

§131.0441 Minimum Lot Area in Residential Zones

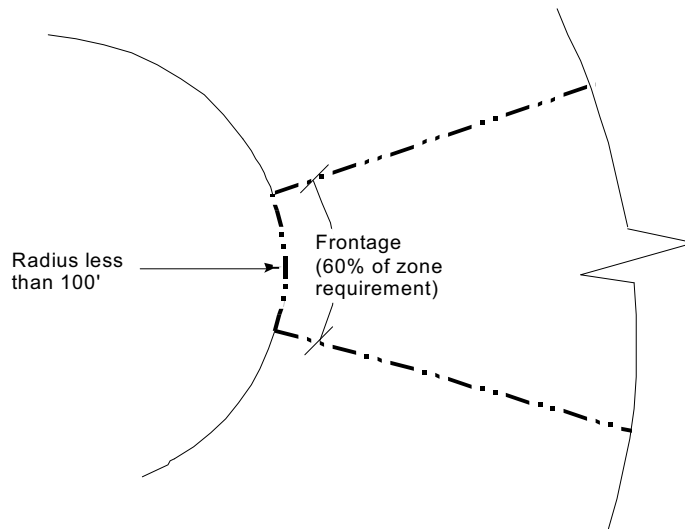
In the RX and RT zones, *lots* served by *alley* access may use a portion of the *alley* to meet the minimum lot area requirement. Up to one-half the width of the abutting *alley*, not to exceed 10 feet, may be applied toward the total lot area provided the *alley* area does not exceed 10 percent of the minimum lot area requirement.
(Added 12-9-1997 by O-18451 N.S.; effective 1-1-2000.)

§131.0442 Minimum Lot Dimensions in Residential Zones

- (a) Exception to Minimum *Street Frontage* in the RE, RS, and RM Zones

The minimum *street frontage* for any *lot* in the RE, RS, and RM zones that fronts principally on a turnaround or curving *street* with a centerline radius of less than 100 feet, is 60 percent of the *street frontage* specified for the zone in which the *lot* is located as shown in Diagram 131-04A.

**Diagram 131-04A
Lot Frontage on Curving Street**



- (b) Exception to Minimum *Street Frontage* in the RX Zones

The minimum *street frontage* is 28.5 feet for any *lot* in the RX zones that fronts principally on a turnaround or curving *street* with a centerline radius of less than 100 feet.

- (c) Minimum Lot Dimensions in the RX-1-2 Zone

Where a *lot* in the RX-1-2 zone abuts an *alley* and access is taken from the *alley*, the indicated minimum lot dimensions are as follows:

- Lot Width 25 feet
- Street Frontage* 25 feet
- Lot Width (corner) 25 feet

(Added 12-9-1997 by O-18451 N.S.; effective 1-1-2000.)

§131.0443 Setback Requirements in Residential Zones

(a) *Setbacks* in RE and RS Zones

(1) Front *Setbacks* in RE and RS Zones

For that portion of a *lot* that fronts a cul-de-sac, the minimum front *setback* may be reduced 5 feet below the requirement specified in Tables 131-04C and 131-04D; however, in no case shall the *setback* be less than 5 feet.

(2) Front *Setbacks* in all RE Zones and the RS-1-1, RS-1-2, RS-1-3, RS-1-4, RS-1-5, RS-1-6, RS-1-7 Zones

For *lots* where at least one-half of the front 50 feet of the lot depth has a minimum slope gradient of 25 percent, the *setback* closest to the *street frontage* may be reduced to a minimum of 6 feet.

(3) Side and Street Side *Setbacks* in all RE Zones and the RS-1-1, RS-1-2, RS-1-3, RS-1-4, RS-1-5, RS-1-6, RS-1-7 Zones.

(A) For *lots* exceeding 50 feet in width, each side *setback* shall be at least the dimension shown in Tables 131-04C and 131-04D or 10 percent of the width of the *lot*, whichever is greater, except one side *setback* may observe the minimum dimension shown in Tables 131-04C and 131-04D as long as the combined dimensions of both side *setbacks* equals at least 20 percent of the lot width. Once a side *setback* is established, all additions to the primary *structure* thereafter shall maintain the established side *setback*.

(B) The *street* side *setback* is at least the dimension shown in Tables 131-04C and 131-04D or 10 percent of the lot width, whichever is greater.

(C) For *lots* with 40 to 50 feet in width, each side *setback* is a minimum of 4 feet.

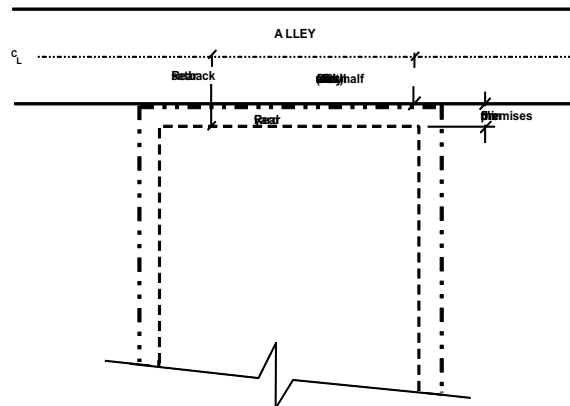
(D) For *lots* with less than 40 feet in width, each side *setback* may be reduced to 10 percent of the lot width but shall not be reduced to less than 3 feet.

(E) For irregularly shaped *lots*, such as pie shaped *lots*, the *setbacks* are based on the average lot width for the first 50 feet of lot depth.

(F) For consolidated *lots*, the width for determining *setback* requirements is the width of the *premises* after the consolidation.

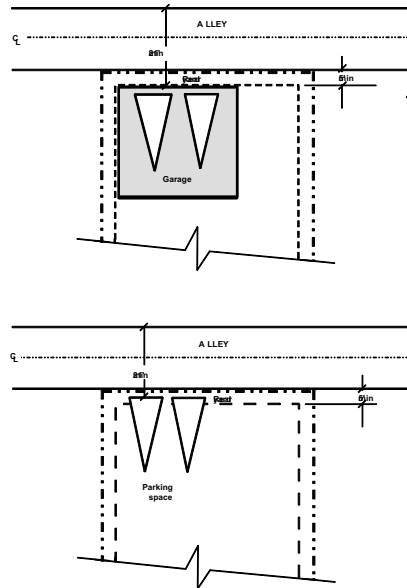
- (4) Rear *Setback* in all RE Zones and the RS-1-1, RS-1-2, RS-1-3, RS-1-4, RS-1-5, RS-1-6, RS-1-7 Zones
 - (A) The required rear *setback* is at least the dimension shown in Table 131-04D, except as follows:
 - (i) For *lots* with less than 100 feet in depth, the rear *setback* is at least 10 percent of the lot depth, but not less than 5 feet; and
 - (ii) For *lots* with greater than 150 feet in depth, the rear *setback* is at least 10 percent of the lot depth or the dimension shown in Tables 131-04C and 131-04D, whichever is greater.
 - (B) Where a rear *yard* abuts an *alley*, one-half of the *alley* width, but not more than 10 feet, may be counted toward the required rear *setback*. In no case shall a rear *setback* using this provision be less than 5 feet on the *premises*. See Diagram 131-04B.

Diagram 131-04B
Rear Yard Abutting Alley



- (C) Where access for parking is taken from the *alley* and the parking spaces are not parallel to the *alley*, a minimum distance of 21 feet shall be provided between the edge of the *alley public right-of-way* opposite the *lot* and the outside edge of the parking garage or parking stall closest to the *alley*. See Diagram 131-04C.

Diagram 131-04C
Parking Adjacent to Alley



- (5) Rear *Setback* in the RS-1-8, RS-1-9, RS-1-10, RS-1-11, RS-1-12, RS-1-13, and RS-1-14 Zones

For *lots* that are served by *alley* access, the rear *setback* may be reduced to 4 feet.

- (b) *Setbacks* in RX Zones

- (1) Front *Setback* in RX Zones

RX zone *developments* exceeding a total of four dwelling units are required to provide variable front *setbacks* as follows:

- (A) Front *setbacks* of 15 feet are required for at least 25 percent of the total dwelling units, 10-foot front *setbacks* are required for at least 25 percent of the total dwelling units, and 20-foot front *setbacks* are required for at least 25 percent of the total dwelling units;
- (B) No more than 40 percent of the total number of dwelling units are permitted to have front *setbacks* in any one category (i.e. 10 feet, 15 feet, or 20 feet) described in 131.0443(b)(1)(A); and
- (C) Variable front *setbacks* described in this section shall be established by easement at the time of *tentative map* approval. The easements shall be established at the time of zone application if *lots* are existing and no map is proposed. If a

Planned Development Permit is processed, the variable *setbacks* may be established with the permit in lieu of creating easements.

(2) Side and *Street Side Setbacks* in RX Zones

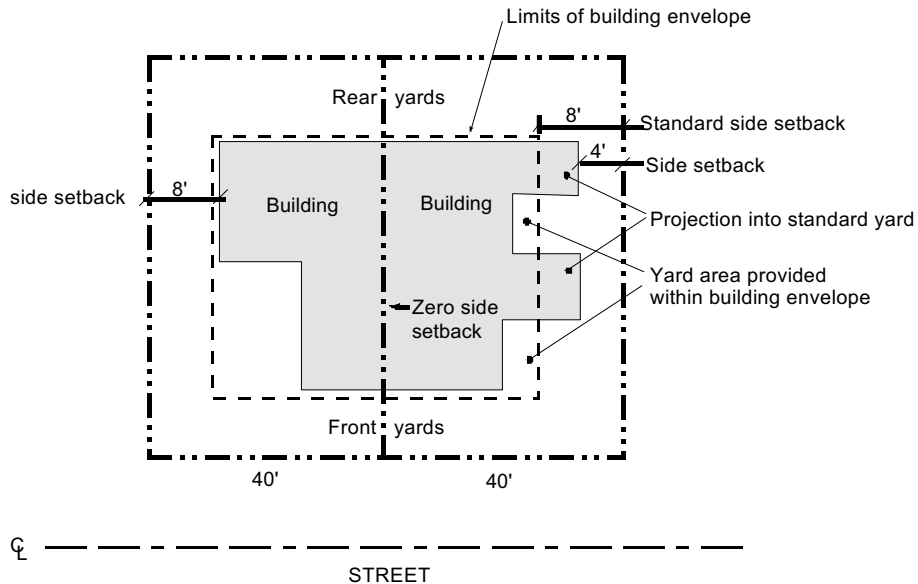
(A) For detached dwellings, the following shall apply:

- (i) Minimum side and *street side setbacks* are at least 3 feet or 10 percent of the lot width, whichever is greater, but is not required to be more than 5 feet;
- (ii) No side *setback* is required for one side only provided the side with no *setback* is adjacent to other property within an RX zone; and
- (iii) A separation of at least 10 feet between buildings must be observed on at least one side of each building.

(B) For attached dwellings, the following shall apply:

- (i) No side *setback* shall be observed on one side, excluding street side yard;
- (ii) The opposite side *setback* is 6 feet or 20 percent of the lot width, whichever is greater, but is not required to be more than 10 feet. This side *setback* may be 4 feet if a vertical offset in the structure's side wall is provided so that a *yard* area within the *building envelope* is provided that is equal to or exceeds the area projecting into the required *yard*. See Diagram 131-04D.

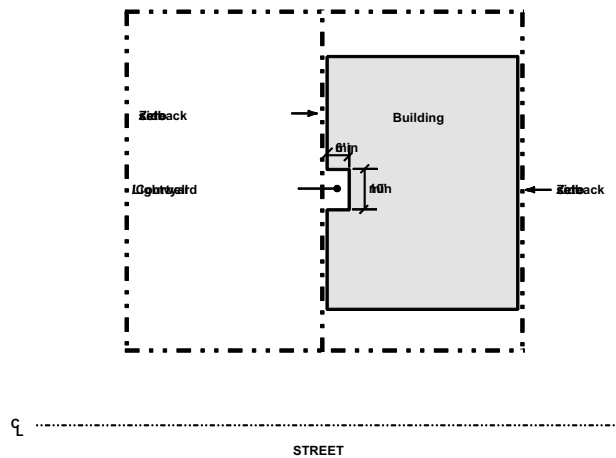
Diagram 131-04D
Side Yard Offset in the RX Zones



- (iii) Each separate dwelling unit shall have its own side yard wall construction that may abut another *dwelling unit* at the common property line. Common wall construction between two *dwelling units* is not permitted.
- (3) Rear *Setback* in RX Zones
Rear *setbacks* shall be at least 10 feet or, if *alley* access exists, at least 4 feet.
- (c) *Setbacks* in RT Zones
 - (1) Front *Setback* in RT Zones
 - (A) The minimum front *setback* is 10 percent of the depth of the *lot*, and in no case shall be less than 5 feet or more than 15 feet. At least some portion of the *building facade* shall be located within 1 foot of the *setback line*.
 - (B) 50 percent of the front *building facade* may encroach into the required front *yard* in accordance with Section 131.0461(b) provided that all supplemental requirements are met as set forth in Section 131.0464(c).

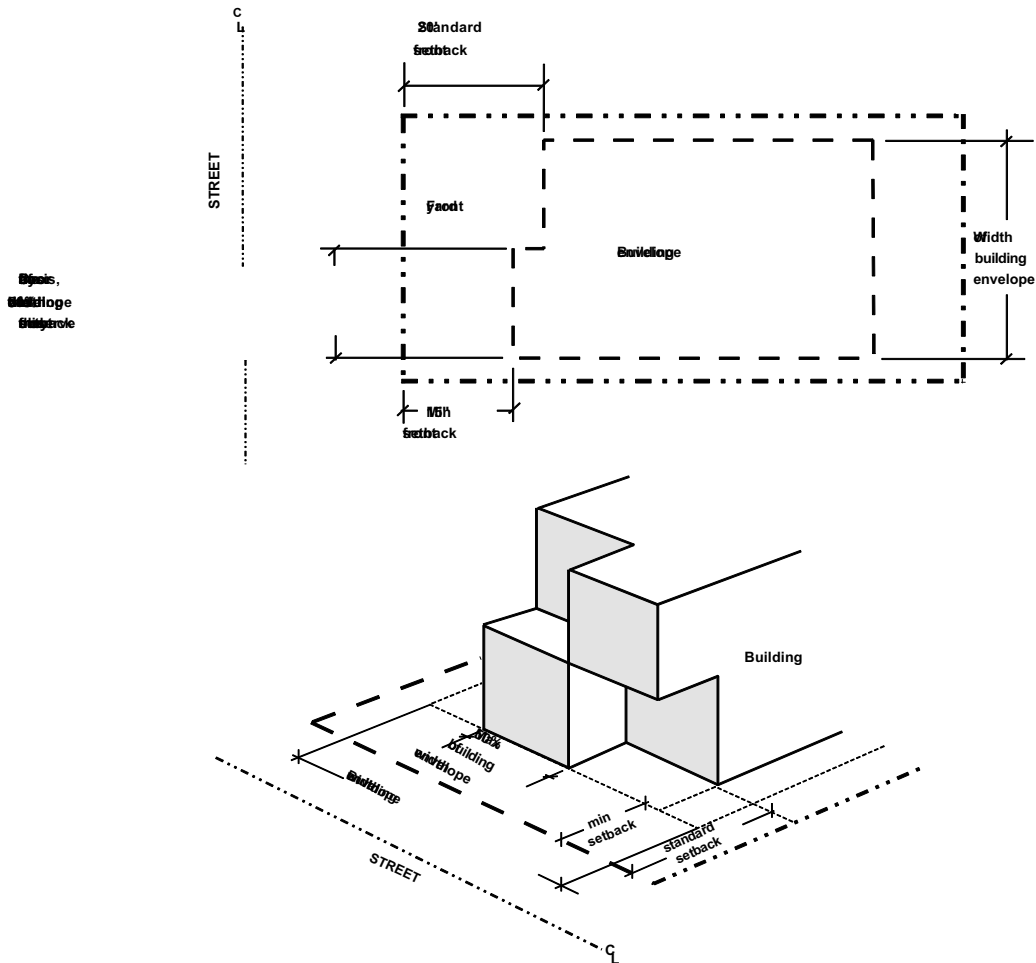
- (2) Side *Setbacks* in RT Zones
 - (A) Side *yards* are not permitted except for lightwells and *court yards*, as shown in Diagram 131-04E, which shall be a minimum of 6 feet by 10 feet.

Diagram 131-04E
Lightwells and Courtyards in the RT Zones



- (B) Each separate dwelling unit shall have its own side yard wall construction that may abut another *dwelling unit* at the common property line. Common wall construction between two *dwelling units* is not permitted.
 - (C) A minimum side *setback* of 3 feet is required adjacent to any *lot* that is not within an RT zone.
- (d) *Setbacks* in RM-1-1, RM-1-2, RM-1-3 Zones
- (1) Front *Setback* in RM-1-1, RM-1-2, RM-1-3 Zones
 - (A) Up to 50 percent of the width of the *building envelope* may observe the minimum 15-foot front *setback*, provided the remaining percentage of the *building envelope* width observes the standard 20-foot *setback*. This may occur on a *floor-by-floor* basis. See Diagram 131-04F.

Diagram 131-04F
Standard/Minimum Front Setback

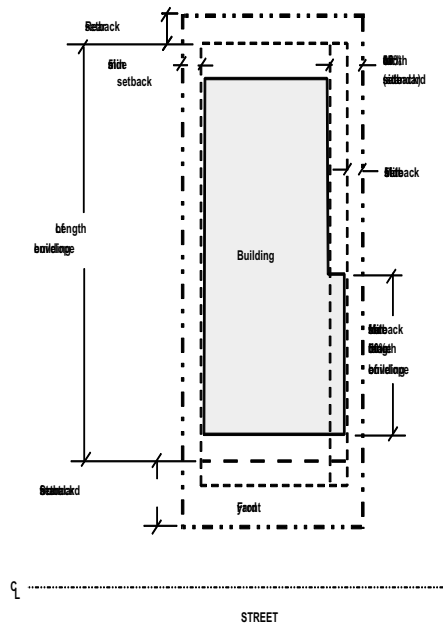


- (B) For any portion of a *lot* that fronts on a curving *street* with a centerline radius of less than 100 feet, the standard *setback* is 10 feet, and the minimum *setback* is 5 feet.
- (2) Side *Setbacks* in RM-1-1, RM-1-2, RM-1-3 Zones
 - (A) Up to 50 percent of the length of the *building envelope* on one side of the *premises* may observe the minimum 5-foot side *setback*, provided the remaining percentage of the *building*

envelope length observes at least the standard side *setback* of 8 feet or 10 percent of the lot width, whichever is greater.

One hundred percent of the length of the *building envelope* on the opposite side may observe the minimum side *setback* of 5 feet. See Diagram 131-04G.

**Diagram 131-04G
Standard/Minimum Side Setback**



- (B) Exception: The minimum and standard side *setbacks* are at least 4 feet for a *premises* that is less than 50 feet but more than 25 feet wide. The minimum and standard side *setbacks* are at least 3 feet for a *premises* that is 25 feet wide or less.
- (C) Where there is an existing *development* on the *premises* with the side *setback* less than the current requirement and the building is to be maintained, new *development* may observe the existing side *setback* for 50 percent of the length of the *building envelope* on a *floor-by-floor* basis.

(3) *Street Side Setback* in RM-1-1, RM-1-2, RM-1-3 Zones

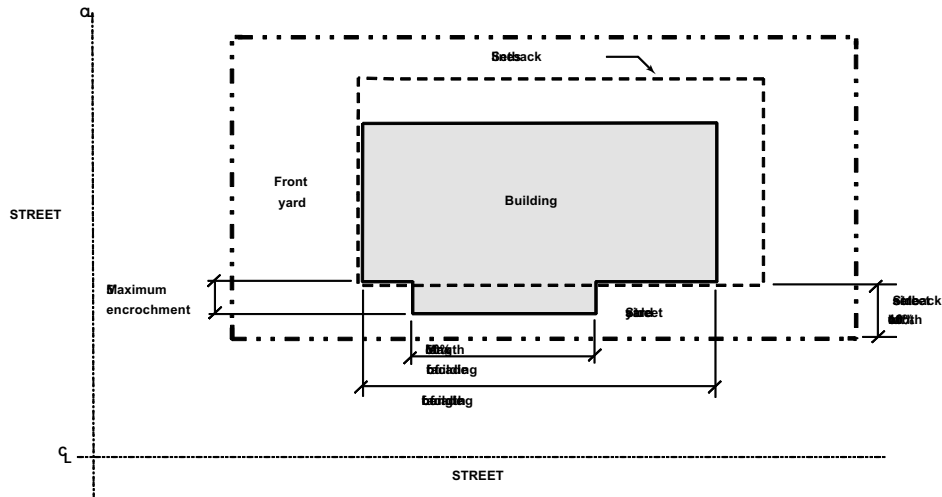
The minimum *street* side *setback* is at least 10 feet or 10 percent of the *premises* width, whichever is greater.

(4) *Rear Setback* in RM-1-1, RM-1-2, RM-1-3 Zones

Where a rear *yard* abuts an *alley*, one-half of the *alley* width, but not more than 10 feet, may be counted toward the required rear *yard*. In no case shall a rear *setback* using this provision be less than 5 feet.

- (e) *Setbacks* in RM-2-4, RM-2-5, RM-2-6 Zones
 - (1) *Front Setback* in RM-2-4, RM-2-5, RM-2-6 Zones
 - (A) Up to 50 percent of the width of the *building envelope* may observe the minimum 15-foot front *setback*, provided the remaining percentage of the *building envelope* width observes the standard 20-foot *setback*. This may occur on a *floor-by-floor* basis.
 - (B) For any portion of a *lot* that fronts on a curving *street* with a centerline radius of less than 100 feet, the standard front *setback* is 10 feet and the minimum *setback* is 5 feet.
 - (2) *Side Setbacks* in RM-2-4, RM-2-5, RM-2-6 Zones
 - (A) The minimum side *setback* is 5 feet or 10 percent of the *premises* width, whichever is greater.
 - (B) Exception: The minimum side *setback* is 4 feet for a *premises* that is 40 to 50 feet in width.
 - (C) For *lots* with less than 40 feet in width, each side *setback* may be reduced to 10 percent of the *lot* width but shall not be reduced to less than 3 feet.
 - (3) *Street Side Setback* in RM-2-4, RM-2-5, RM-2-6 Zones
 - (A) The minimum *street* side *setback* is 10 feet or 10 percent of the *premises* width, whichever is greater.
 - (B) *Street Side Yard Encroachment Option*. Up to 50 percent of the *building facade* may encroach up to 5 feet into the required street side yard. The *encroachment* may occur on a floor-by-floor basis. See Diagram 131-04H.

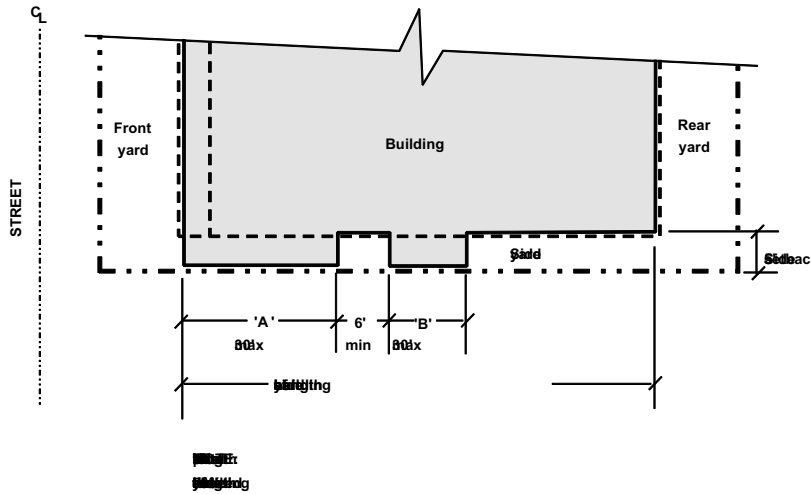
Diagram 131-04H
Street Side Yard Encroachment Option



- (4) Rear *Setback* in RM-2-4, RM-2-5, RM-2-6 Zones

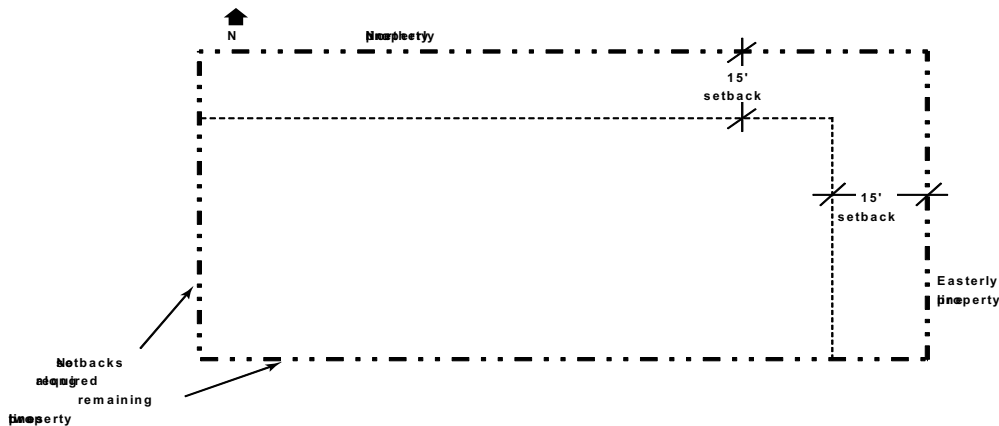
Where a rear *yard* abuts an *alley*, one-half of the *alley* width, but not more than 10 feet, may be counted toward the required rear *yard*. In no case shall a rear *setback* using this provision be less than 5 feet.
- (f) *Setbacks* in RM-3-7, RM-3-8, RM-3-9 Zones
 - (1) Front *Setback* in RM-3-7, RM-3-8, RM-3-9 Zones
 - (A) Up to 50 percent of the width of the *building envelope* may observe the minimum 10-foot front *setback*, provided the remaining percentage of the *building envelope* width observes the standard 20-foot *setback*. This may occur on a *floor-by-floor* basis.
 - (B) For any portion of a *lot* that fronts on a curving *street* with a centerline radius of less than 100 feet, the standard front *setback* is 10 feet and the minimum *setback* is 5 feet.
 - (2) Side *Setbacks* in RM-3-7, RM-3-8, RM-3-9 Zones
 - (A) The minimum side *setback* is 5 feet or 10 percent of the *premises* width, whichever is greater.
 - (B) Up to 50 percent of the length of the building adjacent to the side *yard* may abut the side *property line*, provided that no encroaching element shall exceed 30 feet in length, that encroaching elements are separated by at least 6 feet, and that each dwelling unit has access to either the front or rear of the *lot*. See Diagram 131-04I.

Diagram 131-04I
Zero Side Setback Option



- (3) *Street Side Setback* in RM-3-7, RM-3-8, RM-3-9 Zones
 - (A) The minimum *street side setback* is 10 feet or 10 percent of the *premises* width, whichever is greater.
 - (B) Up to 50 percent of the *building facade* may encroach up to 5 feet into the required street side yard.
- (g) *Setbacks* in RM-4-10, RM-4-11 Zones
 - (1) Two contiguous *yards* must observe *setbacks* of at least 15 feet on the northerly and easterly elevations, as shown in Diagram 131-04J.

**Diagram 131-04J
Contiguous Yard Requirement**



- (2) The side yard and rear yard shall equal the requirements of the adjacent residential zone if that zone is more restrictive.
- (h) *Setback Requirements in the RM-5-12 Zone*
 - (1) *Front Setback in the RM-5-12 Zone*

The minimum front setback is 10 feet for any portion of a lot that fronts on a turnaround or on a curving street with a centerline radius of less than 100 feet.
 - (2) *Side Setback in the RM-5-12 Zone*

The minimum side setback specified in Table 131-04G shall be increased 3 feet for each 12 feet of structure height over 24 feet.
 - (3) *Street Side Setback in the RM-5-12 Zone*

The minimum street side setback is as indicated in Table 131-04G, except as follows:

 - (A) 9 feet for any lot that is at least 45 but less than 50 feet wide;
 - (B) 8 feet for any lot that is at least 40 but less than 45 feet wide;
 - (C) 7 feet for any lot that is at least 35 but less than 40 feet wide;
 - (D) 6 feet for any lot that is at least 30 but less than 35 feet wide; and

(E) 5 feet for any *lot* that is less than 30 feet wide.

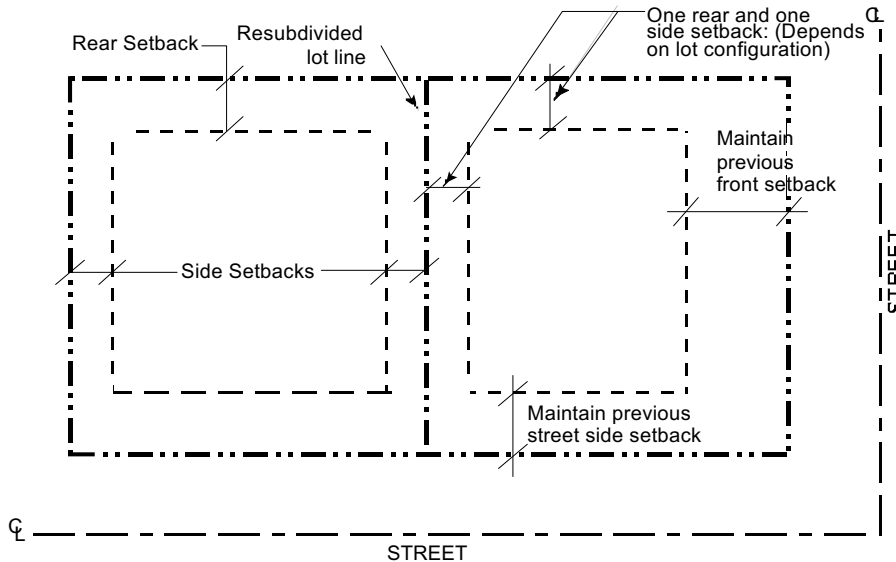
(4) Rear *Setback* in the RM-5-12 Zone

The rear *setback* specified in Table 131-04G shall be increased 3 feet for each 12 feet of *structure height* over 24 feet.

(i) *Setbacks* for Resubdivided Corner *Lots* in the RE, RS, and RM Zones

Corner *lots* that have been resubdivided shall maintain the front *setback* and *street side setback* in compliance with the requirements placed on the original *lot* configuration, as shown in Diagram 131-04K. The rear *yards* of the resubdivided *lots* shall be adjacent to the *property line* located opposite the front *property line* of the resubdivided *lots*.

Diagram 131-04K
Setbacks for Resubdivided Corner Lots



(Amended 6-12-2001 by O-18948 N.S.; effective 12-12-2001.)
(Amended 11-28-2005 by O-19444 N.S.; effective 2-9-2006.)
(Amended 3-1-2006 by O-19468 N.S.; effective 4-1-2006.)