 acres. The net gain of 4.36 acres, as a result of the MHPA BLA, would satisfy the upland habitat mitigation requirement of 4.17 acres. Therefore, no further mitigation would be required.

The biological resource report identified San Diego barrel cactus on-site. San Diego barrel cactus is a covered species under the MSCP. However, it is not considered a narrow endemic species. Over 350 individual plants were counted during the field reconnaissance. Due to the site's topography and dense foliage, the actual amount of barrel cacti on-site are most likely in the 400 range, and occur outside of the development footprint. San Diego barrel cacti are located within BMZ II and in the southwest corner of the northern parcel. No impacts to barrel cacti would occur as a result of thinning and pruning activities associated with brush management requirements.

The project site and adjacent parcels contain mature trees which have the potential for nesting raptors. No direct impacts to nesting raptors are permitted. Direct impacts would be avoided through compliance with the Migratory Bird Treaty Act. Project-related construction activities could have the potential to indirectly impact raptor species during the breeding season (February 1-September 15). If construction occurs during the raptor breeding season, a preconstruction survey would be conducted by a qualified biologist to determine whether nesting raptors are present. No construction would occur within 300 feet of any identified nest(s) until the young fledge. Noise impacts would be avoided

during the breeding season through pre-construction surveys and adherence to appropriate noise buffer zone restrictions.

Land Use

As previously described in the Environmental Setting, the Mira Mesa Community Plan (MMCP) designates the project site for Light Industrial and Open Space land uses. Surrounding lands adjacent to the project site to the south, east and west are located within Soledad Canyon and Carroll Canyon, and are designated as MHPA per the City of San Diego MSCP Subarea Plan. The project site is located partially within and adjacent to the MHPA. Therefore, the project would be required to comply with the MHPA Land Use Adjacency Guidelines (Section 1.4.3) of the MSCP Subarea Plan. Potential indirect impacts to the MHPA resulting from lighting, drainage, toxins, invasive plant species, noise, barriers and brush management as a result of project construction and operation must not adversely affect the MHPA. More specifically, all lighting (temporary and permanent) of areas adjacent to the MHPA and open space would be directed away from these areas and shielded, if necessary. Drainage would not be permitted to drain directly into the MHPA and would include construction, post-construction and treatment BMPs. No toxic materials or water used during construction-related work are allowed to be diverted or drained off-site, into the MHPA, during and after construction activity. Landscape plantings would consist of drought-tolerant, non-invasive native plant species and non-invasive ornamental plant species. Barriers would be constructed on-site to prevent impacts to sensitive biological resources outside of the defined limits of work, direct public access to appropriate locations, and reduce domestic animal predation. Construction Consistency with the MHPA Land Use Adjacency Guidelines, as outlined in Section V. Mitigation, Monitoring and Reporting Program of the Mitigated Negative Declaration, would reduce potentially significant indirect land use impacts to below a level of significance.

According to the biological resources report, the only sensitive animal species with the potential to occur on-site is the Coastal California gnatcatcher. The Coastal California gnatcatcher is MSCP Covered species, a federal threatened species, and a state species of concern. Due to the presence of CSS and MHPA lands on-site and the gnatcatchers known occurrence in the region, focused surveys were conducted on and immediately adjacent to the portion of the project site proposed for development. During the surveys, two Coastal California gnatcatchers were observed in the northeast corner of the project site. The location of occurrence was located within the MHPA and outside of the area of proposed development. Due to the potential for indirect construction-related noise impacts to occur during the gnatcatcher's breeding season (March 1-August 15), a protocol survey would be required to determine the presence/absence of gnatcatchers on-site or within adjacent MHPA lands. The protocol survey would only be required if construction activities would occur during the gnatcatcher's breeding season. If gnatcatchers are present and construction noise would exceed 60 dB(a) hourly, sound mitigation (e.g. walls or berms) would be required to reduce noise impacts to below a level of significance. The noise attenuation measures, if applicable, would be determined by a qualified acoustician. See Section V. Mitigation, Monitoring and Reporting Program of the MND for further detail.

Review of the City's MSCP maps identified MHPA lands on both parcels (see Figure 5, MHPA Boundary Line). Per the City of San Diego Land Development Code, "where the MHPA covers less than 75% of a premise, no development will be allowed within the MHPA". According to the biological resources report, the MHPA covers approximately 94% of the southern parcel and 4% of the northern parcel. Development of the proposed

pad areas would occur almost entirely within the southern parcel. Encroachment into the MHPA preserve is considered a significant impact per the City of San Diego Biology Guidelines and MSCP Subarea Plan. Therefore, the proposed encroachment into the MHPA preserve can only be approved if a MHPA BLA is determined to be consistent with both the regional MSCP Plan and the City's MSCP Subarea Plan (Section 1.1.1). Adjustments to the MHPA boundaries may be made without the need to amend either the MSCP Subarea Plan or the regional MSCP Plan in cases where the new MHPA boundary results in an area of equivalent or higher biological value. The determination of the biological value of a proposed boundary change will be made by the City in accordance with the MSCP Plan, and with the concurrence of the wildlife agencies.

A MHPA BLA was approved by the United States Fish and Wildlife Service and California Department of Fish and Game on January 16, 2008. The BLA would remove approximately 3.66 acres (3.51/CSS, 0.15/NNG) of MHPA lands from the proposed development area, and add approximately 8.02 acres of MHPA lands in an approved City conservation easement. The BLA would result in a total net gain of 4.36 acres of MHPA consisting of CSS, Coast Live Oak, Southern Mixed Chaparral, Southern Willow Scrub and Disturbed lands. Approval of the project would result in a net loss of approximately 0.69 acre of CSS and 0.15 acre of NNG. However, approximately 0.84 acre of Coast Live Oak Woodland, 2.38 acres of Southern Mixed Chaparral, and 1.71 acres of Southern Willow Scrub would be added to the City's MHPA, as described in Table 1.

Table 1

PLANT COMMUNITY	TIER	ACREAGE TO BE REMOVED	ACREAGE TO BE ADDED	NET CHANGE
Disturbed (Adjacent to Wetland)	IV	0	0.27	+ 0.27
Diegan Coastal Sage Scrub	II	3.51	2.82	- 0.69
Coast Live Oak Woodland	I	0	0.84	+ 0.84
Southern Mixed Chaparral	III A	0	2.38	+ 2.38
Southern Willow Scrub	WETLAND	0	1.71	+ 1.71
Non-Native Grassland	III B	0.15	0	- 0.15
Total		3.66	8.02	+ 4.36

In addition to the total net gain of 4.36 acres of MHPA lands, approval of the BLA would improve both the conservation and configuration of conserved habitats and wildlife corridors located within the MHPA extending throughout the canyon systems. This would be achieved by filling in a present gap in the MHPA that occurs as a result of the minimal amount of MHPA coverage on the northern parcel (4%), and the northern parcel's location at the intersection of Carroll Canyon and Soledad Canyon. The proposed BLA increases the conservation of the only covered species occurring within the area to be

adjusted (e.g. San Diego barrel cactus and Coastal California gnatcatcher). Several hundred individual barrel cacti would be included within the MHPA, and additional habitat for Coastal California gnatcatchers would be provided. The BLA would also improve current habitat linkage/wildlife corridors by including an important area previously not included within the MHPA, and improve species diversity within the MHPA by adding several habitat types that support more species than the areas to be removed. Habitat interfaces with the MHPA would be improved, and wetlands, wetland buffers and transitional upland areas would be afforded additional protection. The acreage added to the MHPA would include mitigation for impacts to CSS and NNG impacted by the proposed project.

Paleontological Resources

The project site is underlain by the following geologic formations: Ardath Shale (Tm), Scripps Formation (Tsd) and Stadium Conglomerate (Tst). With respect to paleontological fossil resource potential, all of the above-referenced geologic formations are assigned a high sensitivity rating in all areas where they occur. According to the City of San Diego Significance Determination Thresholds, projects underlain by high sensitivity formations require paleontological monitoring when grading quantities exceed 1,000 cubic yards and have a cut depth greater than 10 feet. The project proposes to construct two levels of graded pads, which would require approximately 58,000 cubic yards of cut with a maximum cut depth of 34 feet to construct. Therefore, paleontological monitoring would be required during all grading activities to mitigate for potential impacts to paleontological resources. In the event that paleontological resources are discovered, excavation would be halted or diverted to allow recovery, evaluation, and recordation of materials. See MND Section V. Mitigation, Monitoring and Reporting Program.

*During the environmental review of the project, it was determined that proposed project would not result in significant impacts to the environment in the following area(s): **Geology, Water Quality/Hydrology, Landform Alteration, Visual Quality and Historical Resources (Archaeology).***

Geology

The City of San Diego Seismic Safety Study, Geologic Hazards and Faults map indicates the project site has been mapped within Geologic Hazards Categories 53, 32 and 31. According to the City of San Diego Significance Determination Thresholds, lands designated as Category 53 are defined as "Other terrain: level or sloping terrain, unfavorable geologic structure, low to moderate risk", Category 32 are defined as "Liquefaction: low potential—fluctuating groundwater, minor drainages" and Category 31 are defined as "Liquefaction: high potential—shallow groundwater, major drainages, and hydraulic fills". The proposed development would occur only within Hazard Category 53. No grading or development would occur within Hazard Categories 31 or 32.

Due to the potential for geologic hazards, a geologic reconnaissance report entitled, *Report of Geotechnical Reconnaissance, Proposed Storage Site, Nancy Ridge Drive, San Diego, California* (May 24, 2004) and subsequent addendum report entitled, *Response to Review of Documents, Proposed Storage Site, Nancy Ridge Drive, San Diego, California* (January 4, 2006) were conducted and prepared by Christian Wheeler Engineering, which indicate the results of the geologic investigation.

According to the geotechnical reports, no geologic hazards of sufficient magnitude to preclude development of the site for conventional commercial use are known to exist. The site was found to be free of major geotechnical and geological conditions that could have a significant effect on the development of the property. The native soils that underlie the site are expected to consist of dense, competent sandstones and cobble conglomerates with a silty sand matrix. These materials have relatively high strength parameters and very low to low expansive characteristics, which have high bearing capacities and stand well in cut and fill slopes. The alluvial/colluvial deposits in the drainage courses are loose and would require complete removal to competent formational soils for preparation of proposed fills.

According to the California Division of Mines and Geology, the project site is located in Relative Landslide Susceptibility Area 3-1. Area 3 is considered to be the "generally susceptible" area. Subarea 3-1 contains slopes considered to be at or near their stability limits due to a combination of weak materials and steep slopes. Information regarding slope stability indicates that the slopes will have an adequate factor-of-safety with regard to deep-seated slope instability hazards. Surficial slope instability hazards would be reduced by the use of proper landscaping and slope maintenance practices.

No active, or potentially active, faults were mapped or appear to be present on-site. Therefore, the site is not considered susceptible to surface rupture. The nearest active fault is the Rose Canyon Fault Zone located approximately four miles west of the project site. The property would be subject to ground shaking and seismic forces from regional active faults. However, no special setbacks or design parameters would be necessary, other than required by the Uniform Building Code.

The materials at the portion of the site to be developed are relatively competent and are not anticipated to be subject to liquefaction due to such factors as soil density, grain-size distribution, and lack of ground water. Geologic Hazard Categories 31 and 32 are assigned to drainage areas where the potential for liquefaction is considered to be low to high. No development is proposed within these areas. All development would occur within areas defined as Category 53. Therefore, the potential for liquefaction is considered to be low.

City Geology staff reviewed the required geotechnical reports and agrees with the reports' conclusions. Additional geotechnical review would be a condition of the Site Development Permit, which would occur during the ministerial permit issuance process. Based upon the conclusions of the geotechnical reports and City Geology staff's approval and conditions, the Environmental Analysis Section has determined the project would not have the potential to cause a significant effect on the environment. Therefore, no mitigation would be required.

Water Quality/ Hydrology

A Storm Water Requirements Applicability Checklist identified the project as a "Medium Priority" project, which is subject to permanent Storm Water Best Management Practice (BMP) requirements. A Water Quality Technical Report (WQTR) entitled, *Water Quality Technical Report for Nancy Ridge Business Park* (August 22, 2007) and Hydrology Report entitled, *Drainage Study for Nancy Ridge Business Park* (August 22, 2007) were prepared by Farrington Engineering Consultants, Inc. According to the WQTR, the project site is located within the Miramar Reservoir Hydrologic Area (906.10) of the Penasquitos Hydrologic Unit (906). The waterbody downstream of the project shown on the 303(d) List of Impaired Waterbodies is the Pacific Ocean. The Pacific Ocean is listed

as a Section 303(d) receiving water due to sedimentation and siltation. Bodies of water listed under section 303(d) of the 1972 Clean Water Act include those that do not meet minimum water quality standards even after point sources of pollution have installed the minimum required levels of pollution control technology.

The results of both the WQTR and Hydrology Report concluded the project would have a minimal impact on water quality. The proposed pad areas would be capped with 4 inches of Class 2 base material for some low level absorption and filtration of pollutants occurring within the development footprint rather than storm water runoff flowing directly into the adjacent canyon area. Runoff from the site would be directed to the graded pad areas, and primary filtering of storm water runoff would be achieved through catch basins on each pad level equipped with Kristar filter inserts, which would be discharged through rip rap dissipators to the canyon area below the site. Irrigation watering would be by drip irrigation or low flow spray heads to minimize runoff of pollutants. All irrigation systems would be installed as recycled water irrigation systems. These site design and source control BMPs would reduce the potential source of pollutants for both the 2-year and 10-year storm frequencies, and would reduce anticipated and potential pollutants following construction to the maximum extent practicable.

The project and the above described project features have been designed in accordance with the City's Storm Water Standards. The applicant would be required to incorporate any construction BMPs necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code; and any post-construction BMPs consistent with the approved WQTR. Development of the site would be required to comply with all requirements of the State Water Resources Control Board (SWRCB) Order No. 9008 and the Municipal Storm Water Permit, Order No. 2001-01, Waste Discharge Requirements for Discharges of Storm Water Runoff Associated with Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Program and Monitoring Program Plan would be implemented concurrently with the commencement of grading activities, and a Notice of Intent would be required to be filed with the SWRCB. Compliance with the standards through the described project elements would preclude direct, indirect and cumulatively considerable impacts to water quality and hydrology resulting from the proposed project.

Landform Alteration

According to the City of San Diego Significance Determination Thresholds, a project may result in a significant environmental impact if the project would alter more than 2,000 cubic yards of earth per graded acre by either excavation. Grading of a smaller amount may still be considered significant in highly scenic or environmentally sensitive areas. In addition, one or more of four conditions must apply to meet this threshold. Of those four conditions, two were determined to apply. First, the project would create manufactured slopes higher than 10 feet. Second, the project design would include mass terracing of natural slopes with cut or fill slopes in order to construct flat-pad structures. However, the above conditions may not be considered significant if the proposed excavation or fill is necessary to permit installation of alternative design features such as step-down or detached buildings, non-typical roadway or parking lot designs, and alternative retaining wall designs which reduce the project's overall grading requirements.

In order to construct the two proposed step-down, flat-pad areas on the southern parcel, the project would require approximately 58,000 cubic yards of cut with a maximum cut height of 34 feet and a maximum cut slope height of 30 feet at a maximum cut slope ratio

of 2:1. Approximately 58,000 cubic yards of fill would be required with a maximum fill depth of 36 feet and a maximum fill slope height of 30 feet at a maximum fill slope ratio of 2:1. Keystone retaining walls with a maximum height of 24 feet would be required along the eastern, western and southern portions of the development area in order to stabilize the stepped-down flat pads. The project would also include a non-standard roadway design necessary to access the graded pads on the southern parcel, which contains no street frontage. Based upon the site topography and the location of the parcels, EAS has determined the proposed project has been designed to limit overall grading quantities to reach a 23.8% development area where 25% is allowable, and has limited impacts to sensitive biological resources by obtaining an MHPA BLA, which would result in a net gain of 4.36 acres of MHPA lands. No significant land use impacts would occur as a result of project implementation. Therefore, no mitigation is required.

Visual Quality

According to the City of San Diego's "Significance Determination Guidelines" under CEQA, a project may have a significant visual impact on the environment if "the project includes crib, retaining or noise walls greater than six feet in height and 50 feet in length with minimal landscape screening or berming where the walls would be visible to the public".

The project site is located within Soledad Canyon immediately south of Nancy Ridge Drive. The project site contains native vegetation (e.g. non-native grasslands, Diegan Coastal Sage Scrub). No development is located immediately adjacent to the project site. The project would require the construction of keystone retaining walls reaching a maximum height of ~~24~~ 31 feet to stabilize the proposed graded flat-pad areas. All proposed retaining walls would be required to provide 80% screening within two years. Not all portions of the retaining walls would be visible from public viewing areas. Landscape screening would be achieved through the use of wall plantings within the retaining walls and shrubs and trees located directly in front of the walls. All landscaping would consist of native, non-invasive plant species, and would be required to conform to the City's Landscape Technical Manual Landscaping. The keystone retaining walls would be of an earthtone/sandstone color similar to the surrounding environment. Based upon the project's design features, no significant visual impacts the environment would occur as a result of project implementation. Therefore, no mitigation is required.

Historical Resources (Archaeology)

According to the City's Historical Resources Sensitivity Map, the site is located in an area with a high potential for subsurface archaeological resources. A record search of the California Historic Resources Information System (CHRIS) digital database, provided to the City of San Diego under the SCIC CHRIS Partnership Agreement, was reviewed to determine the presence or absence of potential archaeological resources within the project site's boundaries and within a one-mile radius. No recorded cultural resources were identified on-site. However, record sites were identified within a half-mile radius. Based upon the history and sensitivity of the surrounding area and the site not having been previously developed, an archaeological survey was required.

An archaeological report entitled, *Results of a Cultural Resources Record Search and Survey for the Nancy Ridge Business Park Project, City of San Diego, California* (July 14, 2006) was prepared by Harris Archaeological Consultants. The report included a records search and literature review conducted at the South Coastal Information Center,

and a field reconnaissance of the lower parcel (APN 343-010-021) to identify any cultural resources that could potentially be impacted by project implementation.

The records search indicated that twenty three studies have previously been conducted within a one-mile radius of the project area. Four of the studies (Gallegos 1988, Bull 1978, Hatley 1978 and Moriarty 1977) have either included all or a portion of the present project area. The records search revealed twenty four resources having been previously documented with a one-mile radius. None of these resources were identified or recorded within the project area. No cultural resources were identified during the field reconnaissance. As a result of the study, no unique, important or significant cultural resources were identified, and the potential for subsurface cultural resources was determined to be low within the project area. The site topography also indicates any potential for human habitation would be very low.

The upper parcel was not included within the archaeological study. However, due to the results of the records search and the existing manufactured slopes resulting from the construction of Nancy Ridge Drive, potential impacts to surface and subsurface cultural resources within this parcel are considered to be low. Based upon the results of the archaeological report, prior site disturbance and site topography, EAS has determined the potential to impact cultural resources is low, and no mitigation is required.

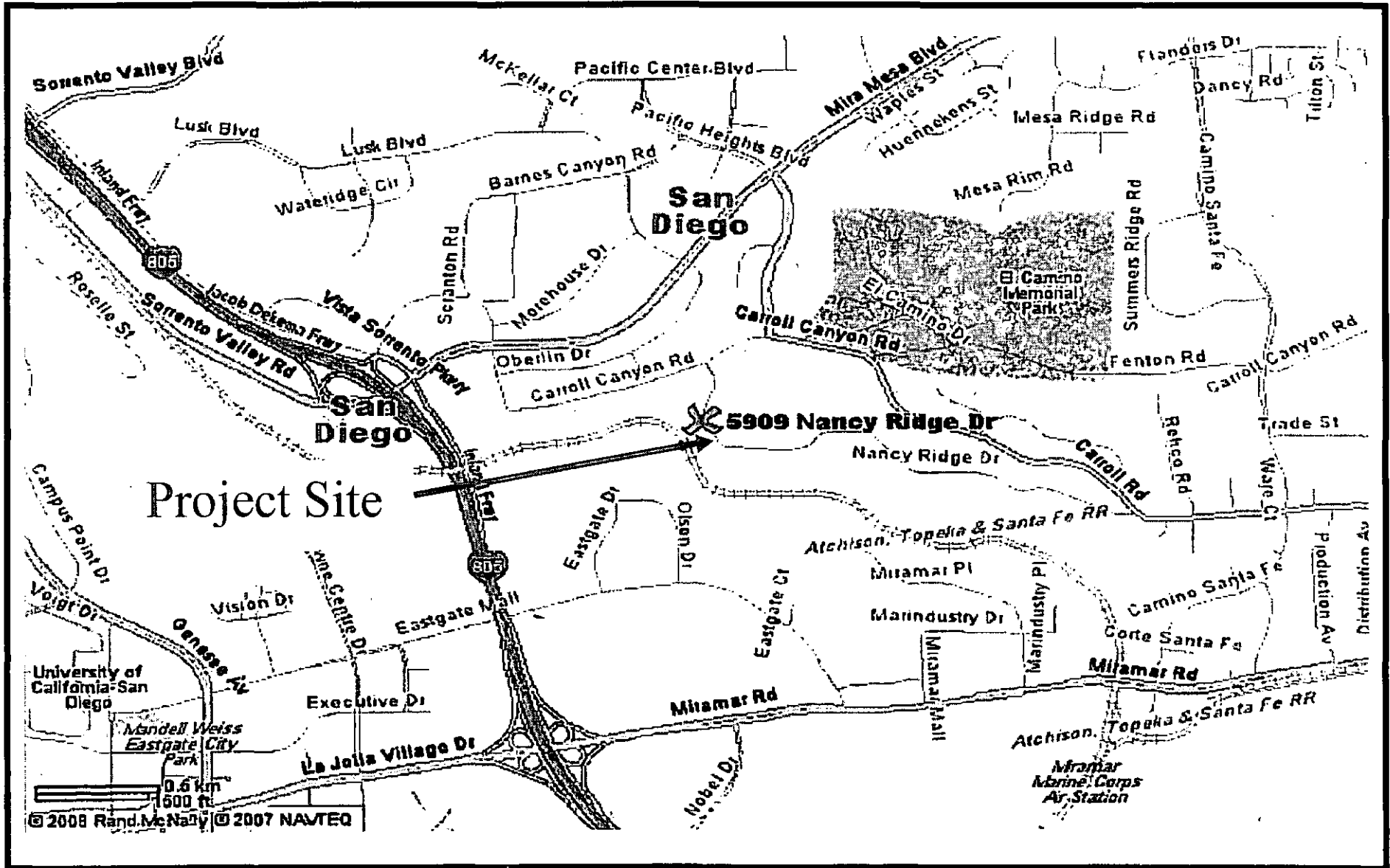
V. RECOMMENDATION:

On the basis of this initial evaluation:

- The proposed project would not have a significant effect on the environment, and a NEGATIVE DECLARATION should be prepared.
- Although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the mitigation measures described in Section IV above have been added to the project. A MITIGATED NEGATIVE DECLARATION should be prepared.
- The proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT should be required.

PROJECT ANALYST: Arnhart

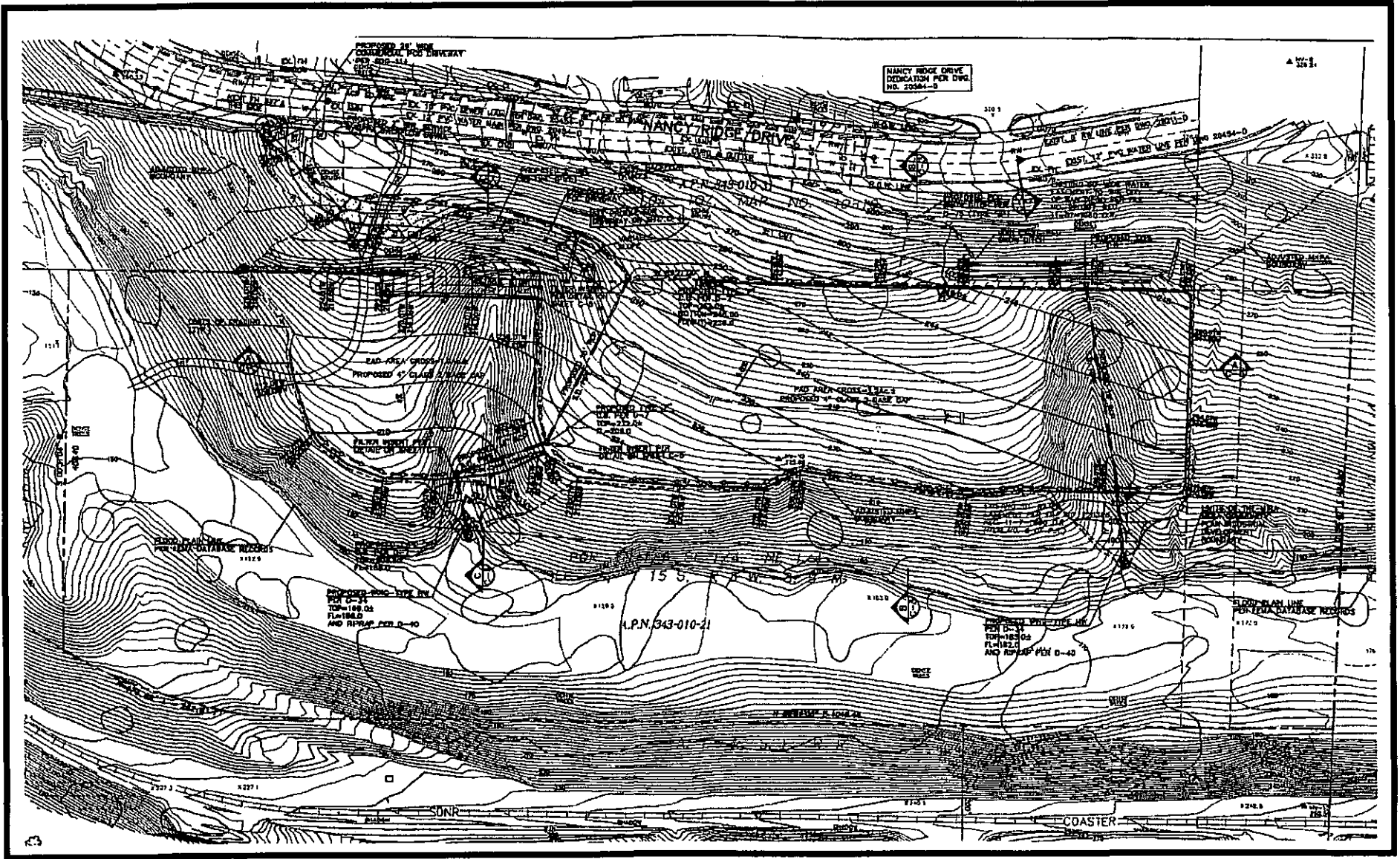
Attachments: Location Map
 Site Plan
 Topographical Map
 Biological Resources Map
 MHPA BLA
 Initial Study Checklist



Location Map

Nancy Ridge Business Park Project No. 114358
 City of San Diego – Development Services Department

FIGURE
1



Site Plan

Nancy Ridge Business Park Project No. 114358
 City of San Diego – Development Services Department

FIGURE
2

Northern Parcel
(APN 343-010-31)

NANCY RIDGE BUSINESS PARK

SITE DEVELOPMENT PERMIT
 PLANNED DEVELOPMENT PERMIT
 SLOPE ANALYSIS STUDY
 SANGIS TOPOGRAPHICAL MAP (1999)

SITE MHPA DATA

ASSESSOR'S PARCEL NO.	-21	-31	TOTAL	%
GROSS AREA	13.98 AC	11.80 AC	22.78 AC	100.00
DEVELOPED AREA	3.50 AC	1.97 AC	5.47 AC	23.99
AREA IN MHPA	8.41 AC	8.84 AC	14.06 AC	61.80
DEVELOPED AREA IN MHPA	0.00 AC	0.00 AC	0.00 AC	0.00
UNDEVELOPED AREA IN MHPA	8.41 AC	8.84 AC	14.06 AC	61.80
STEEP SLOPE AREA			14.86 AC	65.14
NON-STEEP SLOPE AREA			8.92 AC	39.06
CONTAINING STEEP SLOPES AND BEING DEVELOPED			13.14 AC	57.70
CONTAINING STEEP SLOPES & NOT BEING DEVELOPED			1.67 AC	7.34

Analytic Slope Report

SLOPE RANGE	Area (sq ft)	% of Total Area
0.00 - 15.00	300,263	31.99
15.00 - 20.00	174,200	18.43
20.00 - 25.00	233,418	24.77
25.00 - 30.00	1,122,518	119.22
Total	1,830,399	100.00

-  INDICATES SLOPES 0-25%
-  INDICATES SLOPES 25-35%
-  INDICATES SLOPES 35%+

Southern Parcel
(APN 343-010-21)

FOR ENGINEERING CONSULTANTS, INC.
 INC. CIVIL ENGINEERING
 1987

Topographical Map

Nancy Ridge Business Park Project No. 114358
 City of San Diego – Development Services Department



FIGURE
3

MOVED FROM MHPA
COASTAL SAGE SCRUB
& GRASSLAND WITHIN
DEVELOPMENT FOOTPRINT
STATS (INCLUDING
LANDSCAPING ALONG
CAD) TO BE ADDED TO MHPA

VEGETATION MAP PROPOSED MHPA BOUNDARY LINE ADJUSTMENT

LEGEND

PROPOSED MHPA
BOUNDARY

OFF-SITE 100'

EXISTING MHPA
BOUNDARY

PROPOSED MHPA
BOUNDARY

VEGETATION COMMUNITIES TO BE REMOVED FROM AND ADDED TO THE MHPA

VEGETATION COMMUNITY	TERR	ACREAGE TO BE REMOVED	ACREAGE TO BE ADDED	NET CHANGE
Mariposa Yucca/Grass	IV	0	0.37	-0.37
Coastal Sage Scrub	II	5.81	9.82	-0.80
Coastal Sage Scrub	I	0	0.84	-0.84
Coastal Sage Scrub	IIA	0	2.38	-2.38
Southern Willow Scrub	VI	0	1.71	-1.71
Non-Riparian Grassland	III B	0	0	-0.13
Total		5.81	12.72	-4.28

EXISTING VEGETATION COMMUNITIES WITHIN THE PROJECT SITE (GROSS ACRES)

PLANT COMMUNITY	TERR	ACREAGE ON-SITE
Disturbed	V	0.06
Coastal Sage Scrub	II	1.20
Coastal Sage Scrub	I	1.00
Southern Willow Scrub	VI	2.38
Unvegetated Habitat (Grass)	VI (LAND)	1.28
Non-Riparian Grassland	III B	0.38
Wetland	III A	2.38
Total		8.30

- URBAN / DEVELOPED
HOLLAND CODE 12600
- DISTURBED
HOLLAND CODE 11300
- DIGGAN COASTAL SAGE SCRUB
HOLLAND CODE 12500
- SOUTHERN WILLOW SCRUB
HOLLAND CODE 12400
- COAST LINE OAK WOODLAND
HOLLAND CODE 71100
- SOUTHERN MIXED CHAPARRAL
HOLLAND CODE 37100
- UNVEGETATED HABITAT
(COARSE GRASS (BOTTOM))
HOLLAND CODE 13500
- NON-RIPARIAN GRASSLAND
HOLLAND CODE 42200

AREA OF DISTRIBUTION OF
COAST BARREL CACTUS
PEROGYSSUS VITIFOLIA
ON THE SITE

LOCATION OF SITES OF TWO
CALIFORNIA GNATCATCHERS

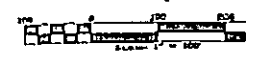
WETLAND BOUNDARY

DEVELOPMENT FOOTPRINT
BOUNDARY

EXISTING MHPA
BOUNDARY

NANCY RIDGE DRIVE

84' CITY OF SAN DIEGO
WATER BASIN



BASE MAP PREPARED BY
MARK A. PARSONS, INC.
4400 NORTH DIXIE DRIVE
1978 VIA FIVE
SAN DIEGO, CALIFORNIA 92110
304 574-9400

VEGETATION MAP PREPARED
BY
WILLIAM T. EVERETT
CITY OF SAN DIEGO
DEPARTMENT OF PLANNING
AND COMMUNITY DEVELOPMENT
1400 LA JOLLA VILLAGE
SAN DIEGO, CALIFORNIA 92161

NOTES:
1. ALL DISTANCES ARE IN FEET.
2. ALL DISTANCES ARE TO THE CENTERLINE OF THE ROAD.
3. ALL DISTANCES ARE TO THE CENTERLINE OF THE CANAL.
4. ALL DISTANCES ARE TO THE CENTERLINE OF THE RAILROAD.
5. ALL DISTANCES ARE TO THE CENTERLINE OF THE AIRWAY.

NOTE: BRUSH MANAGEMENT ZONE 1
BRUSH MANAGEMENT ZONE 2

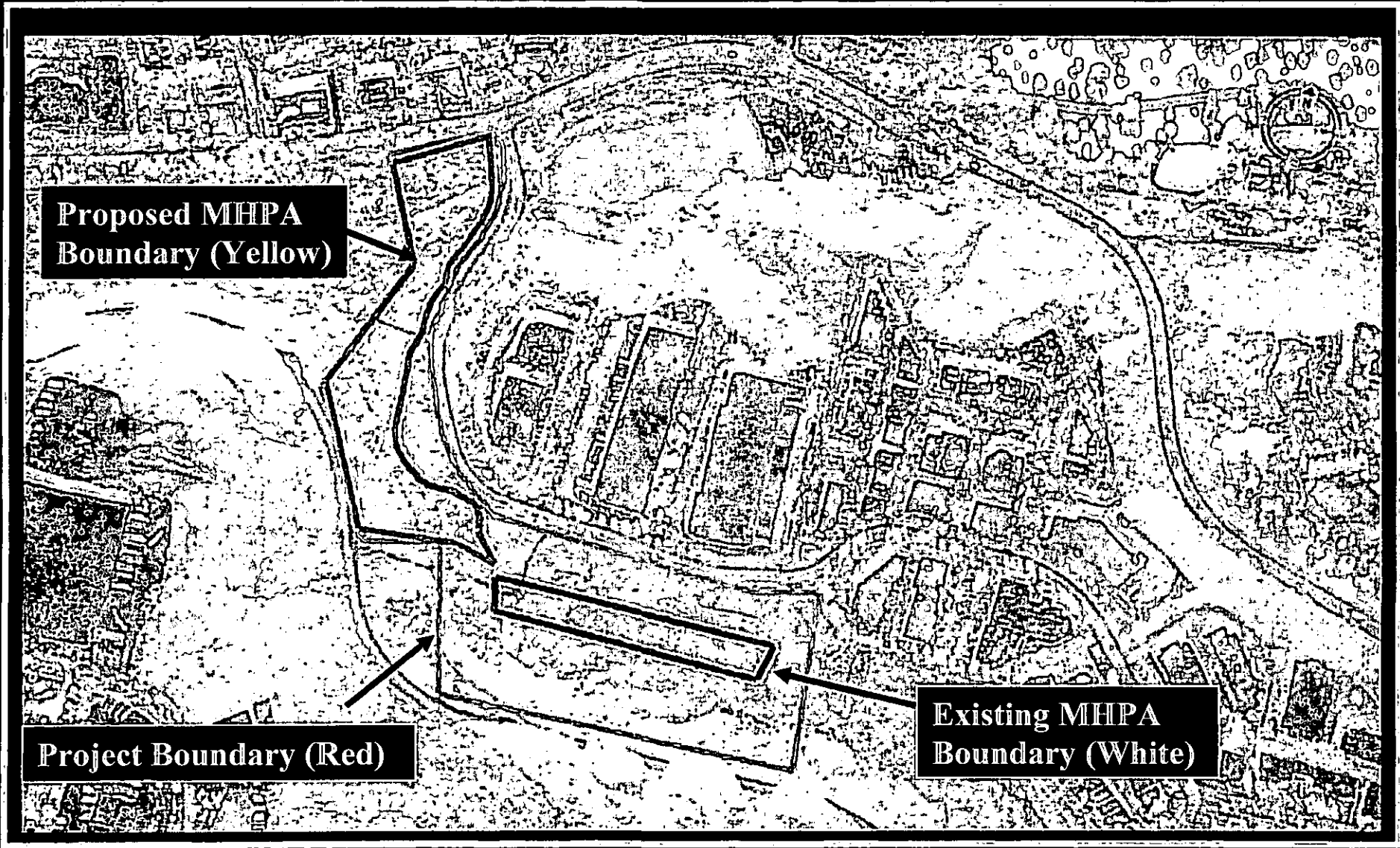
----- BRUSH MANAGEMENT ZONE 1
----- BRUSH MANAGEMENT ZONE 2



Biological Resources Map

Nancy Ridge Business Park Project No. 114358
City of San Diego – Development Services Department

FIGURE
4



MHPA BLA

Nancy Ridge Business Park Project No. 114358
City of San Diego – Development Services Department

FIGURE
5

INITIAL STUDY CHECKLIST

Date: November 13, 2006

Project No. : 114358

Name of Project: Nancy Ridge Business Park

III. ENVIRONMENTAL ANALYSIS:

The purpose of the Initial Study is to identify the potential for significant environmental impacts which could be associated with a project pursuant to Section 15063 of the State CEQA Guidelines. In addition, the Initial Study provides the lead agency with information which forms the basis for deciding whether to prepare an Environmental Impact Report, Negative Declaration or Mitigated Negative Declaration. This Checklist provides a means to facilitate early environmental assessment. However, subsequent to this preliminary review, modifications to the project may mitigate adverse impacts. All answers of "yes" and "maybe" indicate that there is a potential for significant environmental impacts and these determinations are explained in Section IV of the Initial Study.

	YES	MAYBE	NO
I. AESTHETICS / NEIGHBORHOOD CHARACTER – Will the proposal result in:			
A. The obstruction of any vista or scenic view from a public viewing area? <i>The project would not result in an obstruction to a public view corridor as no designated public corridors have been identified on or adjacent to the site.</i>	—	—	<u>X</u>
B. The creation of a negative aesthetic site or project? <i>The project proposal is permitted within the IL-2-1 (Industrial—Light) Zone, and does not propose any buildings/structures. Landscape planting would provide 80% screening of proposed retaining walls, and would consist of non-invasive, native plant materials similar to the surrounding environment. The proposed outdoor storage use would be compatible with existing surrounding light industrial uses. Project implementation would not adversely affect the goals and recommendations of the Mira Mesa Community Plan.</i>	—	—	<u>X</u>
C. Project bulk, scale, materials, or style which would be incompatible with surrounding development?	—	—	<u>X</u>

The project does not propose to construct any buildings on-site. Therefore, there would not be any significant environmental impacts resulting from bulk, scale, materials or style.

- | | | | | |
|----|---|---|---|----------|
| D. | Substantial alteration to the existing character of the area?
<i>No such result would occur as a result of project implementation. See I-B and -C.</i> | — | — | <u>X</u> |
| E. | The loss of any distinctive or landmark tree(s), or a stand of mature trees?
<i>No distinctive or landmark tree(s) are located within the proposed development area. A stand of mature Sycamores and Alder trees are located along the street frontage, and would remain as a part of the proposed project.. The site does contain oak woodlands. However, they are located on the southern portion of the site, and would not be impacted by the proposed development. The development area consists primarily of Diegan Coastal Sage Scrub, non-native grasslands and ornamental vegetation.</i> | — | — | <u>X</u> |
| F. | Substantial change in topography or ground surface relief features?
<i>The project would require a substantial amount of grading to construct the two proposed pad areas. However, due to the incorporation of construction Best Management Practices (BMPs), post-construction BMPs, and City staff's approval of the submitted Water Quality Technical Report, Hydrology Study and Geotechnical Reconnaissance; the change in topography and/or ground surface relief features resulting from project implementation would not be considered significant.</i> | — | — | <u>X</u> |
| G. | The loss, covering or modification of any unique geologic or physical features such as a natural canyon, sandstone bluff, rock outcrop, or hillside with a slope in excess of 25 percent?
<i>The project site contains Environmentally Sensitive Lands for Steep Hillsides, and is located within a portion of Soledad Canyon. The development area is limited to approximately 25% of the total acreage of each parcel. In order to obtain the permitted development area, the project would require development on slopes in excess of 25 percent within the upper northern portion of Soledad Canyon. Due to the limited size of the development area and the project site's limited visibility, the impact to the canyon and steep slopes would not be considered significant.</i> | — | — | <u>X</u> |

	YES	MAYBE	NO
H. Substantial light or glare? <i>The project would construct graded pads for outdoor storage use. No buildings or structures are proposed. Therefore, the project would not have the potential to result in a substantial amount of light and/or glare.</i>	—	—	<u>X</u>
I. Substantial shading of other properties? <i>The project site is located below the public right-of-way and does not propose construction of any buildings or structures. Therefore, no substantial shading would occur as a result of project implementation.</i>	—	—	<u>X</u>
II. AGRICULTURE RESOURCES / NATURAL RESOURCES / MINERAL RESOURCES – Would the proposal result in:			
A. The loss of availability of a known mineral resource (e.g. sand or gravel) that would be of value to the region and the residents of the state? <i>No known mineral resources are known to be present on-site. Therefore, no impacts to mineral resources are anticipated to occur.</i>	—	—	<u>X</u>
B. The conversion of agricultural land to nonagricultural use or impairment of the agricultural productivity of agricultural land? <i>The project site is currently zoned AR-1-1 (Agricultural—Residential) Zone. The project proposes a rezone from the AR-1-1 Zone to the IL-2-1 (Industrial—Light) Zone. The site has never been used for farming purposes, and is highly unlikely to be used for such purposes in the future due to the site's steep slopes and natural topography.</i>	—	—	<u>X</u>
III. AIR QUALITY – Would the proposal?			
A. Conflict with or obstruct implementation of the applicable air quality plan? <i>The project would not result in a significant amount of Average Daily Trips (ADTs), nor would it result in significant stationary source emissions. Therefore, the project would not conflict with or obstruct the implementation of the air quality plan.</i>	—	—	<u>X</u>
B. Violate any air quality standard or contribute substantially to an existing or projected air quality violation? <i>The project site is proposed for outdoor storage use. No significant</i>	—	—	<u>X</u>

YES MAYBE NO

amount of emissions are anticipated to occur which would violate or contribute substantially to an existing or project air quality violation. See III-A.

- C. Expose sensitive receptors to substantial pollution concentrations?
No significant amount of air pollutants are expected to be generated as a result of project implementation. No sensitive receptors are known to be present within the immediate vicinity of the project site.
- D. Create objectionable odors affecting a substantial number of people?
The project may result in some odors during construction, but they would be temporary.
- E. Exceed 100 pounds per day of Particulate Matter 10 (dust)?
Dust would temporarily be generated during the construction phase, and would be controlled with standard construction practices.
- F. Alter air movement in the area of the project?
No such impact would occur as a result of project implementation.
- G. Cause a substantial alteration in moisture, or temperature, or any change in climate, either locally or regionally?
No such impacts would occur as a result of project implementation.

IV. BIOLOGY – Would the proposal result in?

- A. A reduction in the number of any unique, rare, endangered, sensitive, or fully protected species of plants or animals?
The project contains sensitive biological resources, and is located partially within the MSCP Subarea Plan's MHPA. A biological resources report was prepared by Everett and Associates, which concluded the project would result in direct impacts to 3.81 acres of Diegan Coastal Sage Scrub (Tier II) and 0.36 acre of non-native grasslands (Tier IIIB) for a total of 4.17 acres. A MHPA Boundary Line Adjustment (BLA) was approved by the U.S. Fish and Wildlife Service and the California Department of Fish and Game, which would remove 3.66 acres of MHPA land from the development footprint and add 8.02 acres of MHPA on-site within an approved City conservation easement for a total net gain of 4.36 acres. The net gain of 4.36 acres would satisfy the mitigation requirement of

4.17 acres.

The project site also contains mature trees which may support nesting raptors during the nesting season (Feb.1 – Sept.15). Therefore, a focused survey would be required to determine the presence/absence of nesting raptors on-site.

The project site is located partially within the MHPA. No development would occur within the MHPA. Therefore, no direct impacts to sensitive biological resources would occur as a result of project implementation. The project would be required to comply with the MSCP Subarea Plan's Land Use Adjacency Guidelines (1.4.3) to preclude indirect impacts to adjacent MHPA lands.

See Initial Study Discussion, Section IV (Biological Resources and Land Use) for further detail.

- | | | | | |
|----|--|---|----------|----------|
| B. | A substantial change in the diversity of any species or animals or plants?
<i>See IV-A.</i> | — | — | <u>X</u> |
| C. | Introduction of invasive species of plants into the area?
<i>The project is required to comply with the MSCP Subarea Plan's Land Use Adjacency Guidelines, which directs that no invasive non-native plant species be introduced into areas adjacent to the MHPA. The landscape plan prohibits the use of invasive landscape vegetation. The majority of all plants on-site would include drought-tolerant, native plant species.</i> | — | — | <u>X</u> |
| D. | Interference with the movement of any resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridor?
<i>The project site is located within Soledad Canyon. Soledad Canyon functions as a local corridor for wildlife allowing movement to and from Carroll Canyon, Torrey Pines State Preserve, Penasquitos Lagoon, and associated habitats. The location of the proposed development on the upper portion of the canyon hillside would preclude significant interference with wildlife mobility throughout the canyon system/wildlife corridor. No mitigation is required.</i> | — | — | <u>X</u> |
| E. | An impact to a sensitive habitat, including but not limited to streamside vegetation, aquatic, riparian, oak woodland, coastal sage scrub or chaparral? | — | <u>X</u> | — |

See IV-A and Initial Study Discussion, Section IV.

- | | | | | |
|-----|---|---|---|---|
| F. | <p>An impact to wetlands regulated under city, state and/or federal standards (including, but not limited to, coastal salt marsh, vernal pool, lagoon, coastal, etc.) through direct removal, filling, hydrological interruption or other means?</p> <p><i>The drainage that transects the project site generally meets the City definition of a wetland. The project would maintain an appropriate buffer (minimum of 100 feet), which would preclude significant impacts to the wetlands on- and off-site resulting from project implementation. Since the project does not propose to impact wetland areas, there is no requirement to obtain permits from the U.S. Army Corps of Engineers or the California Department of Fish and Game. See Initial Study Discussion, Section IV.</i></p> | — | — | X |
| G. | <p>Conflict with the provisions of the City's Multiple Species Conservation Program (MSCP) Subarea Plan or other approved local, regional or state habitat conservation plan?</p> <p><i>The project is in accordance with the provisions of the City's MSCP Subarea Plan and other approved local, regional or state habitat conservation plans. A MHPA BLA is requested, which would result in a total net increase of 4.36 acres of MHPA lands. See Initial Study Discussion, Section IV (Land Use).</i></p> | — | — | X |
| V. | ENERGY – Would the proposal? | | | |
| A. | <p>Result in the use of excessive amounts of fuel or energy?</p> <p><i>The proposed storage use would not result in the use of excessive amounts of fuel or energy.</i></p> | — | — | X |
| B. | <p>Result in the use of excessive amounts of power?</p> <p><i>The proposed storage use would not result in the use of excessive amounts of power.</i></p> | — | — | X |
| VI. | GEOLOGY/SOILS – Would the proposal: | | | |
| A. | <p>Expose people or property to geologic hazards such as earthquakes, landslides, mudslides, ground failures, or similar hazards?</p> <p><i>According to the City of San Diego Seismic Safety Study maps, the site has Geologic Hazard Category ratings of 53 (other terrain: level or sloping terrain, unfavorable geologic structure, low to moderate risk), 32 (liquefaction: low potential - fluctuating groundwater minor drainages) and 31 (liquefaction: high potential</i></p> | — | — | X |

– shallow groundwater, major drainages, hydraulic fills). No faults are located on-site. A geotechnical report was required. The results of the report concluded that no geologic hazards of sufficient magnitude to preclude development of the site for conventional commercial use are known to exist. The site was found to be free of major geotechnical and geological conditions that could have a significant effect on the development of the property. See Initial Study Discussion, Section IV.

- B. Result in a substantial increase in wind or water erosion of soils, either on or off the site?

The project proposal would not result in an increase in wind or water erosion of soils. Pre- and post-construction BMPs would be implemented, in accordance with City regulations, to prevent such impacts. The Lessee would be required to enter into a Maintenance Agreement with the City of San Diego for ongoing permanent BMP maintenance. The Maintenance Agreement would be a condition on the property.

- C. Be located on a geologic unit or soil that is unstable or that would become unstable as a result of the project, and potentially result in on- or off-site landslides, lateral spreading, subsidence, liquefaction or collapse?

See IV-A.

VII. HISTORICAL RESOURCES – Would the proposal result in:

- A. Alteration or destruction of a prehistoric or historic archaeological site?

A records search of the California Historic Records Information System (CHRIS) digital database, provided to the City of San Diego under the SCIC CHRIS Partnership Agreement, was reviewed by qualified City staff to determine the presence or absence of potential archaeological resources within the project site and one-mile radius. The records search revealed no recorded archaeological resources located on-site. However, recorded archaeological sites were identified within a 1/2 radius of the project site. An archaeological report was prepared. The results of the report identified no unique, important or significant cultural resources on-site, and determined the potential for subsurface cultural resources to be low. See Initial Study Discussion, Section IV.

	YES	MAYBE	<input checked="" type="checkbox"/>
B. Adverse physical or aesthetic effects to a prehistoric or historic building, structure, object or site? <i>The project site is undeveloped. No historical buildings, structures or objects are located on the project site. See VII-A.</i>	—	—	<u>X</u>
C. Adverse physical or aesthetic effects to an architecturally significant building, structure or object? <i>See VII-A and VII-B.</i>	—	—	<u>X</u>
D. Any impact to existing and/or sacred uses within the potential impact area? <i>See VII-A.</i>	—	—	<u>X</u>
E. The disturbance of any human remains, including those interred outside of formal cemeteries? <i>See VII-A.</i>	—	—	<u>X</u>
 VIII. HUMAN HEALTH / PUBLIC SAFETY / HAZARDOUS MATERIALS- Would the proposal:			
A. Create any known health hazard (including mental health)? <i>The project is not expected to result in any type of health hazard. No hazardous materials would be stored on-site.</i>	—	—	<u>X</u>
B. Expose people or the environment to a significant hazard through the routine transport, use or disposal of hazardous materials? <i>The project would not include the routine transport, use or disposal of hazardous materials. No hazardous materials would be stored on-site.</i>	—	—	<u>X</u>
C. Create a future risk of an explosion or the release of hazardous substances (including but not limited to gas, oil, pesticides, chemicals, radiation, or explosives)? <i>No such risk is anticipated.</i>	—	—	<u>X</u>
D. Impair implementation of, or physically interfere with an adopted emergency response plan or emergency evacuation plan? <i>The project site is to be used for outdoor storage use, and would not result in impairment/interference with an adopted emergency response/evacuation plan.</i>	—	—	<u>X</u>

	YES	MAYBE	NO
E. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, create a significant hazard to the public or environment? <i>The site is not on any such list.</i>	—	—	<u>X</u>
F. Create a significant hazard to the public or the environment through reasonable foreseeable upset and accident conditions involving the release of hazardous materials into the environment? <i>See VIII-A.</i>	—	—	<u>X</u>
IX. HYDROLOGY / WATER QUALITY – Would the proposal result in:			
A. An increase in pollutant discharges, including downstream sedimentation, to receiving waters during or following construction? Consider water quality parameters such as temperature, dissolved oxygen, turbidity and other typical storm water pollutants. <i>The project would not result in a significant increase in pollutant discharges, and would be required to comply with the City's Storm Water Standards and approved Water Quality Technical Report and Drainage Study. The owner would be required to enter into a Maintenance Agreement for permanent on-going BMP maintenance, and would be required to incorporate construction and post-construction BMPs. See Initial Study Discussion, Section IV.</i>	—	—	<u>X</u>
B. An increase in impervious surfaces and associated increased runoff? <i>The project would result in an increase in impervious surfaces and associated runoff. However, the increase would not be considered significant. No significant impacts from runoff would occur with implementation of the proposed drainage system.</i>	—	—	<u>X</u>
C. Substantial alteration to on- and off-site drainage patterns due to changes in runoff flow rates or volumes? <i>No substantial alteration to on- and off-site drainage patterns would result from project implementation.</i>	—	—	<u>X</u>
D. Discharge of identified pollutants to an already impaired water body [as listed on the Clean Water Act Section 303(d) list]?	—	—	<u>X</u>

YES MAYBE

No such result would occur from project implementation. See IX-A and -B.

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|----|---|---|---|----------|
| E. | A potentially significant adverse impact on ground water quality?
<i>See IX-A and -B.</i> | — | — | <u>X</u> |
| F. | Cause or contribute to an exceedance of applicable surface or groundwater receiving water quality objectives or degradation of beneficial uses?
<i>See IX-A and -B.</i> | — | — | <u>X</u> |
| X. | LAND USE – Would the proposal result in: | | | |
| A. | A land use which is inconsistent with the adopted community plan land use designation for the site or conflict with any applicable land use plan, policy or regulation of an agency with jurisdiction over a project?
<i>The site is located partially within the MSCP Subarea Plan's MHPA. However, an MHPA BLA was approved by the U.S. Fish and Wildlife Service and California Department of Fish and Game on January 16, 2008 which removed 3.66 acres of MHPA from the development footprint and added 8.02 acres of MHPA on-site within an approved City conservation easement for a total net gain of 4.36 acres. The proposed project would not adversely affect the Mira Mesa Community Plan, and would not conflict with an applicable land use plan, policy or agency regulation with jurisdiction over the project. See Initial Study Discussion, Section IV.</i> | — | — | <u>X</u> |
| B. | A conflict with the goals, objective and recommendations of the community plan governing the project site?
<i>See X-A.</i> | — | — | <u>X</u> |
| C. | A conflict with adopted environmental plans, including applicable habitat conservation plans adopted for the purpose of avoiding or mitigating an environmental effect for the area?
<i>No such conflicts would result from project implementation. See X-A.</i> | — | — | <u>X</u> |
| D. | Physically divide an established community?
<i>No such division would result from project implementation.</i> | — | — | <u>X</u> |

	YES	MAYBE	NO
E. Land uses which are not compatible with aircraft accident potential as defined by an adopted Airport Land Use Compatibility Plan? <i>The project site is located within the Airport Environs Overlay Zone, Accident Potential Zone (APZ) 2 and Airport Influence Area of Marine Corps Air Station Miramar (MCAS Miramar). The proposed project would be compatible with the MCAS Miramar Airport Land Use Compatibility Plan.</i>	—	—	<u>X</u>
XI. NOISE – Would the proposal result in:			
A. A significant increase in the existing ambient noise levels? <i>The project would result in a temporary increase in ambient noise levels during grading/construction. Due to the project site's adjacency to the City's MHPA and oak woodlands, focused surveys for the California gnatcatcher and nesting raptors would be required for potential temporary, indirect noise impacts. See Initial Study Discussion, Section IV.</i>	—	—	<u>X</u>
B. Exposure of people to noise levels which exceed the City's adopted noise ordinance? <i>No such exposures would result from the proposed project.</i>	—	—	<u>X</u>
C. Exposure of people to current or future transportation noise levels which exceed standards established in the Transportation Element of the General Plan or an adopted airport Comprehensive Land Use Plan? <i>No such impact would result from project implementation.</i>	—	—	<u>X</u>
XII. PALEONTOLOGICAL RESOURCES: Would the proposal impact a unique fossil resource or site or unique geologic feature? <i>The project site is located on the geologic formations identified as Ardath Shale (Tm), Scripps Formation (Tsd) and Stadium Conglomerate (Tst), all of which have a high sensitivity rating for paleontological resources. According to the City's Significance Determination Thresholds, impacts to paleontological resources may occur if grading exceeds 1,000 cubic yards and a cut depth of 10 feet. Proposed grading would meet these requirements. Therefore, paleontological monitoring is required to mitigate for potential impacts to fossil localities. See Initial Study Discussion, Section IV.</i>	—	<u>X</u>	—

XIII. POPULATION AND HOUSING – Would the proposal:

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|----|---|---|---|----------|
| A. | Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?
<i>The development of two flat pads for outdoor storage use would not induce substantial population growth.</i> | — | — | <u>X</u> |
| B. | Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?
<i>The proposed project would not displace housing.</i> | — | — | <u>X</u> |
| C. | Alter the planned location, distribution, density or growth rate of the population of an area?
<i>The proposed outdoor storage area would not substantially alter the planned location, distribution, density or growth rate of the population within the City of San Diego or surrounding areas.</i> | — | — | <u>X</u> |

XIV. PUBLIC SERVICES – Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

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|----|--|---|---|----------|
| A. | Fire protection?
<i>No such impact would occur as a result of project implementation.</i> | — | — | <u>X</u> |
| B. | Police protection?
<i>No such impact would occur as a result of project implementation.</i> | — | — | <u>X</u> |
| C. | Parks or other recreational facilities?
<i>No such impact would occur as a result of project implementation.</i> | — | — | <u>X</u> |
| D. | Maintenance of public facilities, including roads?
<i>No such impact would occur as a result of project implementation.</i> | — | — | <u>X</u> |
| E. | Other governmental services?
<i>No such impact would occur as a result of project implementation.</i> | — | — | <u>X</u> |

	YES	MAYBE	NO
XV. RECREATIONAL RESOURCES – Would the proposal result in			
A. Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? <i>No increases in the use of existing neighborhood parks, regional parks or other recreational facilities would occur as a result of project implementation.</i>	—	—	<u>X</u>
B. Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment? <i>No such impact would occur as a result of project implementation.</i>	—	—	<u>X</u>
XVI. TRANSPORTATION/CIRCULATION – Would the proposal result in:			
A. Traffic generation in excess of specific/community plan allocation? <i>The project proposal would not result in an increase in traffic generation (ADTs) in excess of specific/community plan allocation.</i>	—	—	<u>X</u>
B. An increase in projected traffic which is substantial in relation to the existing traffic load and capacity of the street system? <i>No such impact would occur as a result of project implementation.</i>	—	—	<u>X</u>
C. An increased demand for off-site parking? <i>All on-site parking requirements have been met. No increases in demand for off-site parking would result from project implementation.</i>	—	—	<u>X</u>
D. Effects on existing parking? <i>See XVI-C.</i>	—	—	<u>X</u>
E. Substantial impact upon existing or planned transportation systems? <i>No such result would occur from project implementation.</i>	—	—	<u>X</u>
F. Alterations to present circulation movements including effects on existing public access to beaches, parks, or other open space areas? <i>No such result would occur from project implementation.</i>	—	—	<u>X</u>
G. Increase in traffic hazards for motor vehicles, bicyclists or pedestrians due to a proposed, non-standard design feature (e.g., poor sight distance or driveway onto an access-restricted roadway)?	—	—	<u>X</u>

No such traffic hazards would result from project implementation. City Transportation and Engineering staff have reviewed the proposed non-standard driveway, and have no issues regarding traffic and pedestrian safety.

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| H. | A conflict with adopted policies, plans or programs supporting alternative transportation models (e.g., bus turnouts, bicycle racks)?
<i>The project proposal would not result in any such conflict(s).</i> | — | — | <u>X</u> |
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XVII. UTILITIES – Would the proposal result in a need for new systems, or require substantial alterations to existing utilities, including:

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| A. | Natural gas?
<i>Existing utilities would not be affected.</i> | — | — | <u>X</u> |
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| B. | Communications systems?
<i>Existing utilities would not be affected.</i> | — | — | <u>X</u> |
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| C. | Water?
<i>Existing utilities would not be affected.</i> | — | — | <u>X</u> |
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| D. | Sewer?
<i>Existing utilities would not be affected.</i> | — | — | <u>X</u> |
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| E. | Storm water drainage?
<i>Existing storm water drainage would not be affected.</i> | — | — | <u>X</u> |
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| F. | Solid waste disposal?
<i>Existing utilities would not be affected.</i> | — | — | <u>X</u> |
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XVIII WATER CONSERVATION – Would the proposal result in:

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|----|---|---|---|----------|
| A. | Use of excessive amounts of water?
<i>The proposed outdoor storage use would not require an excessive amount of water usage.</i> | — | — | <u>X</u> |
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| B. | Landscaping which is predominantly non-drought resistant vegetation?
<i>Proposed landscaping is predominantly drought-resistant, native vegetation.</i> | — | — | <u>X</u> |
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XIX. MANDATORY FINDINGS OF SIGNIFICANCE:

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| A. | <p>Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?</p> <p><i>The project would result in direct impacts to approximately 3.81 acres of Diegan Coastal Sage Scrub and 0.36 acres of Non-native Grasslands for a total impact of 4.17 acres. The loss of habitat would be adequately mitigated for with the approval of a MHPA BLA, which would result in a total net gain of 4.36 acres of MHPA lands. The project has the potential to result in indirect noise impacts to nesting raptors and the California gnatcatcher. No cumulative impacts to sensitive biological resources would occur as a result of project implementation. See Initial Study Discussion, Section IV.</i></p> | — | <u>X</u> | — |
| B. | <p>Does the project have the potential to achieve short-term, to the disadvantage of long-term, environmental goals? (A short-term impact on the environment is one which occurs in a relatively brief, definitive period of time while long-term impacts that would endure well into the future).</p> <p><i>No such results would occur as a result of project implementation.</i></p> | — | — | <u>X</u> |
| C. | <p>Does the project have impacts which are individually limited, but cumulatively considerable? (A project may impact on two or more separate resources where the impact on each resource is relatively small, but where the effect of the total of those impacts on the environment is significant).</p> <p><i>No cumulative impacts would occur as a result of project implementation.</i></p> | — | — | <u>X</u> |
| D. | <p>Does the project have environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly?</p> <p><i>No environmental effects have been identified. Therefore, the project is not expected to have substantial adverse effects on human beings as a result of an environmental effect.</i></p> | — | — | <u>X</u> |

INITIAL STUDY CHECKLIST

REFERENCES

I. Aesthetics / Neighborhood Character

City of San Diego Progress Guide and General Plan.

Community Plan.

Local Coastal Plan.

II. Agricultural Resources / Natural Resources / Mineral Resources

City of San Diego Progress Guide and General Plan.

U.S. Department of Agriculture, Soil Survey - San Diego Area, California, Part I and II, 1973.

California Department of Conservation - Division of Mines and Geology, Mineral Land Classification.

Division of Mines and Geology, Special Report 153 - Significant Resources Maps.

Site Specific Report: _____

III. Air

California Clean Air Act Guidelines (Indirect Source Control Programs) 1990.

Regional Air Quality Strategies (RAQS) - APCD.

Site Specific Report: _____

IV. Biology

City of San Diego, Multiple Species Conservation Program (MSCP), Subarea Plan, 1997

City of San Diego, MSCP, "Vegetation Communities with Sensitive Species and Vernal Pools" maps, 1996.

- X City of San Diego, MSCP, "Multiple Habitat Planning Area" maps, 1997.
- X Community Plan - Resource Element.
- X California Department of Fish and Game, California Natural Diversity Database, "State and Federally-listed Endangered, Threatened, and Rare Plants of California," January 2001.
- X California Department of Fish & Game, California Natural Diversity Database, "State and Federally-listed Endangered and Threatened Animals of California," January 2001.
- X City of San Diego Land Development Code Biology Guidelines.
- X Site Specific Report: *Biological Resources Report, Nancy Ridge Business Park, City of San Diego, San Diego County, California* prepared by Everett and Associates, Environmental Consultants (August 24, 2006).
- X Site Specific Report: *Biological Resources Report, Nancy Ridge Business Park, City of San Diego, San Diego County, California* prepared by Everett and Associates, Environmental Consultants (June 22, 2007).
- X Site Specific Report: *Biological Resources Report, Nancy Ridge Business Park, City of San Diego, San Diego County, California* prepared by Everett and Associates, Environmental Consultants (August 20, 2007).
- X Site Specific Report: *Biological Resources Report, Nancy Ridge Business Park, City of San Diego, San Diego County, California* prepared by Everett and Associates, Environmental Consultants (January 30, 2008).
- X Site Specific Report: *Re: Focused/Directed Sensitive Plant Survey, Nancy Ridge Business Park, City of San Diego, Project #47532* prepared by Everett and Associates, Environmental Consultants (June 9, 2008).
- X Site Specific Report: *Re: Public Comment Letter: Nancy Ridge Project* prepared by Everett and Associates, Environmental Consultants (June 10, 2008).

V. **Energy**

— N/A

VI. Geology/Soils

- City of San Diego Seismic Safety Study.
- U.S. Department of Agriculture Soil Survey - San Diego Area, California, Part I and II, December 1973 and Part III, 1975.
- Site Specific Report: Report of Geologic Reconnaissance, Proposed Storage Site, Nancy Ridge Drive, San Diego, California prepared by Christian Wheeler Engineering (May 24, 2004).
- Site Specific Report: Response to Review of Documents, Proposed Storage Site, Nancy Ridge Drive, San Diego, California prepared by Christian Wheeler Engineering (January 4, 2006).

VII. Historical Resources

- City of San Diego Historical Resources Guidelines.
- City of San Diego Archaeology Library.
- Historical Resources Board List.
- Community Historical Survey: _____.
- Site Specific Report: Results of a Cultural Resources Record Search and Survey for the Nancy Ridge Business Park Project, City of San Diego, California prepared by Harris Archaeological Consultants (July 14, 2006).
- Site Specific Report: California Historic Resources Information System (CHRIS) records search.

VIII. Human Health / Public Safety / Hazardous Materials

- San Diego County Hazardous Materials Environmental Assessment Listing, 2007.
- San Diego County Hazardous Materials Management Division
- FAA Determination
- State Assessment and Mitigation, Unauthorized Release Listing, Public Use Authorized 1995.
- Airport Land Use Compatibility Plan.

— Site Specific Report: _____

IX. Hydrology/Water Quality

— Flood Insurance Rate Map (FIRM).

Federal Emergency Management Agency (FEMA), National Flood Insurance Program - Flood Boundary and Floodway Map.

Clean Water Act Section 303(d) list, dated July 2002, http://www.swrcb.ca.gov/tmdl/303d_lists.html.

Site Specific Report: *Water Quality Technical Report for Nancy Ridge Business Park prepared by Farrington Engineering Consultants, Inc. (August 22, 2007).*

Site Specific Report: *Drainage Study for Nancy Ridge Business Park, Site Development Permit No. 42-3258, Project No. 114358 prepared by Farrington Engineering Consultants, Inc. (August 22, 2007).*

X. Land Use

City of San Diego Progress Guide and General Plan.

Community Plan.

— Airport Land Use Compatibility Plan

City of San Diego Zoning Maps

— FAA Determination

XI. Noise

Community Plan

— San Diego International Airport - Lindbergh Field CNEL Maps.

— Brown Field Airport Master Plan CNEL Maps.

— Montgomery Field CNEL Maps.

San Diego Association of Governments - San Diego Regional Average Weekday Traffic Volumes.

San Diego Metropolitan Area Average Weekday Traffic Volume Maps, SANDAG.

City of San Diego Progress Guide and General Plan.

Site Specific Report: _____

XII. Paleontological Resources

City of San Diego Paleontological Guidelines.

Demere, Thomas A., and Stephen L. Walsh, "Paleontological Resources City of San Diego," Department of Paleontology San Diego Natural History Museum, 1996.

Kennedy, Michael P., and Gary L. Peterson, "Geology of the San Diego Metropolitan Area, California. Del Mar, La Jolla, Point Loma, La Mesa, Poway, and SW 1/4 Escondido 7 1/2 Minute Quadrangles," California Division of Mines and Geology Bulletin 200, Sacramento, 1975.

Kennedy, Michael P., and Siang S. Tan, "Geology of National City, Imperial Beach and Otay Mesa Quadrangles, Southern San Diego Metropolitan Area, California," Map Sheet 29, 1977.

Site Specific Report: _____

XIII. Population / Housing

City of San Diego Progress Guide and General Plan.

Community Plan.

Series 8 Population Forecasts, SANDAG.

Other: _____

XIV. Public Services

City of San Diego Progress Guide and General Plan.

Community Plan.

XV. Recreational Resources

City of San Diego Progress Guide and General Plan.

Community Plan.

Department of Park and Recreation

City of San Diego - San Diego Regional Bicycling Map

Additional Resources: _____

XVI. Transportation / Circulation

City of San Diego Progress Guide and General Plan.

Community Plan.

San Diego Metropolitan Area Average Weekday Traffic Volume Maps, SANDAG.

San Diego Region Weekday Traffic Volumes, SANDAG.

Site Specific Report: _____

XVII. Utilities

XVIII. Water Conservation

Sunset Magazine, New Western Garden Book. Rev. ed. Menlo Park, CA: Sunset Magazine.